



# City of Chicago



Or2013-327

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	6/5/2013
<b>Sponsor(s):</b>	Dowell, Pat (3)
<b>Type:</b>	Order
<b>Title:</b>	Issuance of permits for sign(s)/signboard(s) at 2138 S Indiana Ave
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

2138 South Indiana Avenue

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1: That the Commissioner of Buildings is hereby authorized and directed to issue a sign permit to H.M. Witt, 3313 W. Newport, Chicago, IL 60618, for the erection of a sign/signboard over 100 square feet (in area of one face) at property located at 2138 S. Indiana Avenue, Chicago, Illinois with the dimensions, height and square foot area:

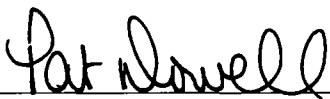
Dimensions of total sign: length 9 feet 3 inches; height, 106 feet, 7 inches

Height Above Grade/Roof to top of sign: 315 feet, 0 inches

Total Square Foot Area of Text on Sign: 986 square feet

Notwithstanding any provisions of Title 17 of the Municipal Code of the City of Chicago (the Chicago Zoning Ordinance) to the contrary, the Commissioner of Building is hereby directed and authorized to issue a sign permit to the address referenced within this Ordinance.

SECTION 2: This Ordinance shall be in force and effect from and after its passage and due publication.



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Pat Dowell  
Alderman, 3rd Ward

2. 11. 1971

1)



CITY OF CHICAGO

# DEPARTMENT OF BUILDINGS

## Sign Permit Application

APPROVAL NUMBER	APPLICATION NUMBER 100464897	ANNUAL FEE	WORK CODE	DRAWINGS ATTACHED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
DATE OF APPLICATION 10/31/2012		TYPE OF SIGN FLAT OR BOX					
ADDRESS OF SIGN 2138 S INDIANA AVE, 60616-		LENGTH	FT 9	IN 3	HEIGHT	FT 106	IN 7
BUILDING	ORIGINAL PERMIT NUMBER	AREA	SQ. FT. 986	WEIGHT	LBS 500	SIGN HEIGHT ABOVE GRADE/ROOF FT 315	
TYPE OF PERMIT NEW CONSTRUCTION (SIGN)		SHAPE OF SIGN REGULAR					
PAYER OF ANNUAL INSPECTION HEWITT, SETH 175 W. JACKSON BLVD., SUITE 540 CHICAGO, IL 60604 (312)572-6368		SIGN WILL READ THE IEX CHICAGO.COM					
SIGN MANUFACTURER H.M. WITT & CO.		NO OF LAMPS			TOTAL WATTAGE		
ADDRESS WHERE SIGN CAN BE SEEN PRIOR TO ERECTION		TYPE OF LAMP					
TICKET NUMBER 0	REINSPECTION CONTROL NUMBER	NO OF BALLAST/TRANSFORMERS			INPUT OF TRANSFORMERS		
TYPE OF SUPPORT FOR SIGN BUILDING		CONTRACTOR WILL INSTALL			<input checked="" type="checkbox"/> FEEDERS <input checked="" type="checkbox"/> CUSTOMER LEADS		
SIGN BOARD SUPPORT MEMBERS STEEL		TYPE OF SWITCH					
ANNUAL FEE		LOCATION OF SWITCH					
CONSTRUCTION FEE 1,200.00		SIGN LOCATION VINYL BANNER ON NORTH ELEVATION					
1017 B FEE		Check # for Zoning					
TOTAL FEE 1,200.00		Check # for DCAP					
AMOUNT PAID 200.00							
BALANCE DUE \$ 1,000.00							

The undersigned certify that the statements in this application are true and correct and that all work done under the proposed permit will conform to the requirements of the Chicago Municipal Code

ELECT CONTR	REGI NO	BOND NO	REG NO N93128
ADDRESS	SIGN ERECTOR HM WITT	SIGNER	
SUPERVISOR SIGNATURE	ADDRESS 3313 W. NEWPORT CHICAGO IL, 60618-	SIGNATURE 	

The permit issued on this application will authorize only signs here applied for. If other signs are to be erected they must be covered by additional permits.

City of Chicago  
Rahm Emanuel, Mayor



Department of Buildings  
Michael Mercant, Commissioner

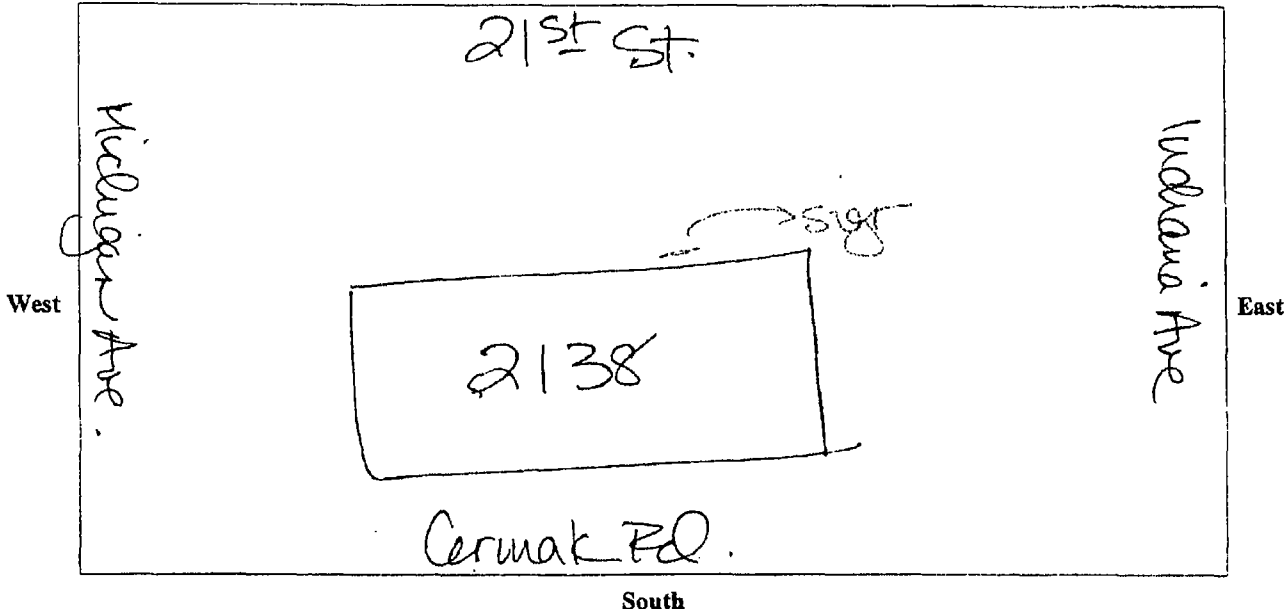
TYPE OF BUSINESS <u>RES GRP LIVING</u> Other: _____ Name: _____ LIC #: _____ Renewal Date: _____	SIGN BOND REQUIRED? <input type="checkbox"/> YES COUNCIL ORDER REQUIRED <input type="checkbox"/> YES IS SPECIAL PERMISSION REQUIRED FROM CHIEF ELECTRICAL <input type="checkbox"/> YES IF YES, ATTACH LETTER OF REQUEST
Projects Over: <input checked="" type="checkbox"/> Private Property <input checked="" type="checkbox"/> Public Way Grant Permit #: _____ <input checked="" type="checkbox"/> Planned Development/Manufacturing PMD/PD#: <u>681</u> Zoning District: <u>OTHER</u> Other: <u>PD681</u>	TIME STAMP
TYPE OF SIGN: <input type="checkbox"/> ADVERTISING <input type="checkbox"/> ILLUMINATE <input type="checkbox"/> MOVEABLE <input checked="" type="checkbox"/> BUSINESS <input type="checkbox"/> FLASHING	
TOTAL STREET FRONTAGE OF LOT (IN FEET) _____ 600 TOTAL AREA OF NEW SIGN (SQ. FT.) _____ 986 TOTAL AREA OF ALL SIGNS ON LOT (SQ. FT.) _____ 40 HEIGHT OF SIGN ABOVE GRADE (TO TOP) _____ 421ft 7in	
DISTANCE OF CURB LINE OUTER EDGE (ft) _____ 50 DISTANCE OF STRUCTURE INNER EDGE (ft) _____ 50	SIGN CLERK _____ APPROVED FOR PERMIT _____
DISTANCE FROM (ft) A. PUBLIC PARK (OVER 10 ACRES) _____ 2,675 B. EXPRESSWAY (IF LESS THAN 1,000 FT.) _____ 2,700 C. RESIDENCE DISTRICT (ADVERTISING SIGNS ONLY) _____ 890	REMARKS
IF REPLACEMENT SIGN OR CHANGE OF FACE, WHAT DOES THE EXISTING SIGN READ?  Original Payee: _____  Landmark Hold: <input type="checkbox"/> Status: _____	
ZONING (OFFICE USE ONLY)	

**CITY OF CHICAGO**  
**DEPARTMENT OF ZONING AND LAND USE PLANNING**  
**SIGN SITE PLAN**  
*(ALL INFORMATION MUST BE COMPLETED AND LEGIBLE)*

Site Address: 2138 S. Indiana Ave. 1 of 1 applications

Sign Company: H. M. Witt & Co. Rep Name: BRIAN SHUPIN

Phone (773) 290 - 5000 EXT 313 (Below: Building, streets and location of sign on lot or structure)  
 North



**SIGN USE:**  
 Bus. ID (On-premise)   
 Business Lice. #

Advertising (Off-premise)

**PERMIT TYPE:**  
 New Construction   
 Change of Face   
 Previous Permit #

**TYPE OF SIGN:**  
 Flat Wall   
 Freestanding   
 Awning   
 Marquee   
 High Rise Building   
 Projecting Private   
 Projecting Public Way   
 Public Way Use -Permit #

**SIGN CHARACTERISTICS:**  
 Non- Illuminated   
 Illuminated   
 Changing Image   
 Video Display   
 Flashing

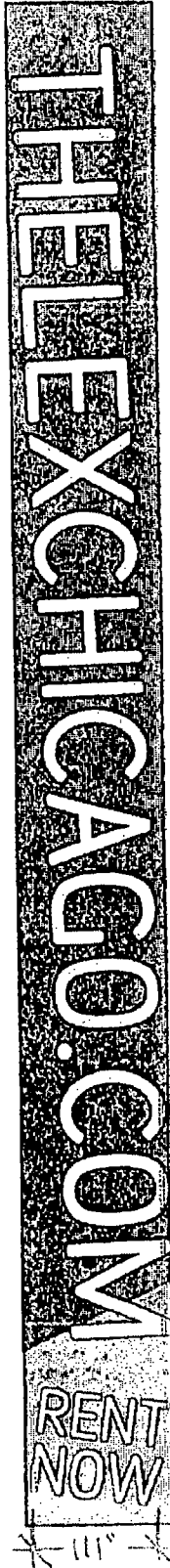
**DISTANCE FROM:**  
 Curb Line: 50  
 Expressway, Toll Roads or Major Route (n/a if over 1000 ft) 2700  
 Park (over 10 acres) 2675  
 Residential Zone 2810  
 Existing Off-premise on same side of street: 16

**TOTAL SQUARE FOOTAGE:**  
 Square footage of this proposed sign 986  
 Gross area of all proposed signs 986  
 Area of all existing signs (not including proposed) on Zoning Lot 40

Signature: [Handwritten Signature]

Date: 10/31/12

11230415\_1



1279"

The dashed line represents the stitch line of the hem.  
The solid line indicates the visual image of the banner.  
The outer edge is material added for fabrication.





1. TITLE SHEET  
 2. GENERAL NOTES  
 3. FOUNDATION  
 4. FLOOR SLABS  
 5. WALLS  
 6. ROOFING  
 7. MECHANICAL  
 8. ELECTRICAL  
 9. PLUMBING  
 10. FINISHES

2. 1/4" = 1'-0"

FEEL NO. 1560 (2)

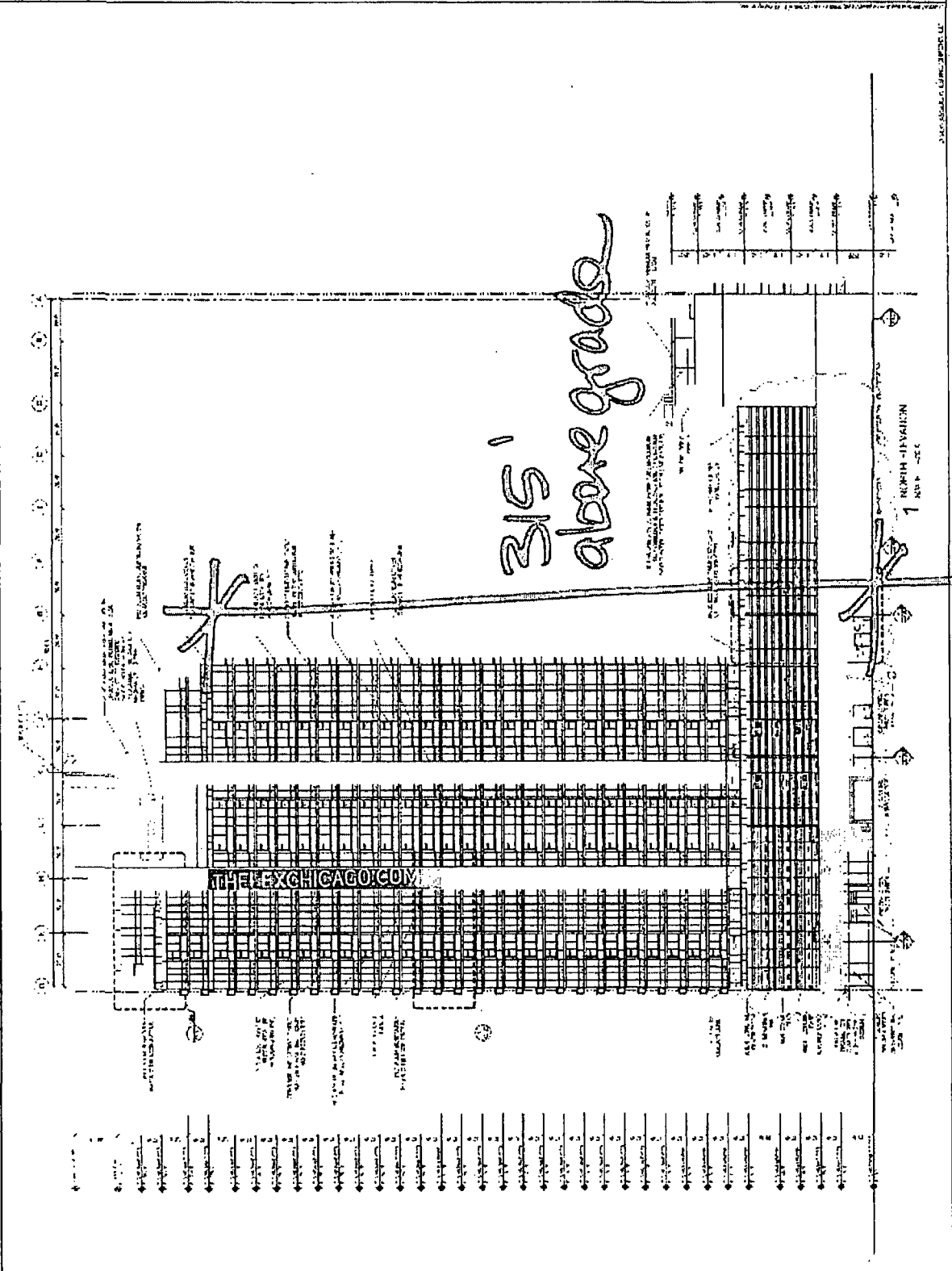
- 1. PAPER NOT TO SCALE
- 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED
- 3. ALL FINISHES UNLESS OTHERWISE NOTED
- 4. ALL MATERIALS UNLESS OTHERWISE NOTED
- 5. ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE B.C.A. AND I.C.C. CODES
- 6. ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE B.C.A. AND I.C.C. CODES
- 7. ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE B.C.A. AND I.C.C. CODES



NORTH ELEVATION

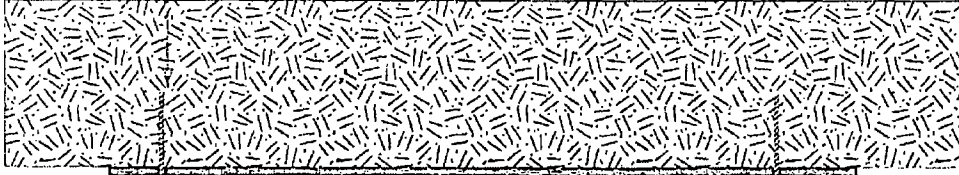
NO.	DATE	BY	APP.
1	1/1/03	J. J. J.	J. J. J.
2	1/1/03	J. J. J.	J. J. J.
3	1/1/03	J. J. J.	J. J. J.
4	1/1/03	J. J. J.	J. J. J.
5	1/1/03	J. J. J.	J. J. J.
6	1/1/03	J. J. J.	J. J. J.
7	1/1/03	J. J. J.	J. J. J.
8	1/1/03	J. J. J.	J. J. J.
9	1/1/03	J. J. J.	J. J. J.
10	1/1/03	J. J. J.	J. J. J.

A3-03



JACOBS ENGINEERING GROUP, INC.





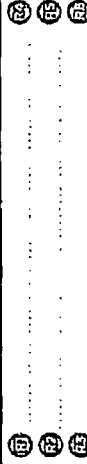
2" tek screws  
through face &  
into concrete  
building facade  
every 24"

Washers for  
added stability  
and security

Digitally printed vinyl banners, mechanically attached to concrete facade

- approved
- approved w/changes
- revise & resubmit

signature  
date



This is an original drawing by H.M. Witt & Co. Signs. It is not to be reproduced without the permission of H.M. Witt & Co. Signs.



3313 West Newport Ave. Chicago, IL 60618  
office | 773 250 5000 fax | 773 250 5100  
toll free | 1 888 427 0703 web | www.hm-witt.com

**ST Residential**  
**2138 S. Indiana**

date: 10-31-12  
file: Section.pdf  
scale: No Scale



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

August 17, 2012

Mara S. Georges  
Katten Muchin Rosenman LLP  
525 W. Monroe Street  
Chicago, IL 60661-3693

**Re: Advisory Opinion for Business Planned Development No. 681  
The Lexington – 2138 S. Indiana Avenue**


Dear Ms. Georges:

In response to your administrative relief request, please be advised that we have reviewed the sign requirements for Business Planned Development No. 681 ("PD") and an administrative relief is not required for the existing, temporary "TheLexChicago" banner. We are in acceptance of your \$50 check which is required for an advisory opinion, and therefore, are responding to your request with an advisory opinion letter rather than an administrative relief letter (which requires a \$1,500 review fee).

Based on an underlying downtown zoning district, and pursuant to Section 17-12-1103-E of the Chicago Zoning Ordinance ("Ordinance"), the PD is allowed a maximum total sign area of 800 square feet ("SF"). The Department of Housing and Economic Development defines substantial compliance as not greater than 30% of the maximum allowed. Therefore, a maximum of 1,040 SF (800 + 240) of sign area is allowed. According to your request letter, the existing banner measures 10 feet x 100 feet or 1,000 SF. Therefore, there is only an additional 40 SF of sign area available, if the existing banner is to remain in place.

The building also contains five vinyl window signs. Three of these signs (permit numbers 100418869, 100418870, and 100418874) are considered incidental signs which convey direction and pursuant to Section 17-12-0803 of the Ordinance, are not included in the total sign area. However, two of the signs (permit numbers 100418872 and 100418876) read "The Lex" and at 86 and 81 SF respectively, are included in the total sign area. Therefore, in order to allow the existing "TheLexChicago" sign to remain and to obtain a sign permit for it, the two existing "The Lex" signs will need to be removed or reduced to 40 SF. Also, since the building already contains the maximum amount of sign area, if, in the future, they wish to add any additional signs, the banner will need to be removed. If you have any questions or require any additional information, please contact Teresa McLaughlin of my staff at (312) 744-4891.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS: HG: tm  
cc: Vicky Lozano, Main file