



City of Chicago



SO2017-898

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	2/22/2017
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 1-G at 460 N May St - App No. 19122T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

19.122 T1
INTRO. DATE:
FEB 22, 2017

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M2-2 Light Industry District symbols and indications as shown on Map No. 1-G in the area bounded by

a line 98.7 feet south of and parallel to West Grand Avenue; North May Street; a line 122.7 feet south of and parallel to West Grand Avenue; and the alley next west of and parallel to North May Street,

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common addresses of property: 460 North May Street

17-13-0303-C (1) - SUBSTITUTE PLANS & NARRATIVE

460 North May Street, Chicago, Illinois

Proposed Zoning: B2-3 Neighborhood Mixed-Use District

Lot Area: 2,784 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the construction of a new one-story detached garage, at the rear of the subject property, which will serve the existing three-story multi-unit residential building. The new proposed garage will provide off-street parking for two (2) vehicles, as well as a roof deck – above. The existing multi-unit residential building, which measures approximately 40 feet-8 inches in height and is masonry in construction, will remain - unchanged. The new detached garage will be masonry in construction, to match the architectural character of the existing residential building, and will measure approximately 14 feet-8 inches in height.

(A) The Project's Floor Area Ratio: 4,563 square feet (1.6 FAR)

(B) The Project's Density (Lot Area Per Dwelling Unit):
3 dwelling units (928 square feet)

(C) The amount of off-street parking: 2 parking spaces

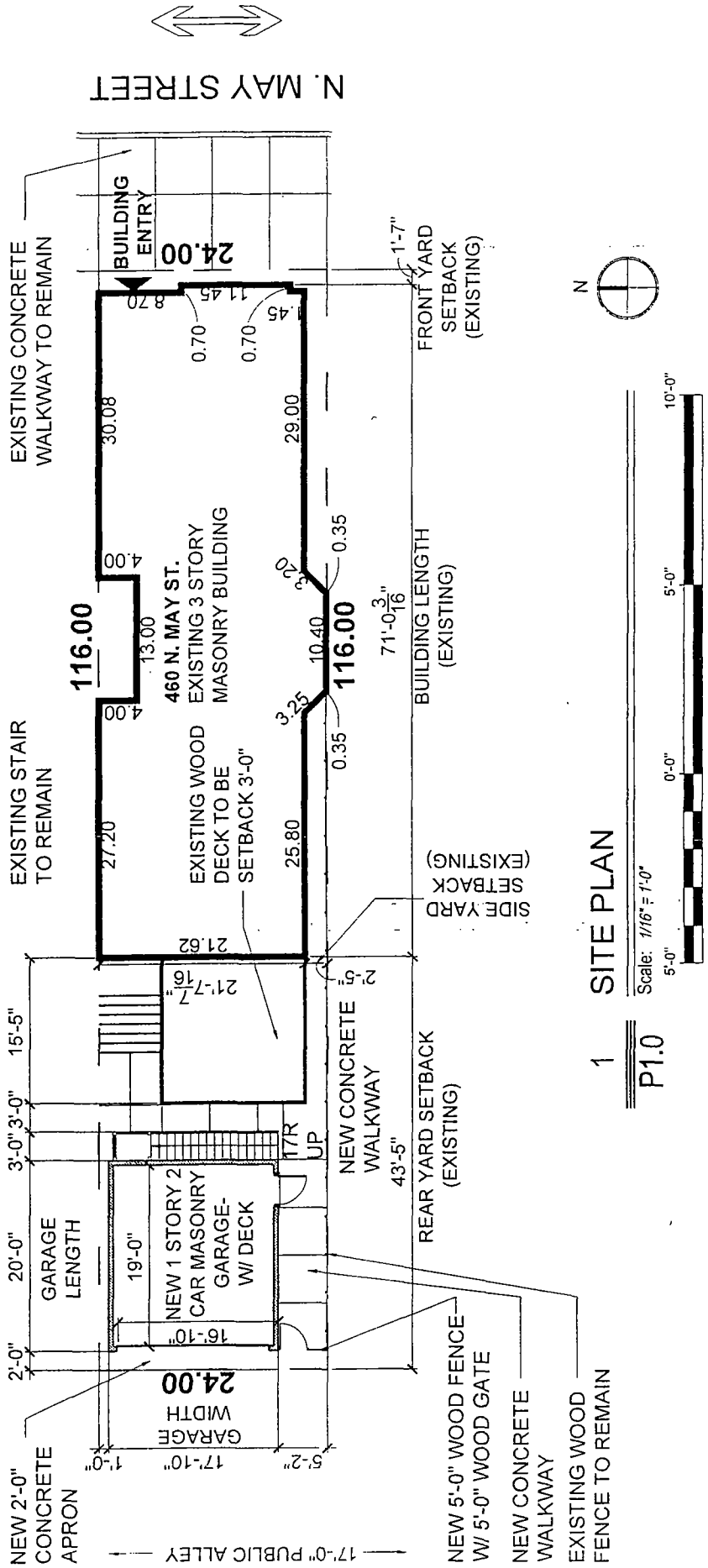
(D) Setbacks:
a. Front Setback: 1 feet-7 inches
b. Rear Setback: 43 feet-5 inches
c. Side Setbacks:
North: 0 feet-0 inches
South: 0 feet-0 inches

(E) Building Height:
40 feet-8 inches

Garage Height:
14 feet-8 inches

FINAL FOR PUBLICATION

FINAL FOR PUBLICATION



1 SITE PLAN

P1.0

Scale: 1/16" = 1'-0"



PREPARED FOR PUBLICATION

T/ PARAPET
EL: +14'-8"



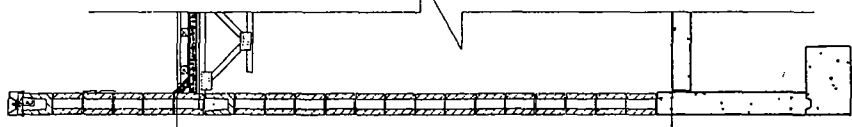
B/GARAGE TRUSS
EL: +10'-0"



GRADE
EL: +0'-0"



B/FOOTING
EL: -4'-0"



3 GARAGE WALL SECTIONS

P5.0
Scale: 1/8" = 1'-0"

T/ PARAPET
EL: +14'-8"



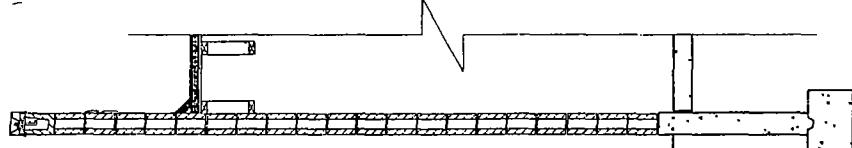
B/GARAGE TRUSS
EL: +10'-0"



GRADE
EL: +0'-0"



B/FOOTING
EL: -4'-0"



2 GARAGE WALL SECTIONS

P5.0
Scale: 1/8" = 1'-0"

T/ PARAPET
EL: +14'-8"



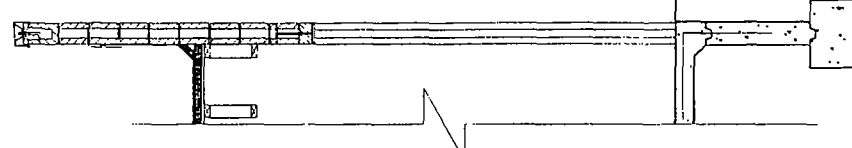
B/GARAGE TRUSS
EL: +10'-0"



GRADE
EL: +0'-0"



B/FOOTING
EL: -4'-0"



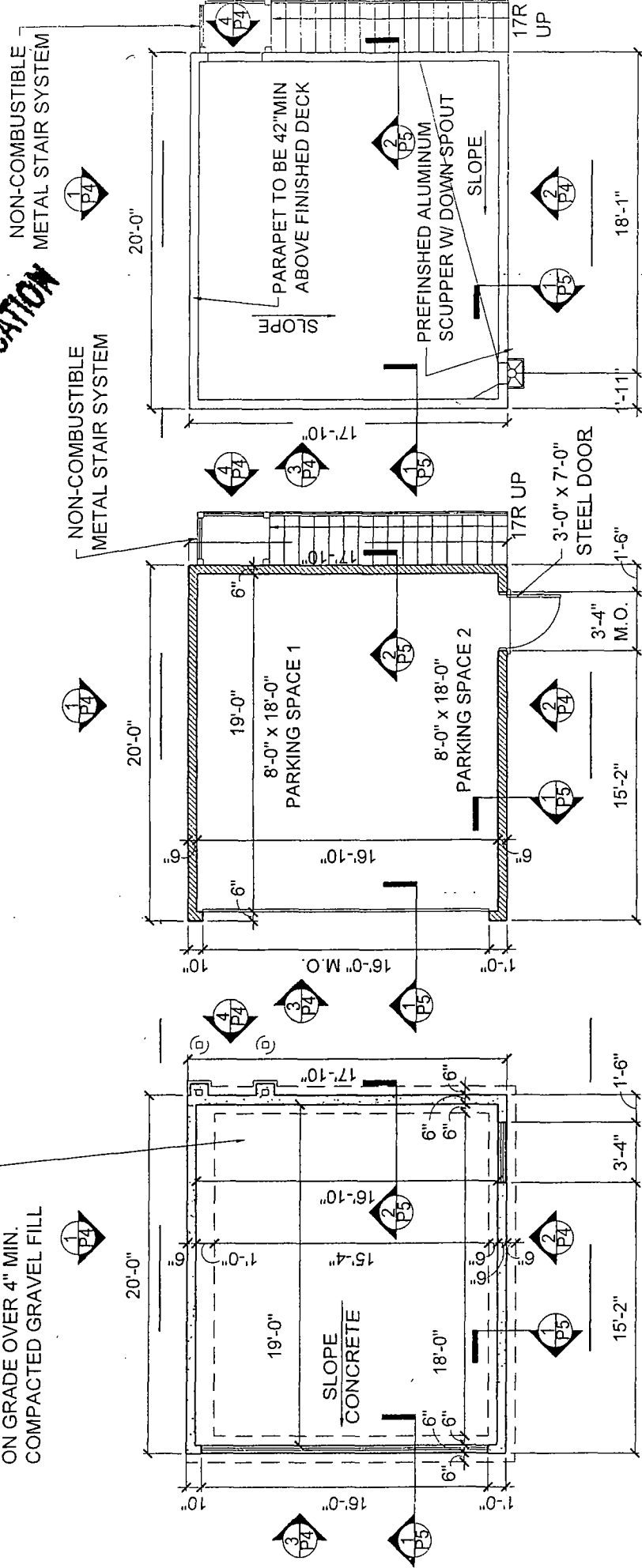
1 GARAGE WALL SECTIONS

P5.0
Scale: 1/8" = 1'-0"



NOT FOR PUBLICATION

PROVIDE 5" CONCRETE SLAB W/1.4xw1.4 WWF. ON GRADE OVER 4" MIN. COMPACTED GRAVEL FILL



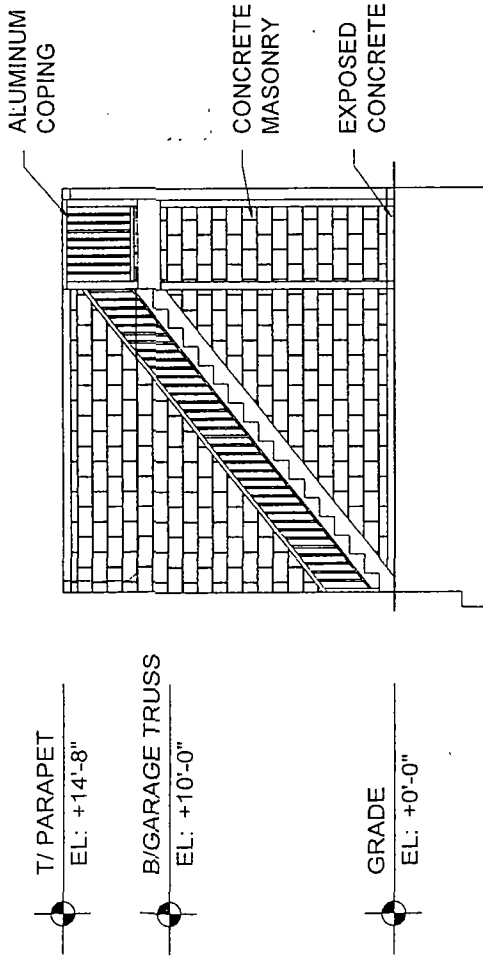
3 GARAGE FOUNDATION
 Scale: 1/8" = 1'-0"
 P3.0

2 GARAGE PLAN
 Scale: 1/8" = 1'-0"
 P3.0

1 GARAGE ROOF
 Scale: 1/8" = 1'-0"
 P3.0



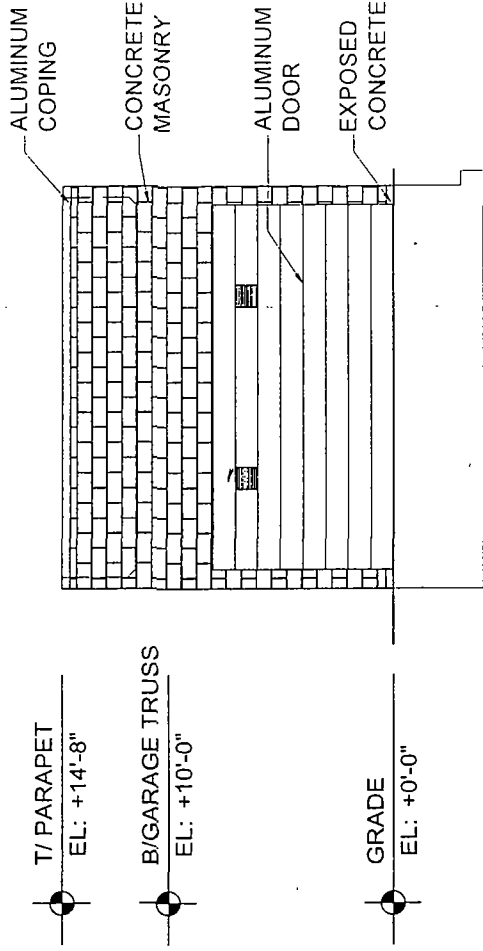
460 N. MAY STREET, Chicago, IL.



4 EAST ELEVATION

Scale: 1/8" = 1'-0"

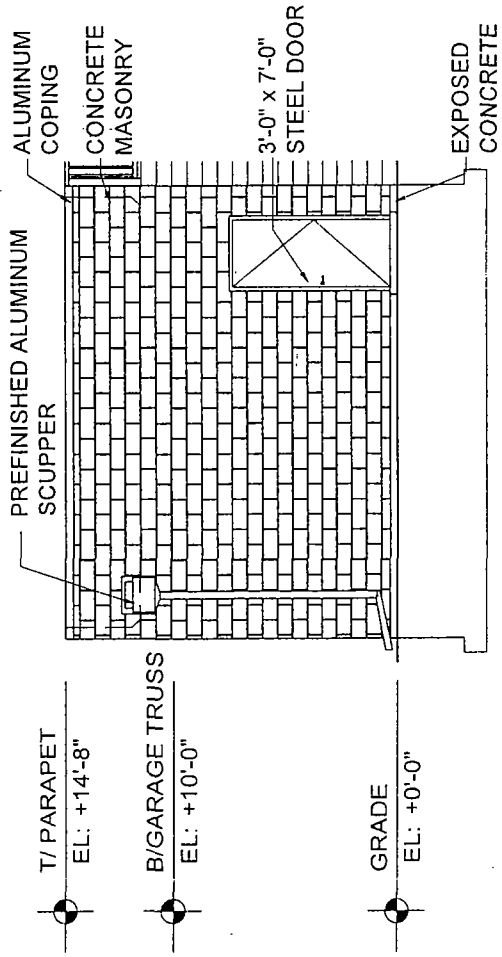
P4.0



3 WEST ELEVATION

Scale: 1/8" = 1'-0"

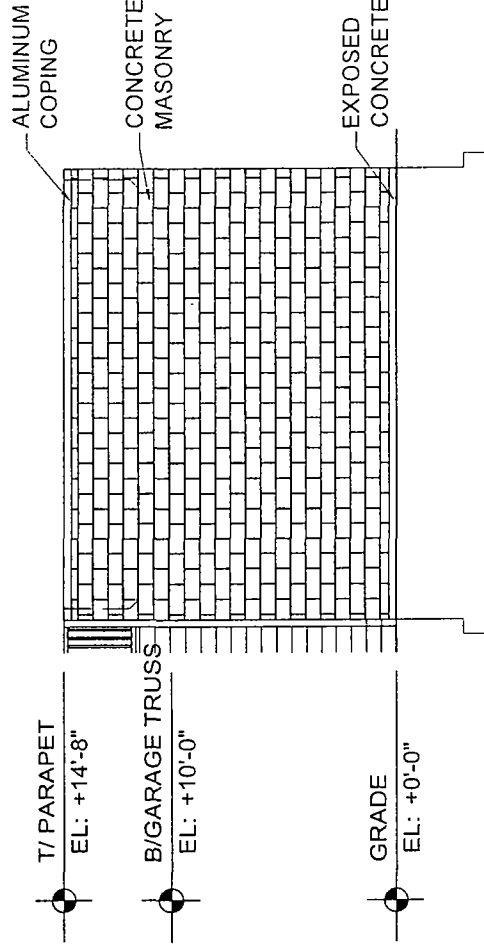
P4.0



2 SOUTH ELEVATION

Scale: 1/8" = 1'-0"

P4.0



1 NORTH ELEVATION

Scale: 1/8" = 1'-0"

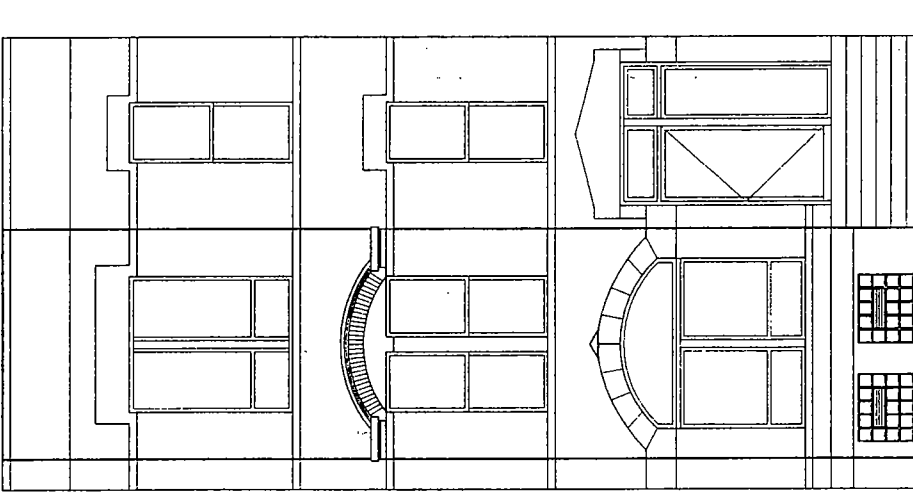
P4.0



460 N. MAY STREET, Chicago, IL.

NOT FOR PUBLICATION

T/BUILDING
EL: +40.67'



GRADE
EL: +0'-0"

