



City of Chicago



SO2014-9704

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	12/10/2014
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 5-H at 2339-2359 N Seeley Ave - App No. 18234T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

1823471

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the M3-3, Heavy Industry District District symbols as shown on Map No. 5-H in the area bounded by:

The public alley next South of and parallel to West Fullerton Avenue; the public alley next East of and parallel to North Seeley Avenue; a line 366 feet South of and parallel to West Fullerton Avenue; North Seeley Avenue.

To those of a B2-3, Neighborhood Mixed-Use District

SECTION 2. This Ordinance takes effect after its passage and approval.

Common address of property: 2339-59 North Seeley Avenue, Chicago IL.

Application 18234-T1

SUBSTITUTE NARRATIVE TYPE 1 REZONING FOR
2339-59 NORTH SEELEY, CHICAGO, ILLINOIS

The subject property is currently a vacant lot, measuring 225' x 126.75'. The Applicant proposes to divide this property into 3 zoning lots (each lot 75' x 126.75') and develop 2 lots with a 13 DU building each, and one lot with a 14-dwelling unit residential building. The Applicant needs a zoning change from the existing M3-3 to B2-3.

Project Description: Zoning Change from M3-3 to B2-3

Land Use To divide the property into 3 separate zoning lots and to build two 13 DU buildings (2339 and 2359 North Seeley) and a 14 DU building (2349 North Seeley) for a total of 40 dwelling units.

Floor Area Ratio: Lot area for each zoning lot: 9,506.25 SF
Building floor area for each building: 22,200 SF
FAR (each building): 2.34

Density: 2349 North Seeley - 679 SF per dwelling unit
2339 and 2359 North Seeley – 731 SF per DU

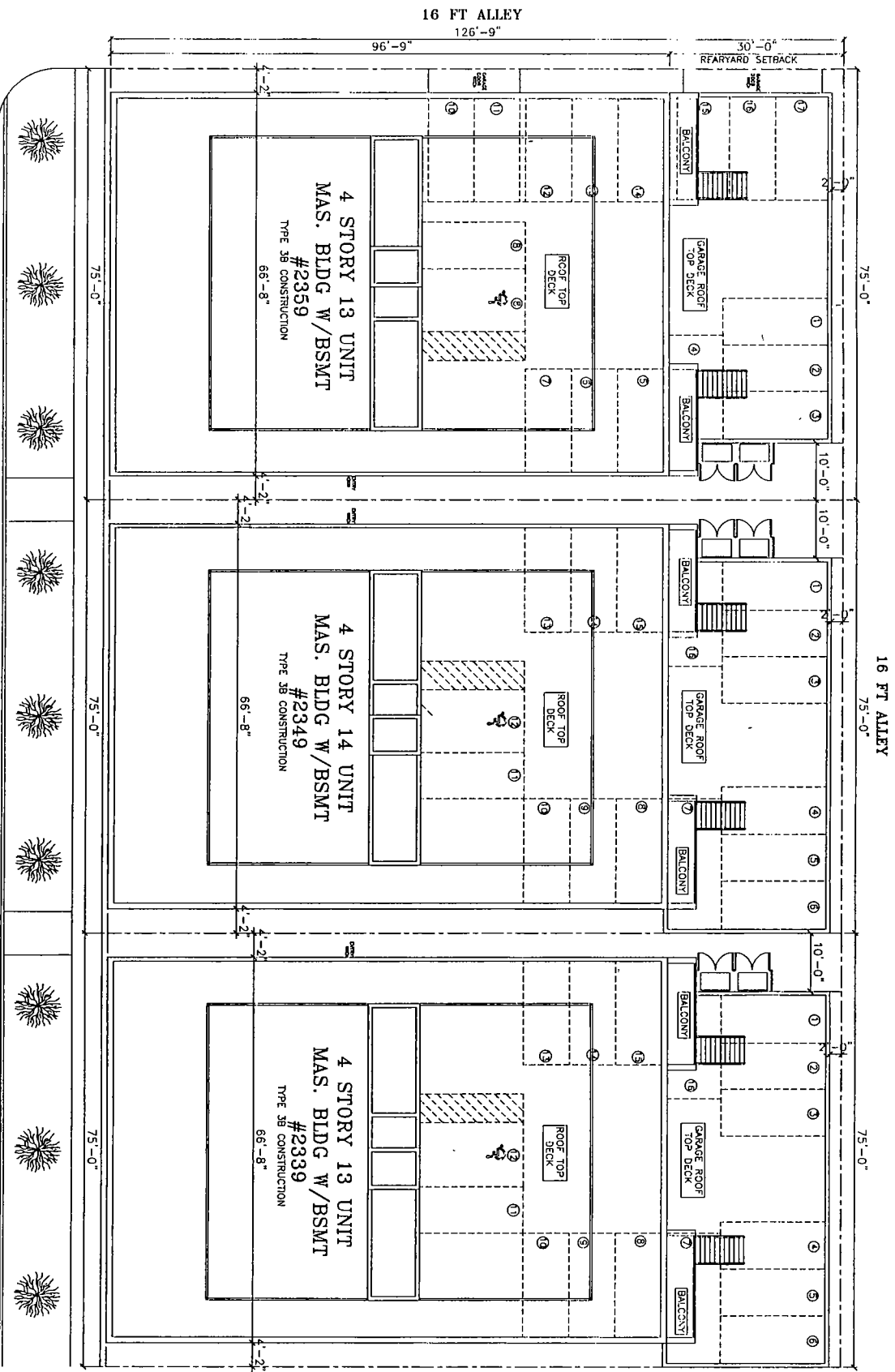
Off- Street parking: 2339 N. Seeley – 16 parking spaces
2349 N. Seeley – 16 parking spaces
2359 N. Seeley – 17 parking spaces

Set Backs Front: 0'
(each zoning lot) Side: 4'2" (north) and 4'-2" (south)
Rear: 30'
Rear Yard Open Space: none

Building height: 4-story / 50'-8"

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COMBINED SITE PLAN

TWO WAY
N. SEELEY AVE

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U HANNA
ARCHITECTS, P.C.

110 W. WASHINGTON
CHICAGO, ILLINOIS 60601
PHONE: (312) 750-1100
FAX: (312) 750-1800
PROFESSIONAL DESIGN FIRM
LICENSE NUMBER: 171-000033

These Plans have been prepared under the supervision of the undersigned architect, who is a duly Licensed Professional Architect in the State of Illinois. The undersigned architect is not responsible for the accuracy of the information provided by the client, nor for the accuracy of the information provided by the contractor.

DATE OF THIS DRAWING: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE OF THIS DRAWING: _____

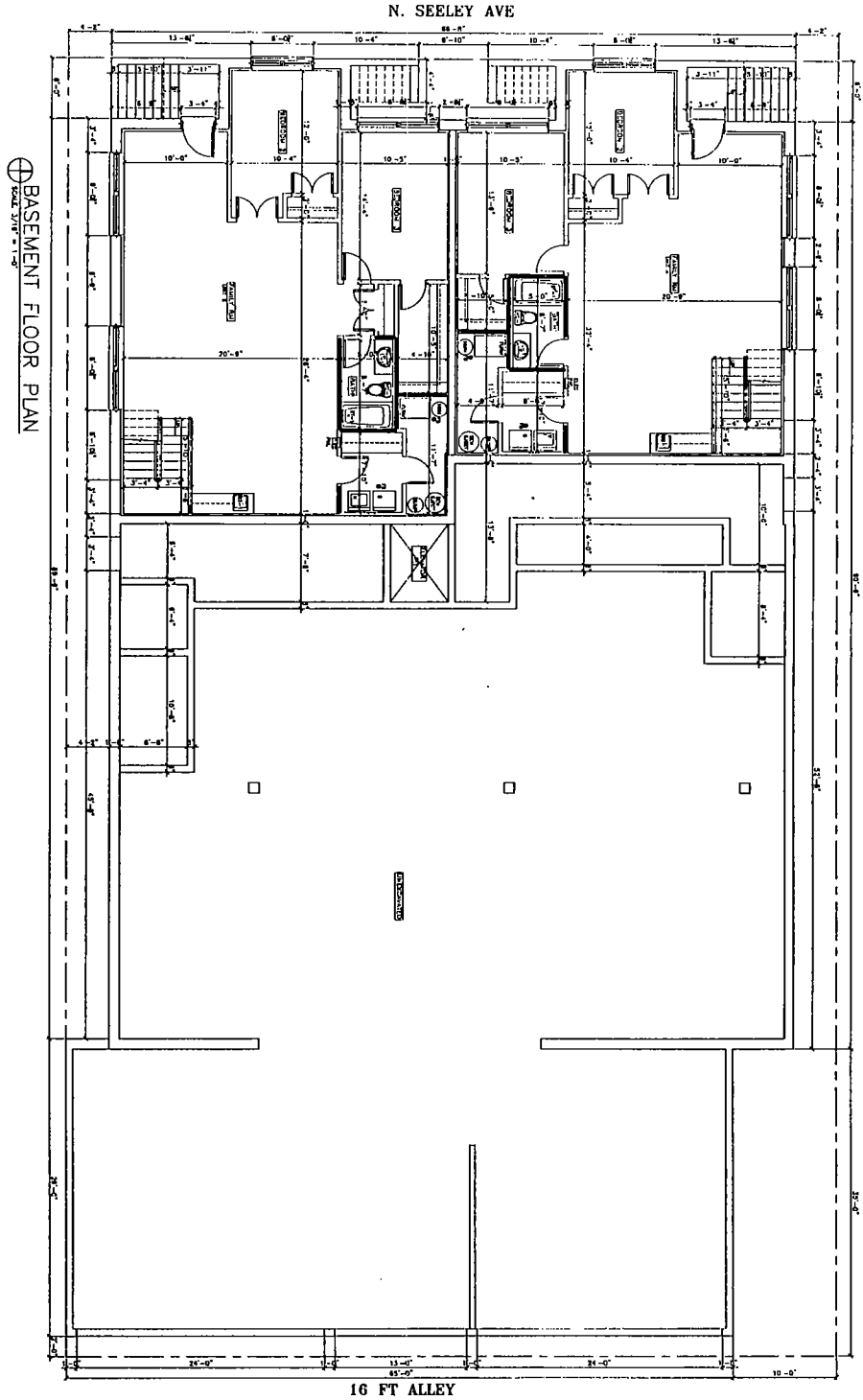


PROJECT NAME & ADDRESS
2339 N. SEELEY AVE
4 STORY MAS.
13 UNIT APART. BLDG
W/BSMT
CHICAGO, ILLINOIS

SHEET TITLE
COMBINED
SITE PLAN

SHEET NUMBER
A-0

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180 W. WASHINGTON
 CHICAGO, ILLINOIS 60602
 1700 N. LAKE STREET, SUITE 100
 CHICAGO, ILLINOIS 60610



PROJECT NAME & ADDRESS
 2339 N. SEELEY AVE
 4 STORY MAS.
 13 UNIT APART BLDG
 W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 BASEMENT
 FLOOR PLAN

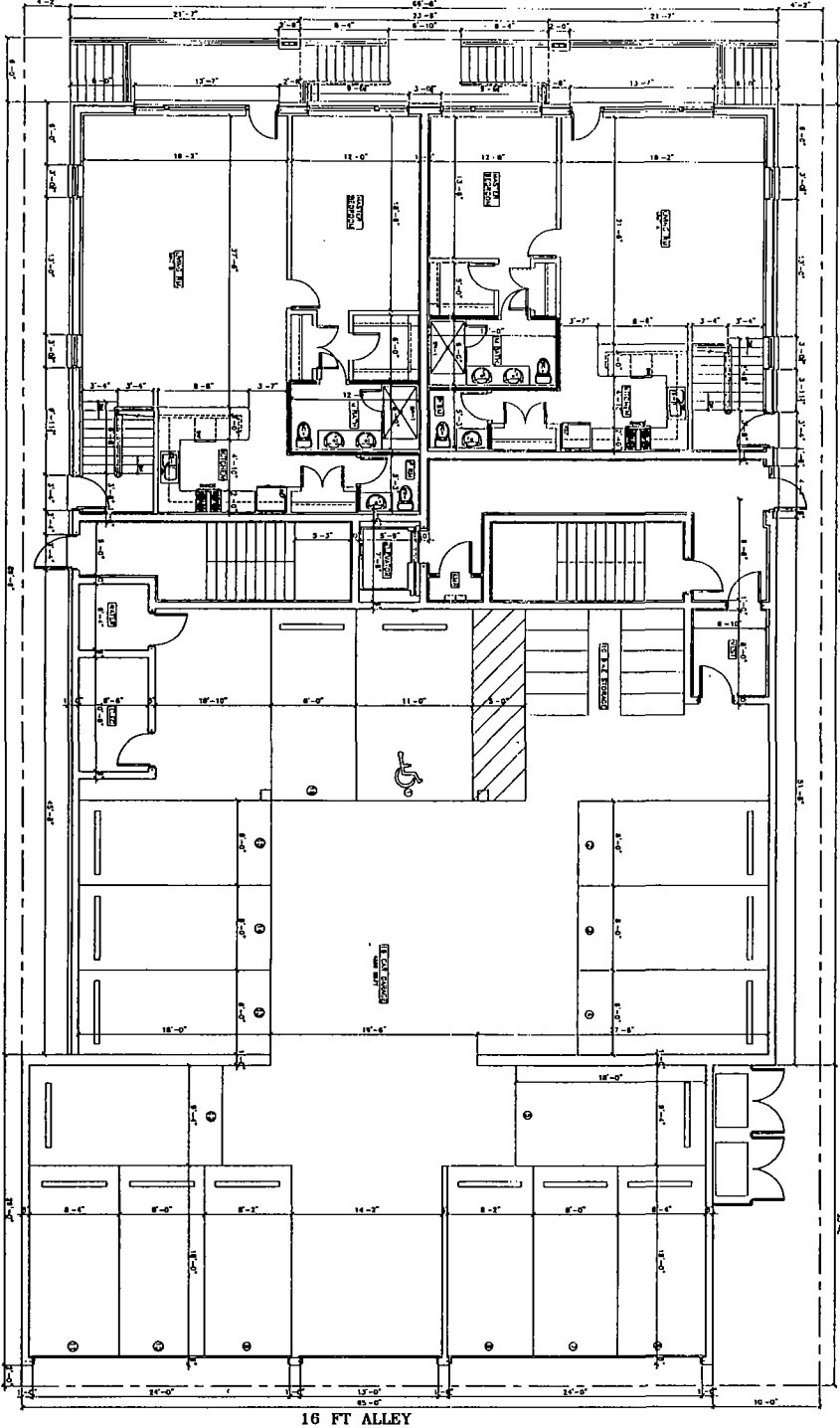
FIGURE
 SHEET NUMBER
 A-2

DESIGNED FOR REVIEW
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 ISSUED FOR PERM.

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N. SEELEY AVE

FIRST FLOOR PLAN



16 FT ALLEY

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DESIGNED FOR APPROVAL
 HANNA ARCHITECTS, INC.
 2339 N. SEELEY AVE
 CHICAGO, ILLINOIS 60614

DATE: 05/15/15
 PROJECT: 15-001
 DRAWING: 15-001-01
 SHEET: 15-001-01-1

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND NOT TO BE MOVED OR DAMAGED.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO'S ORDINANCES AND REGULATIONS.
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S INTENT AND THE CONTRACT DOCUMENTS.

PROFESSIONAL DESIGN FIRM
 ARCHITECT CORPORATION
 LICENSE NUMBER 141-00143

110 W. WASHINGTON
 CHICAGO, ILLINOIS 60602
 FAX (312) 751-1100

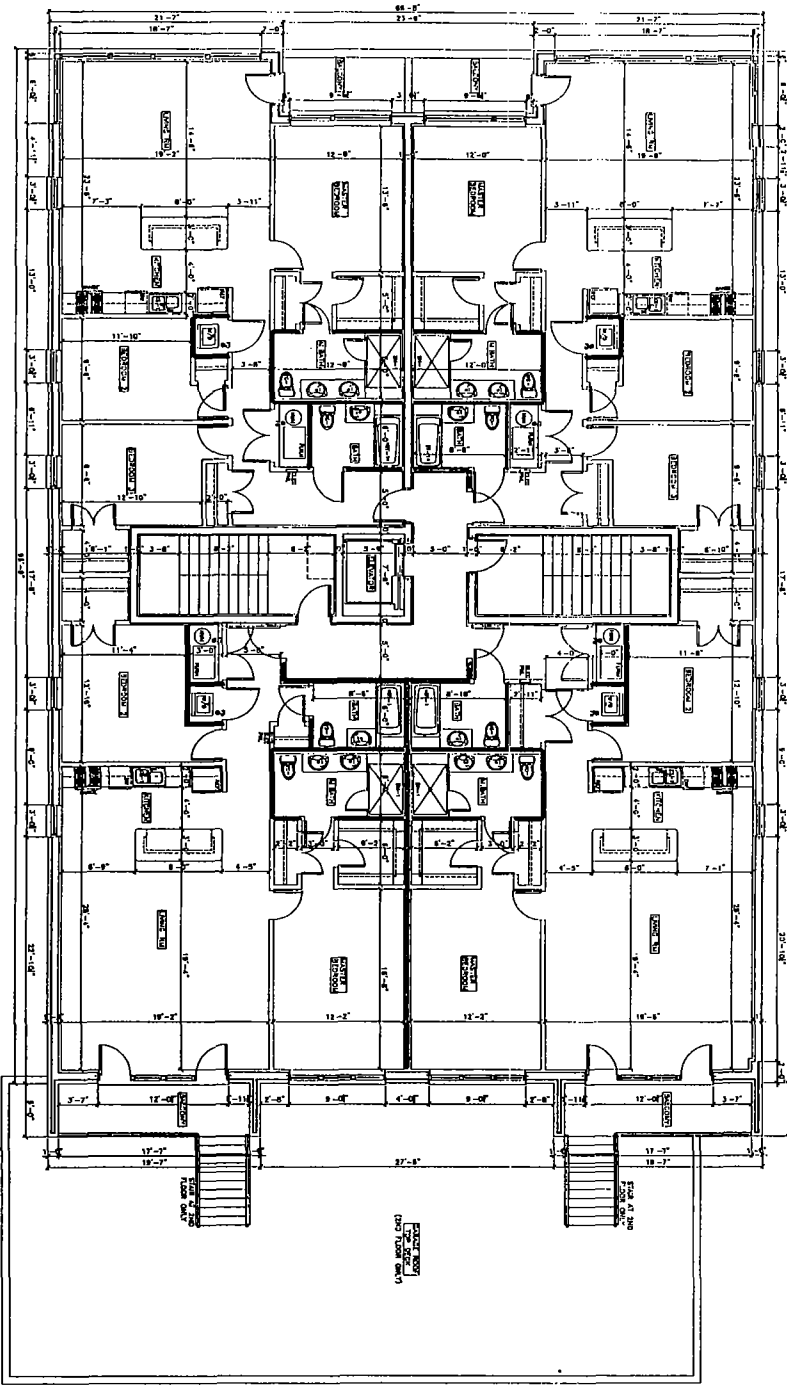


SHEET NUMBER A-3

TITLE FIRST FLOOR PLAN

PROJECT NAME & ADDRESS
 2339 N. SEELEY AVE
 4 STORY MAS.
 13 UNIT APART BLDG
 W/BSMT
 CHICAGO, ILLINOIS

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⊕ SECOND AND THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

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 ISSUED FOR BID

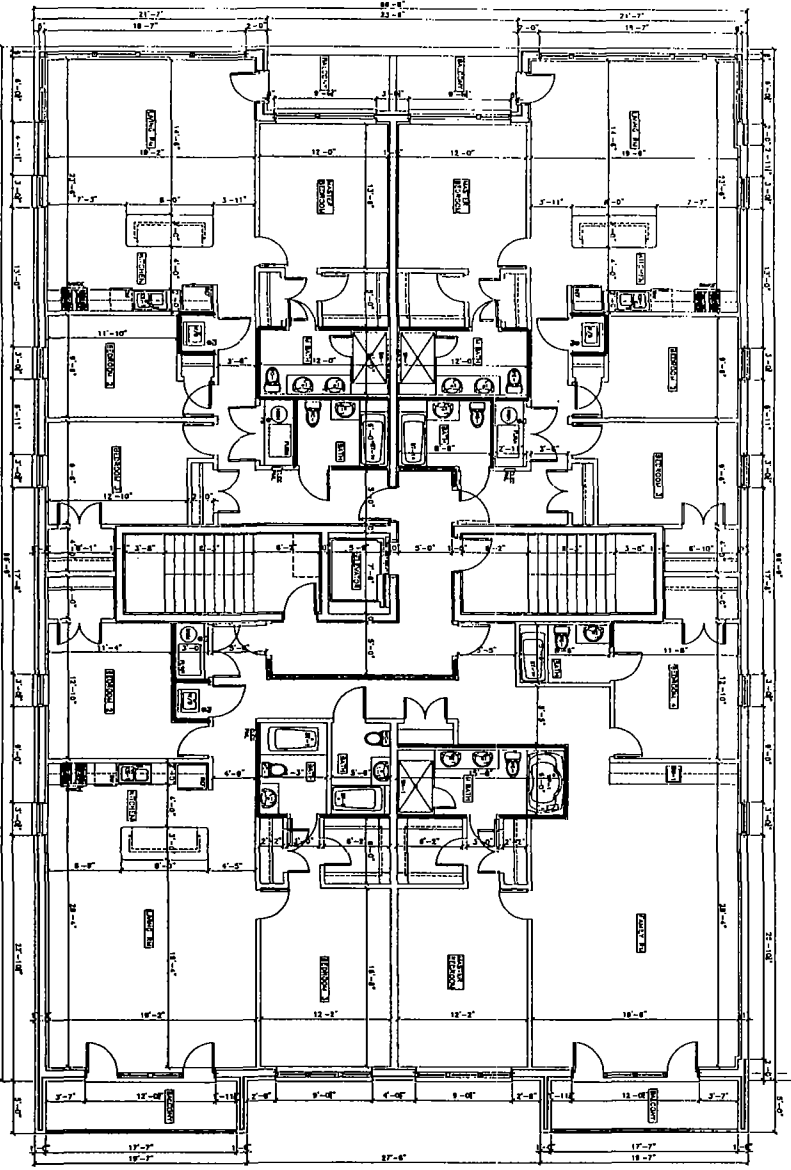


PROJECT NAME & ADDRESS
 2339 N. SEELEY AVE
 4 STORY MAS. AVE
 13 UNIT APART BLDG
 W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 SECOND
 AND THIRD
 FLOOR PLANS

TITLE BLOCK

SHEET NUMBER
 A-4



FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

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 LICENSE NUMBER 141-020493

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 ISSUED FOR LEASE: [DATE]
 ISSUED FOR LEASE: [DATE]
 ISSUED FOR LEASE: [DATE]



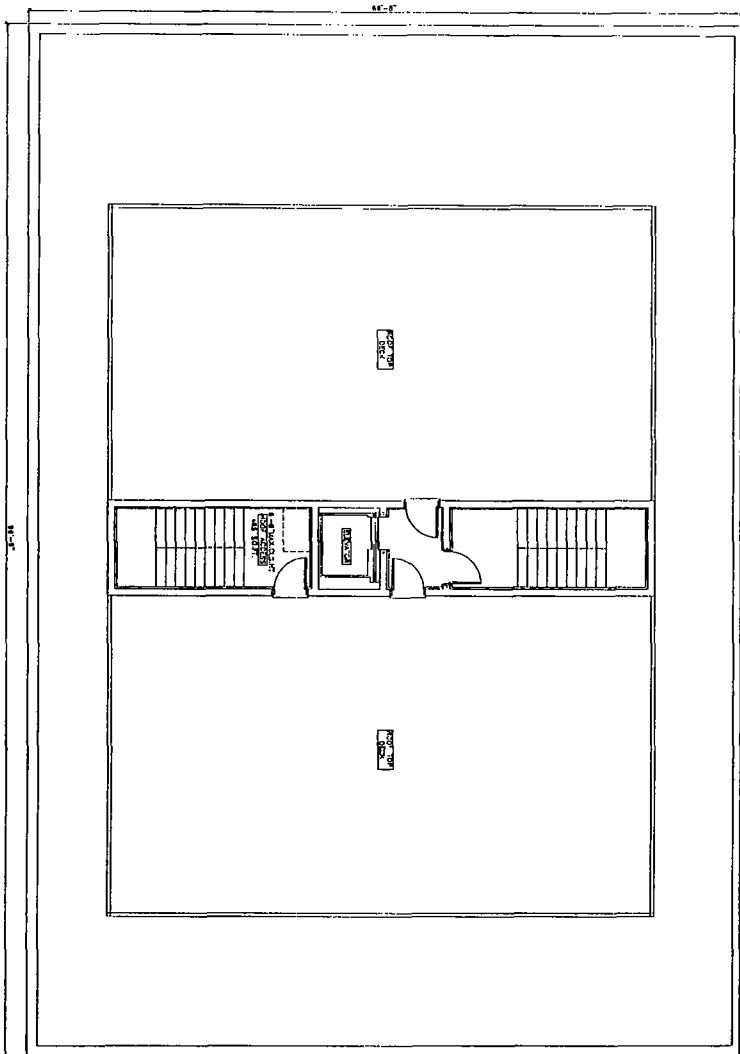
PROJECT NAME & ADDRESS:
 2339 N. SEELY AVE
 4 STORY MAS.
 13 UNIT APART BLDG
 W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE:
 FOURTH
 FLOOR PLAN

TITLEBLOCK

SHEET NUMBER:
 A-5

FINAL FOR PUBLICATION



⊕ ROOF FLOOR PLAN
SCALE: 1/4" = 1'-0"

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189 W. WASHINGTON
CHICAGO, ILLINOIS 60601
FAX (312) 756-1100
PROFESSIONAL DESIGN FIRM
ARCHITECT CORPORATION
LICENSE NUMBER 184-001455

NOTES:
1. GENERAL NOTES TO BE REFERRED TO AS PART OF THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REGISTRATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CERTIFICATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCREDITATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RATINGS.

DATE OF REVISION: _____
REVISION NUMBER: _____
REVISION DESCRIPTION: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____



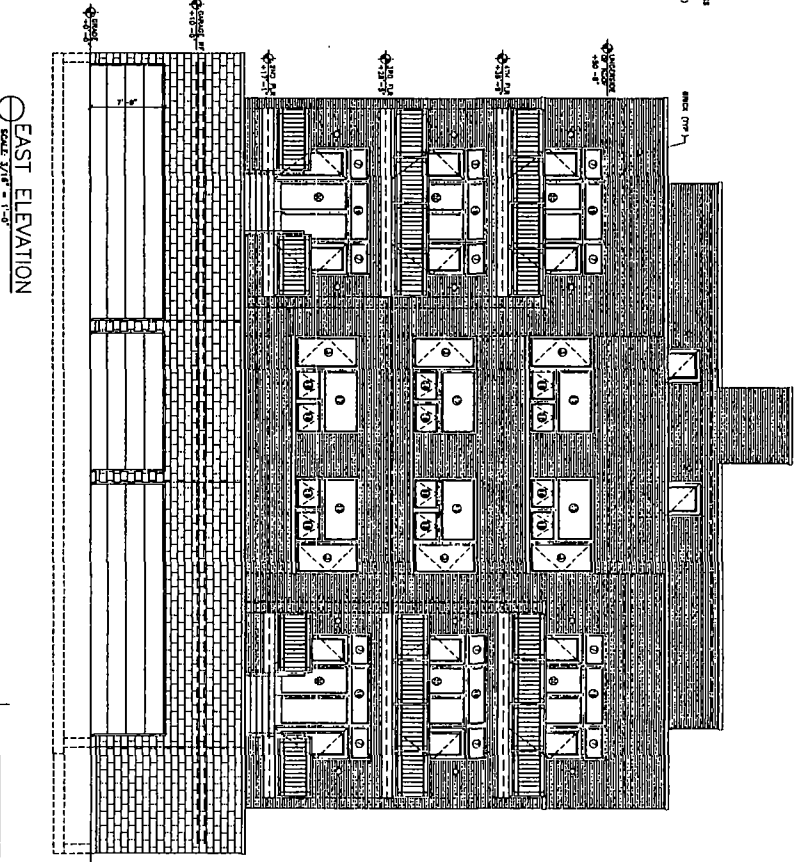
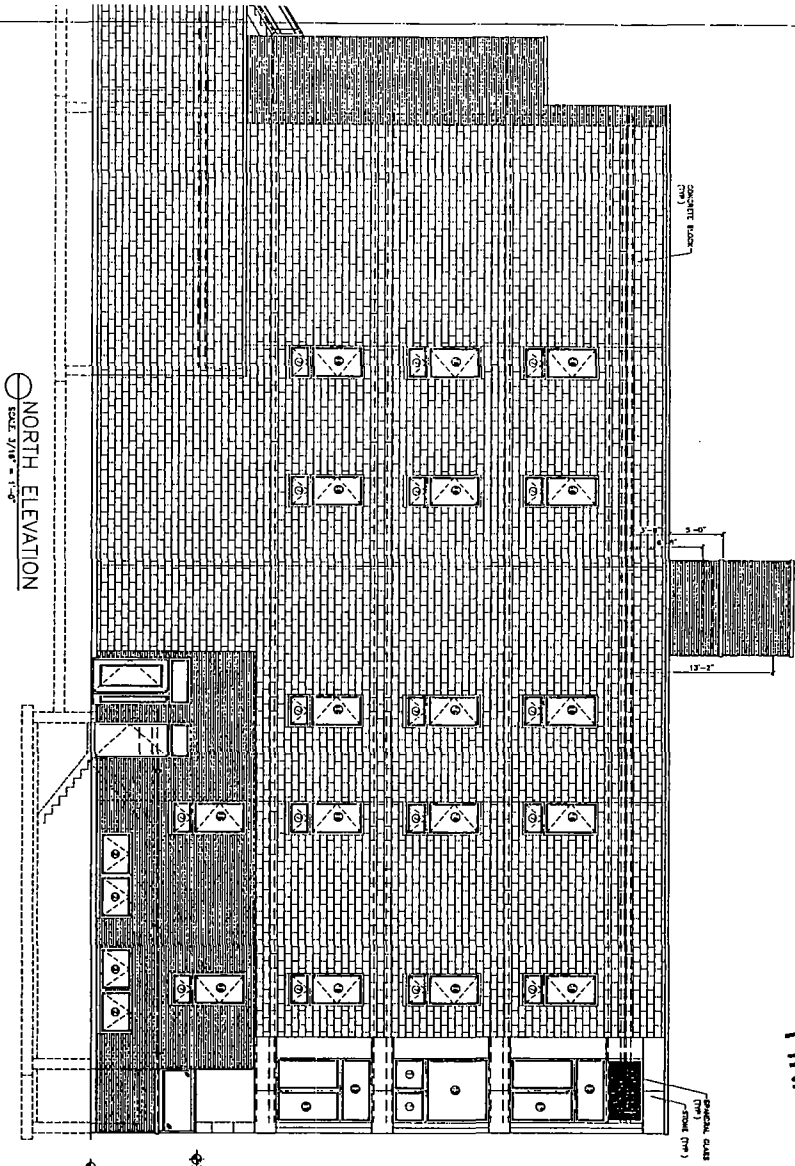
PROJECT NAME & ADDRESS
2398 N. SEELY AVENUE
4 STORY CLASS
13 UNIT APART BLDG
W/RSMT
CHICAGO, ILLINOIS

PROJECT TITLE
ROOF FLOOR
PLAN

DATE: _____

PROJECT NUMBER
A-6

FINAL FOR PUBLICATION

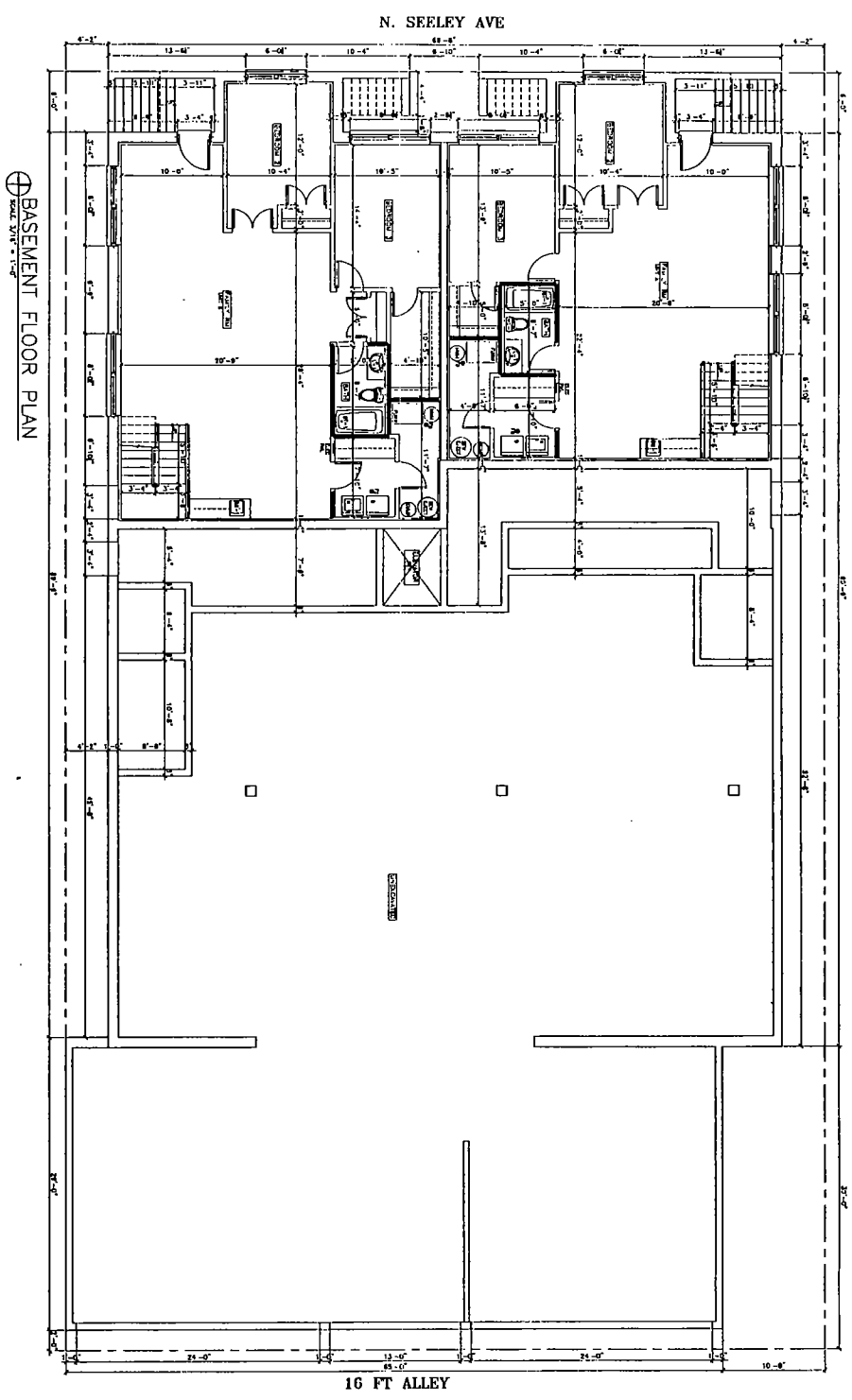


PROJECT NAME & ADDRESS
 2339 N. SEELEY AVE
 4 STORY BLDG.
 19 UNIT APT/BLDG
 N/38ST
 CHICAGO, ILLINOIS

SECRET TITLE
 BUILDING
 ELEVATIONS

DATE
 DRAWN BY
 CHECKED BY
 A-8

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 CHICAGO, IL 60602
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DATE: 01/15/15
 DRAWN BY: J. HANNA
 CHECKED BY: J. HANNA
 SCALE: AS SHOWN



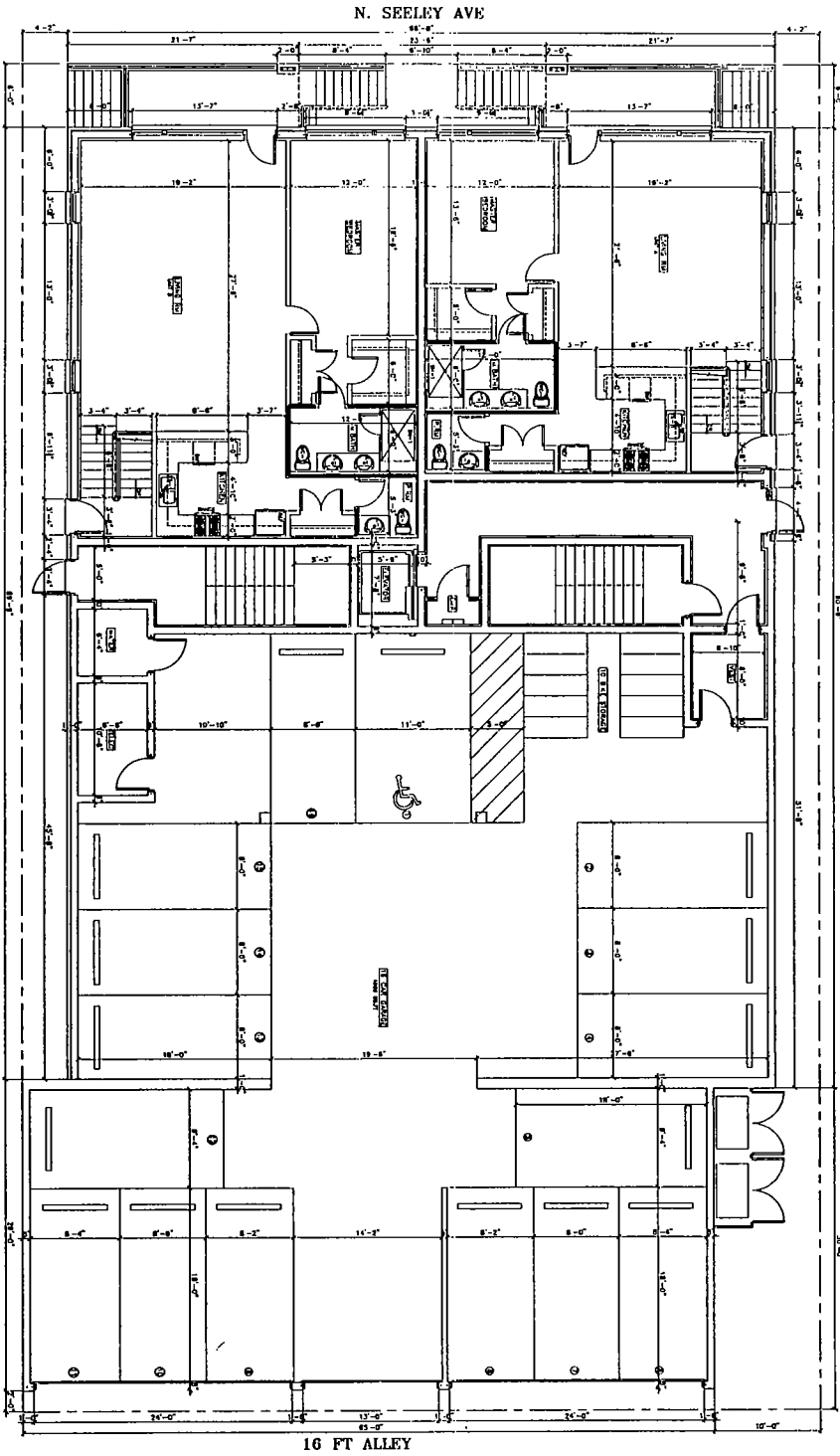
PROJECT NAME & ADDRESS
 2349 N. SEELEY AVE
 4 STORY MAS.
 14 UNIT APART. BLDG
 W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 BASEMENT
 FLOOR PLAN

TITLES

SHEET NUMBER
 A-2

FINAL FOR PUBLICATION



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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LICENSE NUMBER 134-001483

NOTICE: This drawing was prepared by the Architect under the supervision and seal of the Licensed Professional Engineer. The Engineer is not responsible for the design of the building structure or for the design of the building systems.

DATE: 08/11/15
LISTED FOR PERMIT: 08/11/15
LISTED FOR BID: 08/11/15



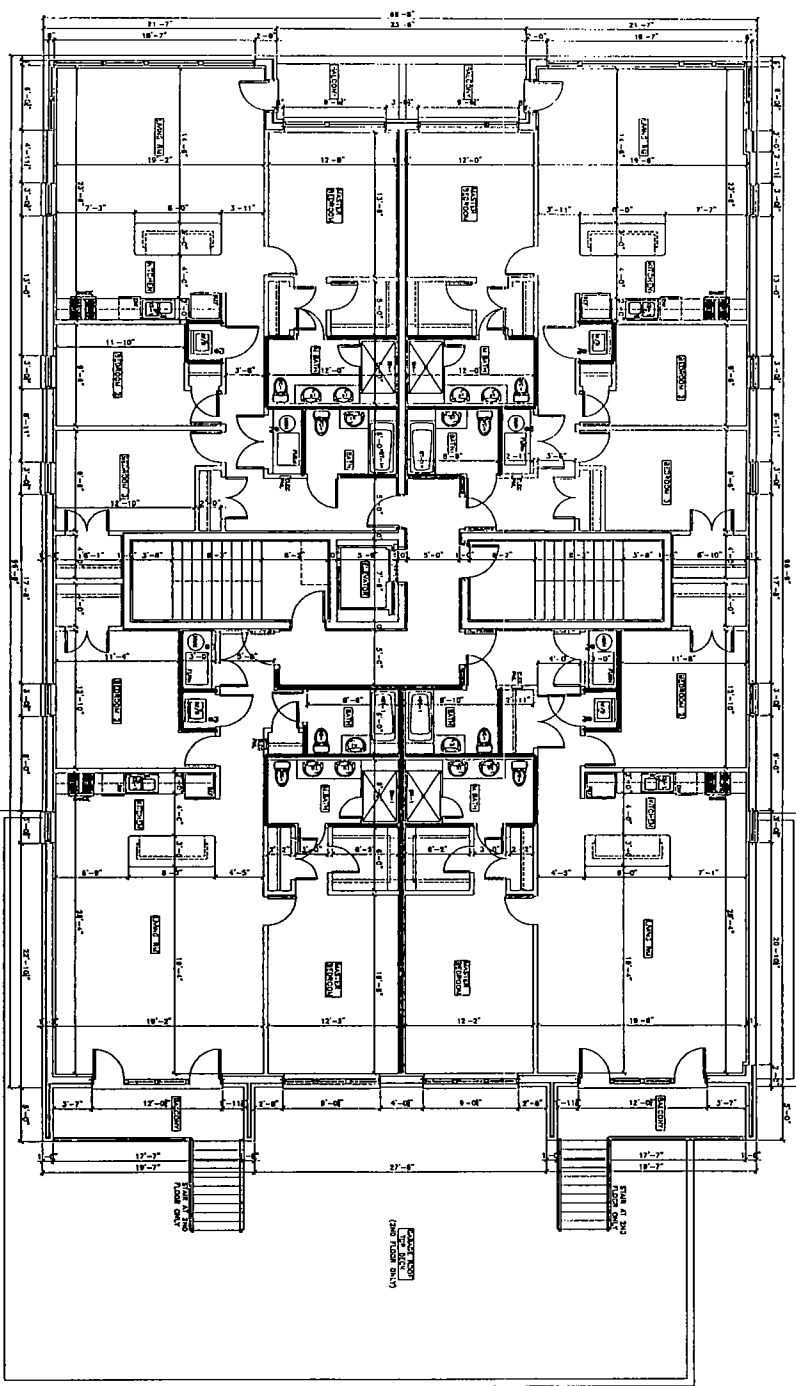
PROJECT NAME & ADDRESS
2346 N. SEELEY AVE
& STOREY MAS.
14 UNIT APT. BLDG
W/BSMT
CHICAGO, ILLINOIS

SHEET TITLE
FIRST FLOOR
PLAN

REVISIONS

SHEET NUMBER
A-3

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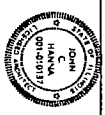
⊕ SECOND THRU FOURTH FLOOR PLAN
SCALE 1/8" = 1'-0"

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ARCHITECT CORPORATION
LICENSE NUMBER 147-201403

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ISSUED FOR PERMIT: _____
ISSUED FOR BID: _____



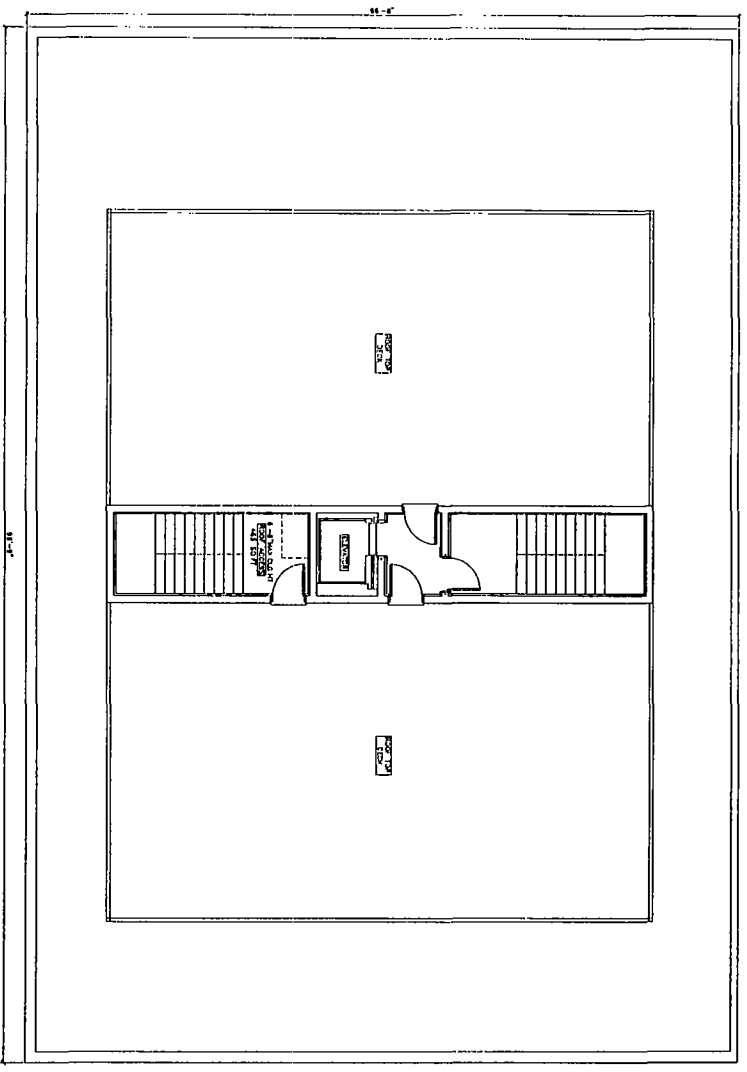
PROJECT NAME & ADDRESS
2346 N. SEELY AVE
4 STORY MAS.
14 UNIT APART BLDG
W/BSMT
CHICAGO, ILLINOIS

SHEET TITLE
SECOND
THRU FOURTH
FLOOR PLANS

TITLINGS

SHEET NUMBER
A-4

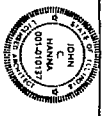
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⊕ ROOF FLOOR PLAN
SCALE 3/16" = 1'-0"

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PROFESSIONAL DESIGN FIRM
ARCHITECT CORPORATION
LICENSE NUMBER: 141-001443



DATE: 08/11/15
DRAWN BY: JH
CHECKED BY: JH
PROJECT: 14 UNIT APART BLDG
14 UNIT APART BLDG
14 UNIT APART BLDG

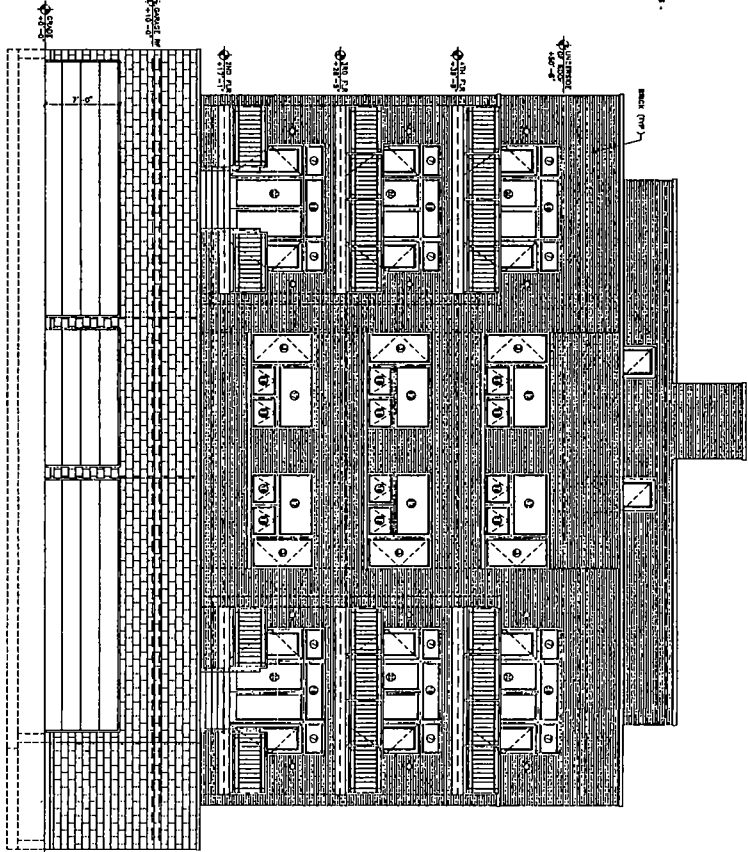
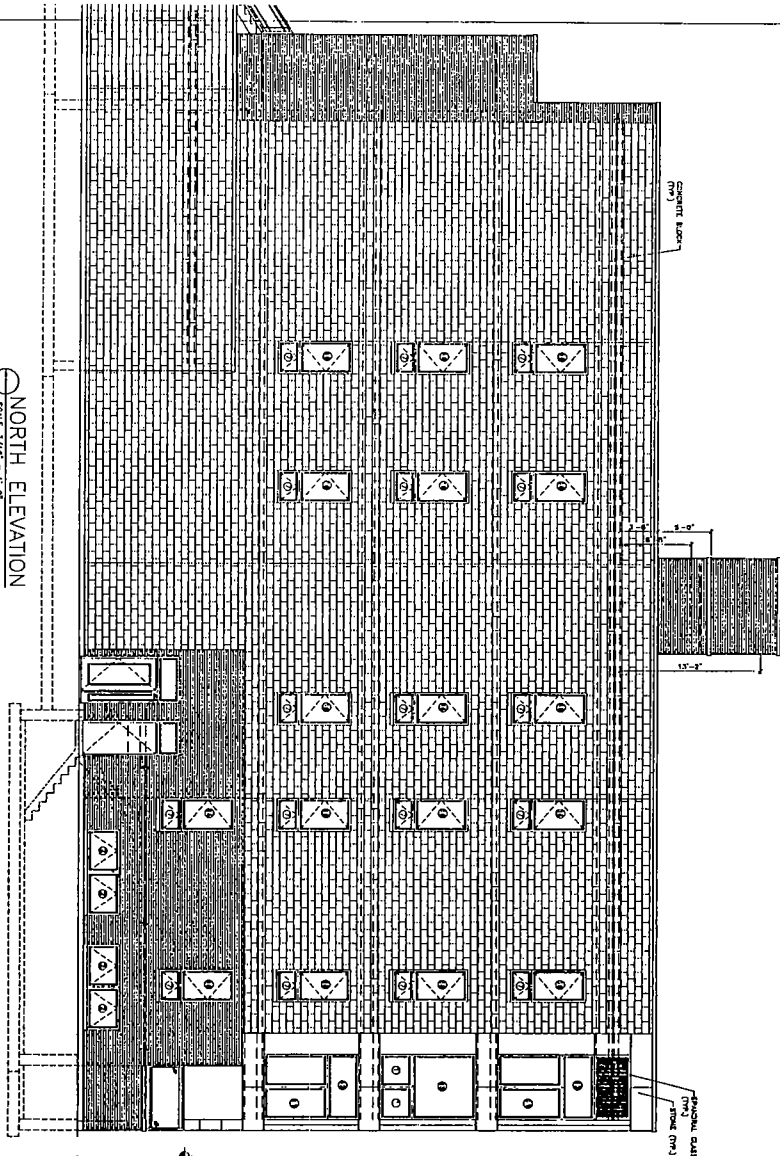
DATE: 08/11/15
DRAWN BY: JH
CHECKED BY: JH
PROJECT: 14 UNIT APART BLDG
14 UNIT APART BLDG
14 UNIT APART BLDG

PROJECT NAME & ADDRESS
2346 N. SHELBY AVE.
4 STORY MAS.
14 UNIT APART BLDG
W/BSMT
CHICAGO, ILLINOIS

SHEET TITLE
ROOF FLOOR
PLAN

SHEET NUMBER
A-5

FINAL FOR PUBLICATION



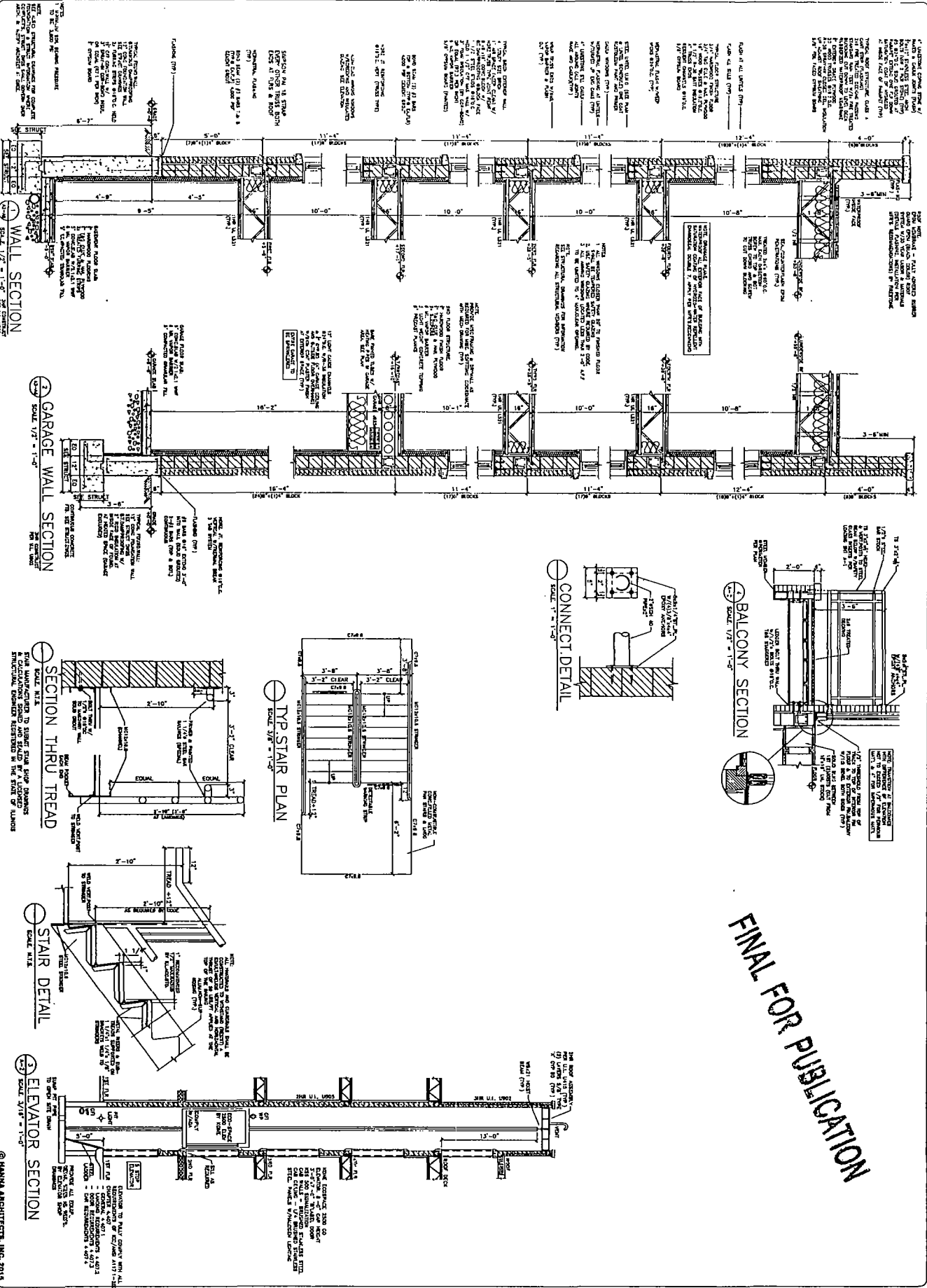
PROJECT NAME & ADDRESS
2346 N. SEELEY AVE
4 STORY MAS.
14 UNIT APART.BLDG
W/BSMT
CHICAGO, ILLINOIS

SHEET TITLE
BUILDING
ELEVATIONS

TITLEBLOCK

SHEET NUMBER
A-7

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PHANNA
112 750-100
180 W. WASHINGTON
CHICAGO ILLINOIS 60602
PH: (312) 750-1800
PROFESSIONAL DESIGN FIRM
ARCHITECT REGISTRATION NO. 001185
LICENSE NUMBER 184-00185

PROJECT NAME & ADDRESS
2348 N. STERLY AVE
4 STORY APART BLDG
W/BSFT
CHICAGO, ILLINOIS

DESIGNER
PHANNA ARCHITECTS, INC. 20113

DATE
08/14/11

SCALE
1/2" = 1'-0"

PROJECT TITLE
WALL SECTIONS & DETAILS

DATE
08/14/11

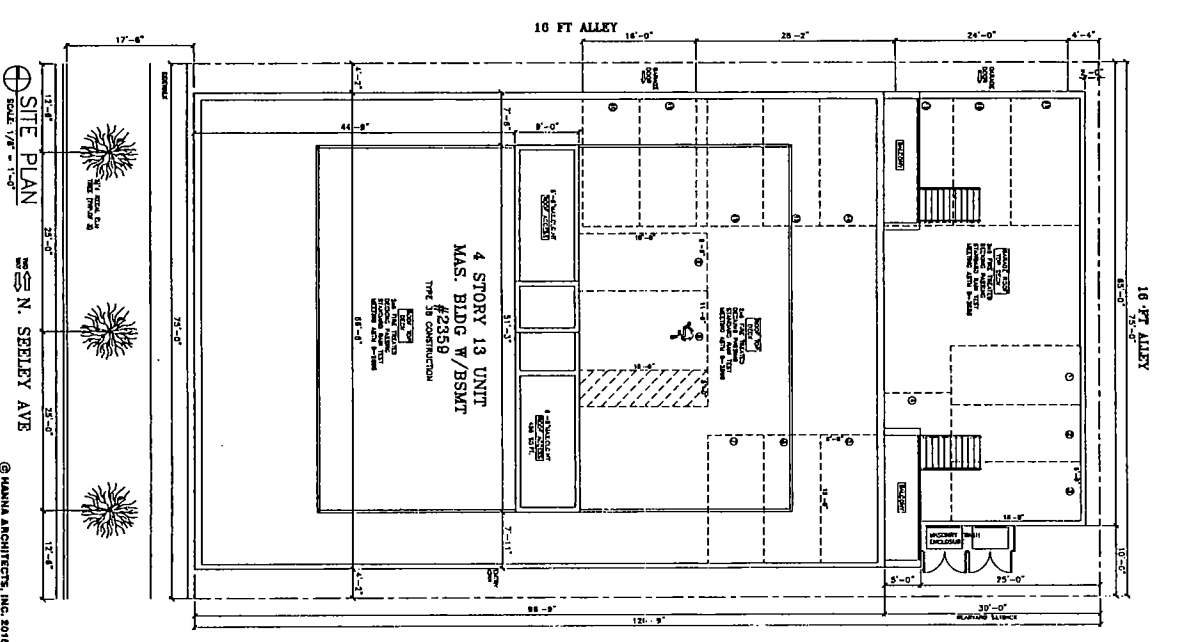
PROJECT NUMBER
A-8

FINAL FOR PUBLICATION

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
 I, the undersigned, hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am a duly licensed professional engineer in the State of Illinois.
 DATE: SEP 14, 2015
 SIGNATURE: [Signature]
 LICENSE NUMBER: 001-010137

- GENERAL CONDITIONS**
1. The contractor shall be responsible for obtaining all necessary permits and licenses for the work herein.
 2. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 3. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
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 16. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 17. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 18. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 19. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
 20. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

- SECTION 1 - MASONRY**
1. All masonry construction shall comply with the requirements and specifications of the Building Code Administration of the City of Chicago.
 2. All masonry construction shall be constructed in accordance with the requirements and specifications of the Building Code Administration of the City of Chicago.
 3. All masonry construction shall be constructed in accordance with the requirements and specifications of the Building Code Administration of the City of Chicago.
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 19. All masonry construction shall be constructed in accordance with the requirements and specifications of the Building Code Administration of the City of Chicago.
 20. All masonry construction shall be constructed in accordance with the requirements and specifications of the Building Code Administration of the City of Chicago.



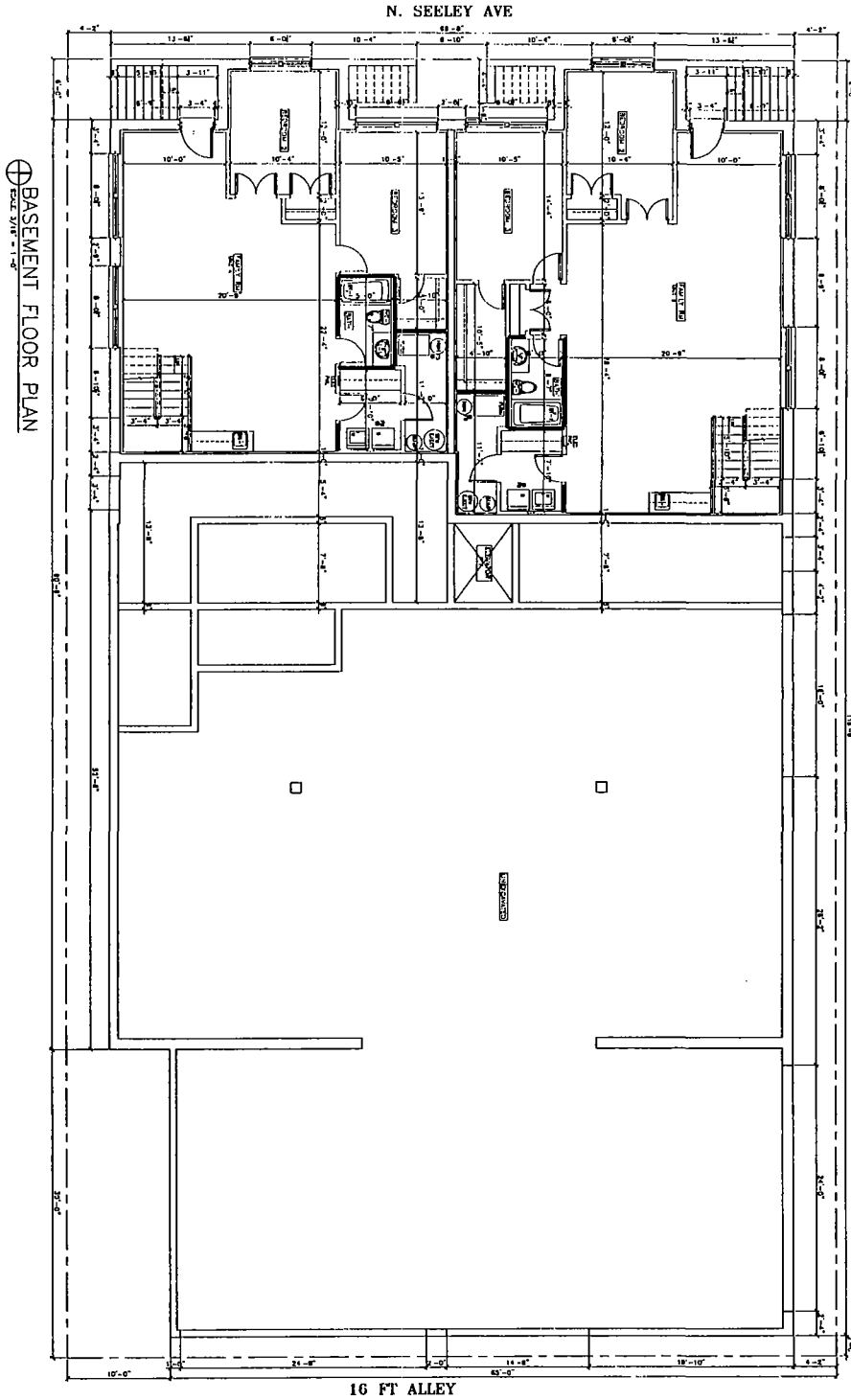
PROJECT NAME & ADDRESS
 2358 N. SEELEY AVE
 4 STORY MAS.
 13 UNIT W/BSMT
 CHICAGO, ILLINOIS

ARCHITECT
 HANNA ARCHITECTS, INC.
 149 W. WASHINGTON
 CHICAGO, ILLINOIS 60602
 FAX (312) 798-1801
 LICENSE NUMBER 141-00145

DATE
 09/14/2015

SCALE
 1/8" = 1'-0"

SHEET NUMBER
 A-1



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DESIGNED FOR: [REDACTED]
 DRAWN FOR: [REDACTED]
 CHECKED FOR: [REDACTED]
 DATE: [REDACTED]



PROJECT NAME & ADDRESS
 2359 N. SEELEY AVE
 4 STORY MASS.
 13 UNIT APART. BLDG
 CHICAGO, ILLINOIS

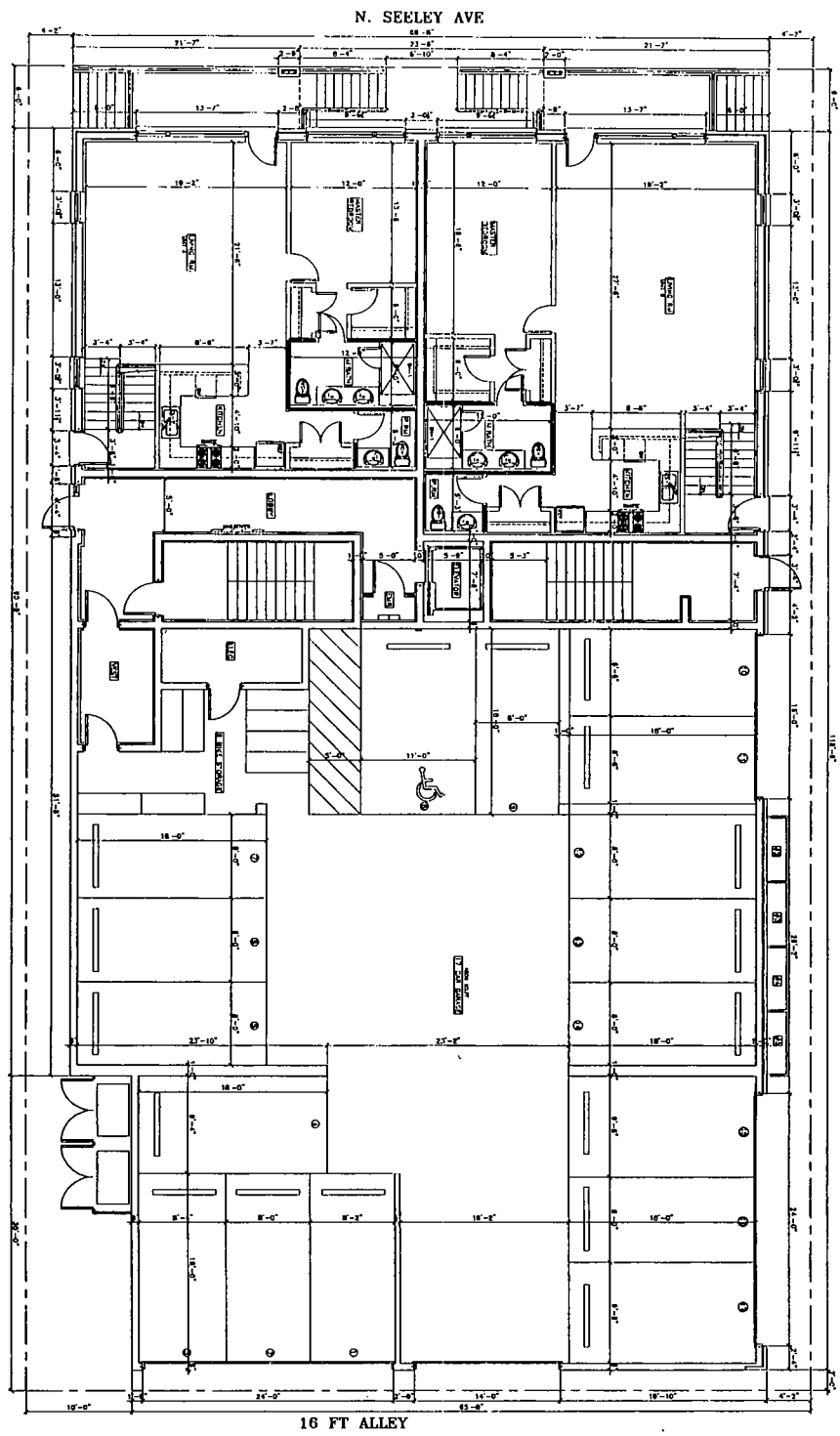
PROJECT TITLE
 BASEMENT
 FLOOR PLAN

FOUNDED

EXCIT FORDERS

A-2

⊕ FIRST FLOOR PLAN



16 FT ALLEY

FINAL FOR PUBLICATION

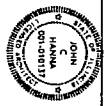
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PROJECT NUMBER
A-3

DATE
7/28/15

PROJECT TITLE
FIRST FLOOR PLAN

PROJECT NAME & ADDRESS
2356 N. SEELEY AVE
4 STORY MAS.
19 UNIT APART BLDG
W/BSMT
CHICAGO, ILLINOIS



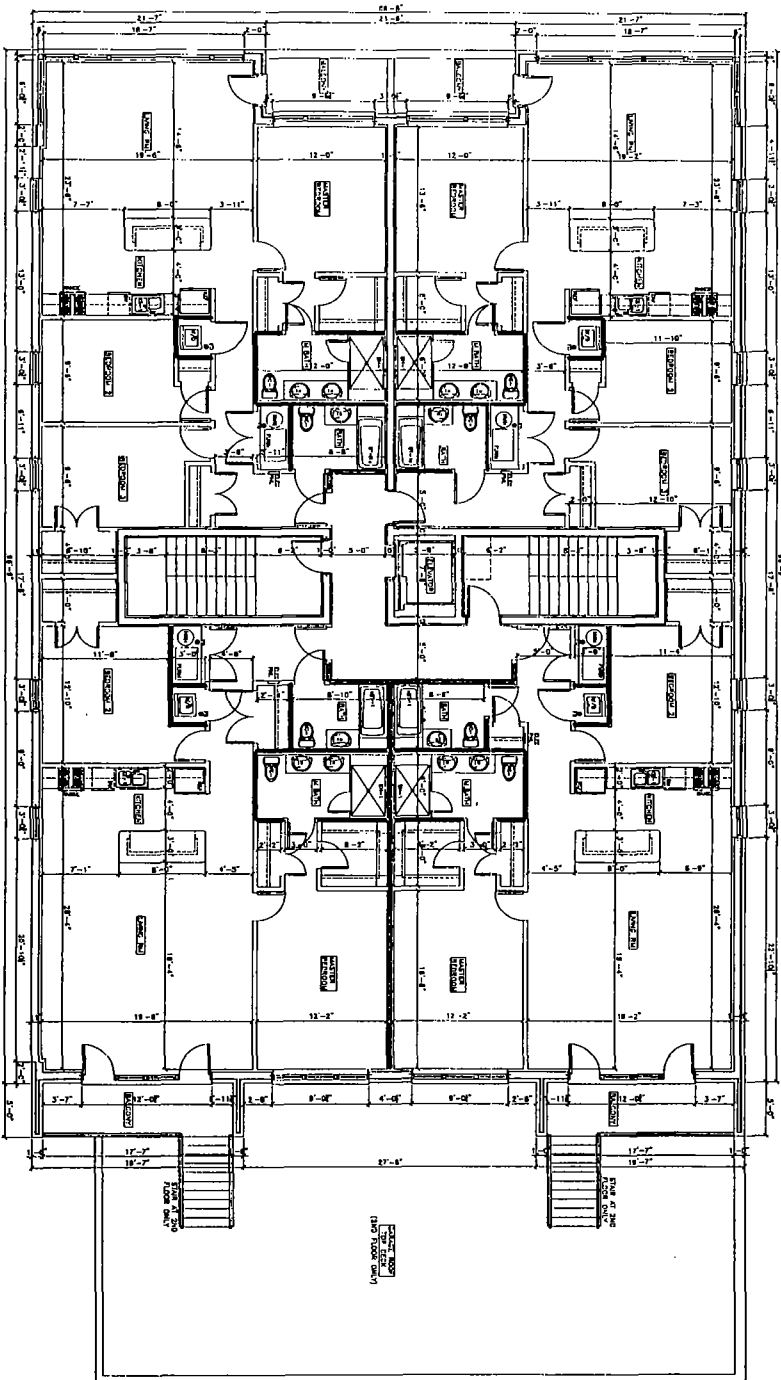
DESIGNED BY
JOHN HANNA
001-08117

DATE
7/28/15

PROFESSIONAL DESIGN FIRM
HANNA ARCHITECTS, INC.
130 N. WASHINGTON
CHICAGO, IL 60602
PHONE (312) 754-1800
FAX (312) 754-1800
LICENSE NUMBER 144,001,459



130 N. WASHINGTON
CHICAGO, IL 60602
PHONE (312) 754-1800
FAX (312) 754-1800
LICENSE NUMBER 144,001,459



⊕ SECOND AND THIRD FLOOR PLAN
SCALE 3/8" = 1'-0"

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HANNA
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773.312.1200
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ARCHITECT CORPORATION
LICENSE NUMBER: 181-120145



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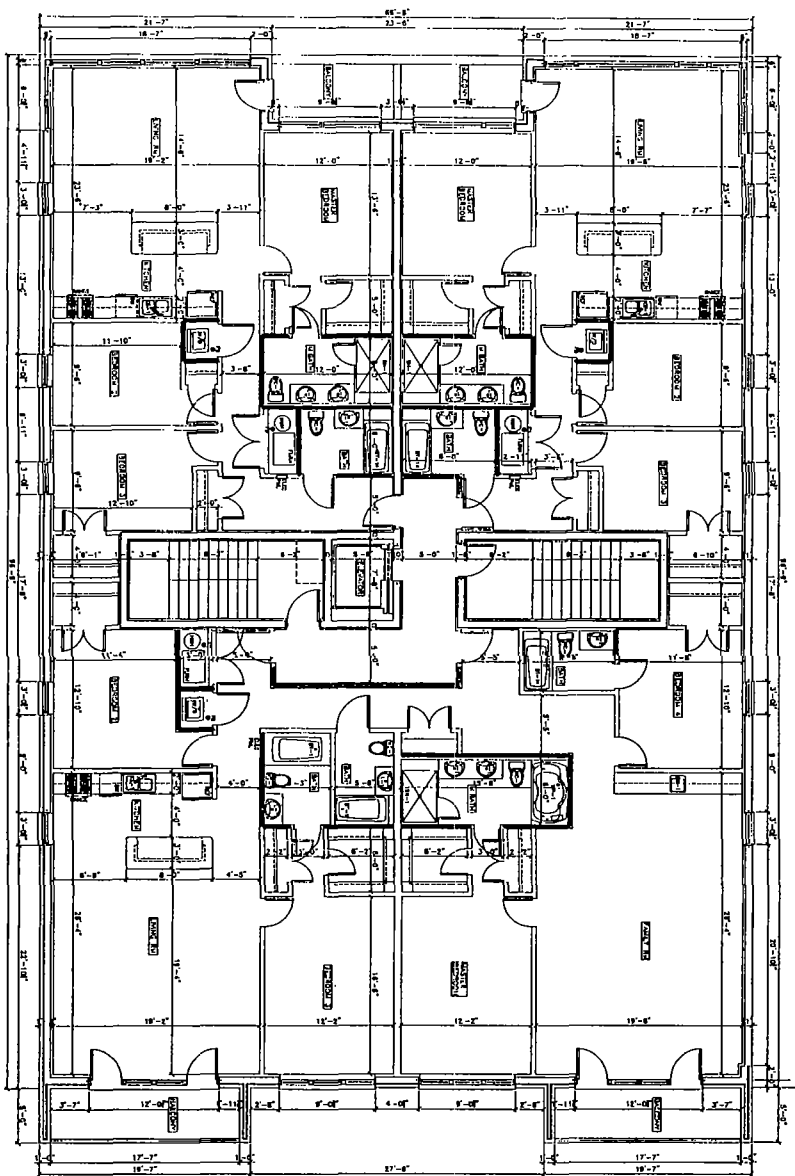
DESIGNED BY: JOHN HANNA
DRAWN BY: JOHN HANNA
CHECKED BY: JOHN HANNA
DATE: 09/15/15

PROJECT NAME & ADDRESS
2356 N. SEELY AVE
4 STORY BLDG.
13 UNIT APARTHDG
CHICAGO, ILLINOIS

SECOND AND THIRD FLOOR PLANS

PLAN NUMBER: A-4

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FOURTH FLOOR PLAN

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HANNA
 110 W WASHINGTON
 CHICAGO, ILLINOIS 60602
 TEL: (312) 758-1800
 FAX: (312) 758-1888
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DESIGNED BY: JOHN HANNA
 DRAWN BY: JOHN HANNA
 151420 PDA PLOT: 2/20/15 (11.3X17)
 151420 PDA ID: 151420



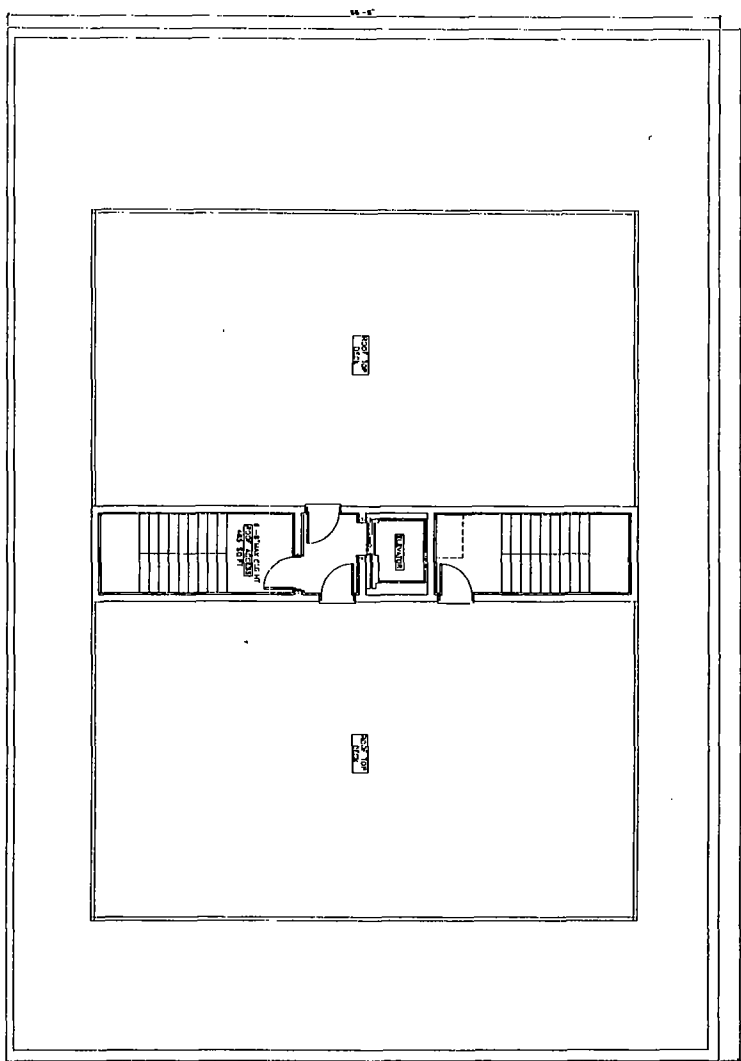
PROJECT NAME & ADDRESS
 2359 N. SEELEY AVE
 4 STORY MAS.
 13 UNIT APART. BLDG
 W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 FOURTH FLOOR
 PLAN

DATE
 02/11/15

SHEET NUMBER
 A-5

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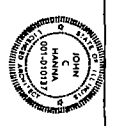


⊕ ROOF FLOOR PLAN
SCALE 3/16" = 1'-0"

Q HANNA
 1820 N. WASHINGTON
 CHICAGO, ILL. 60610
 PHONE: (312) 758-1800
 FAX: (312) 758-1800
 PROFESSIONAL DESIGN FIRM
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DESIGNED BY: JOHN HANNA
 DRAWN BY: JOHN HANNA
 CHECKED BY: JOHN HANNA
 DATE: 07/10/13

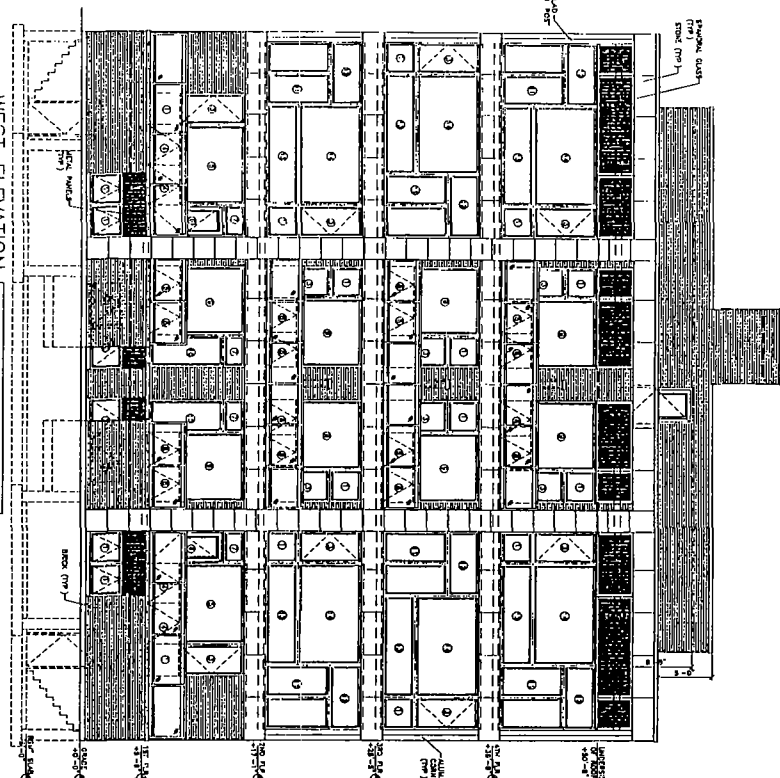


PROJECT NAME & ADDRESS
 2358 N. SEELEY AVE
 4 STORY MAS.
 13 UNIT APART BLDG
 W/BSKT
 CHICAGO, ILLINOIS

SHEET TITLE
 ROOF FLOOR
 PLAN

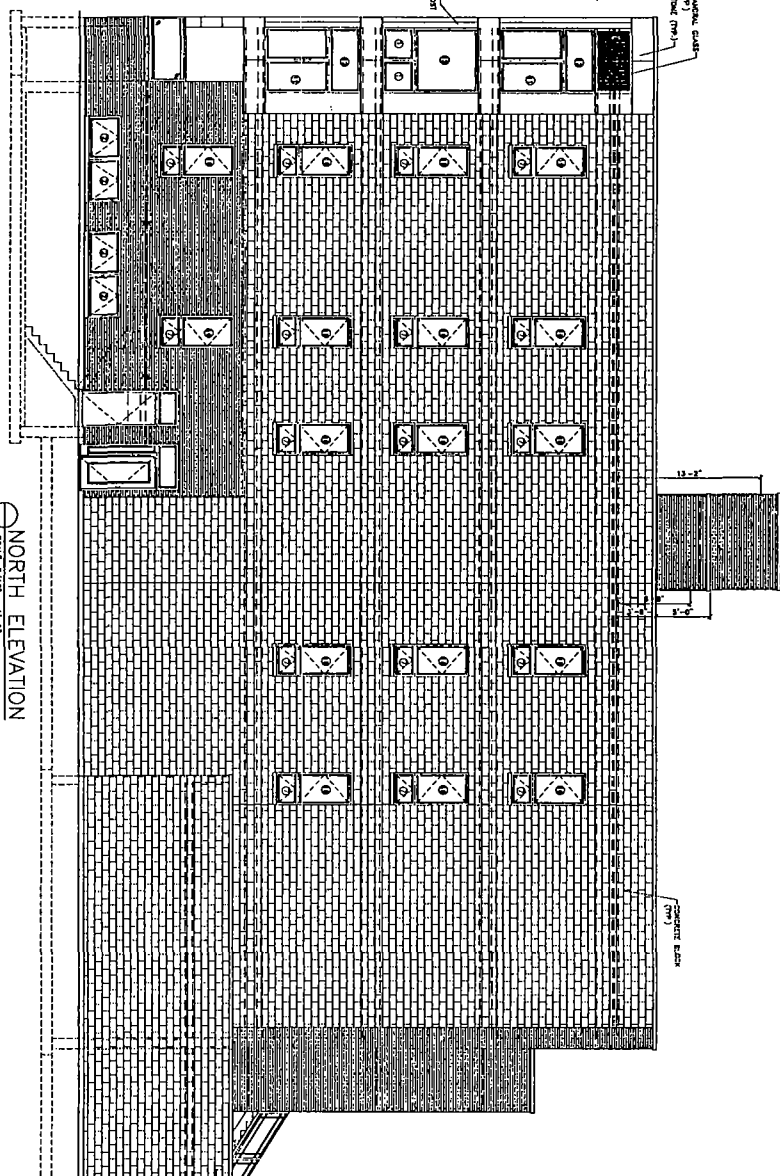
DATE
 SHEET NUMBER
 A-6

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WEST ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: DO NOT RETAIL, USE APERTURE, LUNOSTONE AT EXTERIOR CORNERS IS NOT TO BE COVERED BY CURTAIN WALL. ALL FLOOR ELEVATIONS ARE TO TOP OF THE STRUCTURE (CMU)



NORTH ELEVATION
SCALE: 3/16" = 1'-0"

UNIT	TYPE	WINDOW SCHEDULE	ALUMINUM	GLASS
1	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
2	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
3	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
4	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
5	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
6	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
7	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
8	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
9	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
10	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
11	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
12	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
13	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
14	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
15	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
16	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
17	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
18	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
19	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR
20	WINDOW	1'-0" x 4'-0"	6061-T6	1/2" CLEAR

NOTE:
 1. WINDOW TO BE QUANTIFIED, MATERIAL, GLASS, WITH SCHEDULE.
 2. WINDOW U/V VALUE = 0.12 (per sq ft) PARTITION SHALL BE QUANTIFIED.
 3. WINDOW SCHEDULE SHALL BE QUANTIFIED.
 4. USE SCHEDULE GLASS FROM SCHEDULE WITH COLOR.
 5. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 6. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 7. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 8. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 9. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 10. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 11. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 12. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 13. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 14. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 15. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 16. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 17. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 18. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 19. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.
 20. ALL WINDOW SCHEDULES SHALL BE QUANTIFIED.

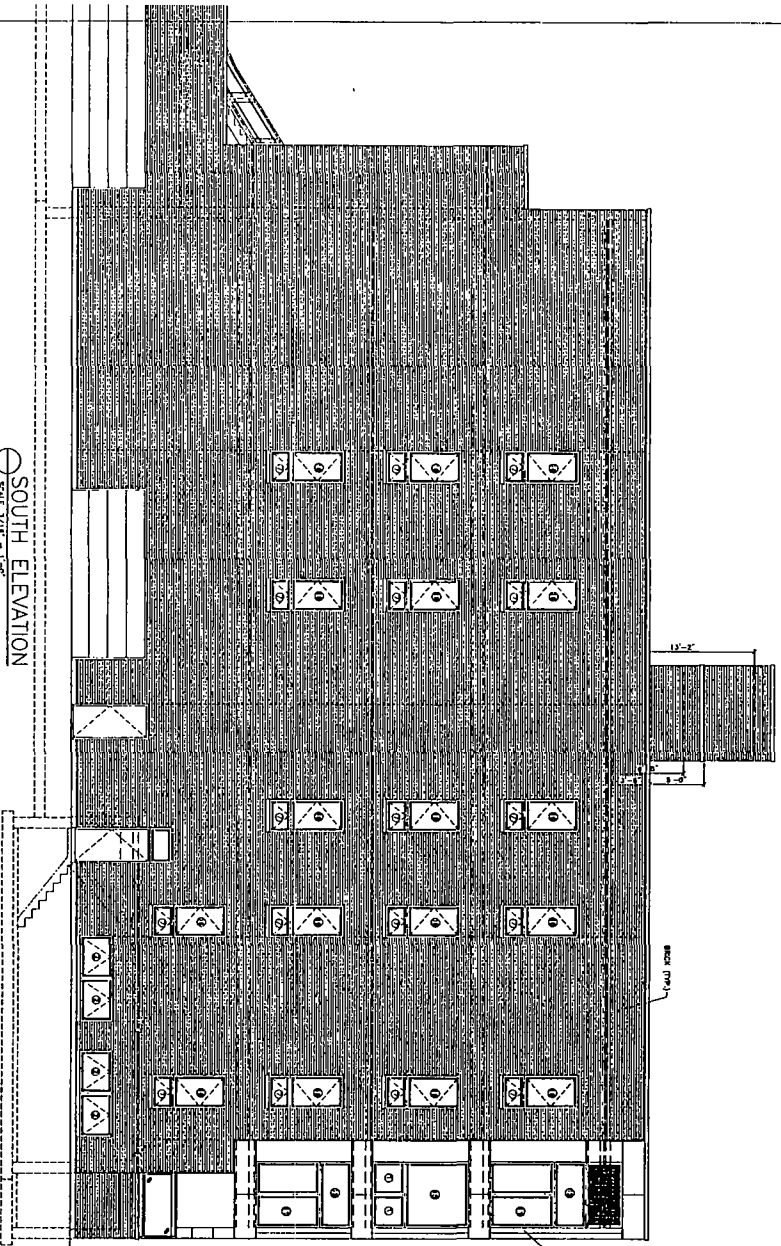
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PROJECT NAME & ADDRESS
 2356 N. SEELEY AVE
 4 STORY HALL
 13 UNIT APARTMENT
 CHICAGO, ILLINOIS

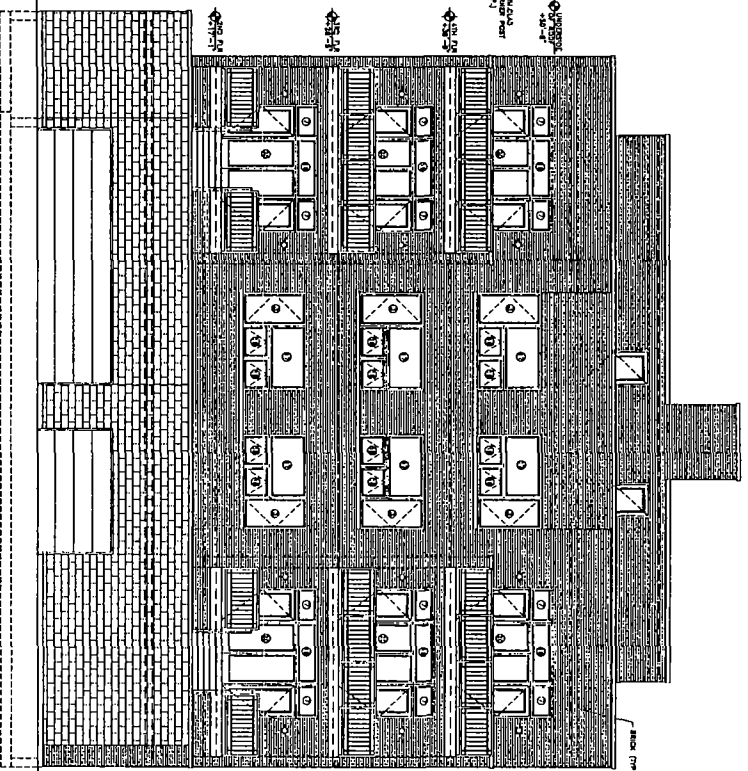
EXEUT TITLE
 BUILDING
 ELEVATIONS

EXEUT NUMBER
 A-7

FINAL FOR PUBLICATION



⊙ SOUTH ELEVATION
SCALE 3/16" = 1'-0"



⊙ EAST ELEVATION
SCALE 3/16" = 1'-0"

PROJECT NAME & ADDRESS
2359 N. SEELEY AVE
4 STORY MAS.
13 UNIT APART BLDG
#/RSMT
CHICAGO, ILLINOIS

SHEET TITLE
BUILDING
ELEVATIONS

FILENAME

SHEET NUMBER

A-8

