



City of Chicago



SO2016-6362

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/14/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 1-G at 327 N Aberdeen St - App No. 18965T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M2-3 Light Industry District symbols and indications as shown on Map No. 1-G in the area bounded by

West Carroll Avenue; the alley next east of and parallel to North Aberdeen Street; a line 96 feet south of and parallel to West Carroll Avenue; and North Aberdeen Street,

to those of DS-3 Downtown Service District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property: 327 North Aberdeen Street

17-13-0303-C (1) NARRATIVE ZONING ANALYSIS

Proposed Zoning: DS-3 Downtown Service District

Lot Area: 11,520 square feet

Proposed Land Use: The subject property is improved with a two-story commercial building, containing one (1) retail/commercial unit at grade level and one (1) office/commercial unit above. The grade level unit currently contains an art gallery. The current zoning district (as amended by Ordinance in 2004) does not allow an "art gallery" in the M2-3 District. As a result, the existing art gallery use is non-conforming. The Applicant is attempting to bring the current art gallery use at the property into compliance with the Zoning Ordinance. There will be no expansion of the existing building in terms of density, building area or height. The existing commercial/businesses shall remain, including the existing art gallery.

- (a) **The Project's floor area ratio (F.A.R.):**
1.7 F.A.R. – No Change
- (b) **The project's density (Lot Area Per Dwelling Unit):**
Residential (dwelling) units are not allowed under the Ordinance
- (c) **The amount of off-street parking:** 0
- (d) **Setbacks:**
 - a. Front Yard: 0
 - b. Rear Yard: 0
 - c. Side Yard(s): 0
 - d. Rear Yard Open Space: 0
- (e) **Building Height:**
Existing: 33 feet and 5 inches at highest point; no building construction or expansion is proposed on the property subject to the Zoning Amendment.

*17-13-0303-C(2) plans Attached.

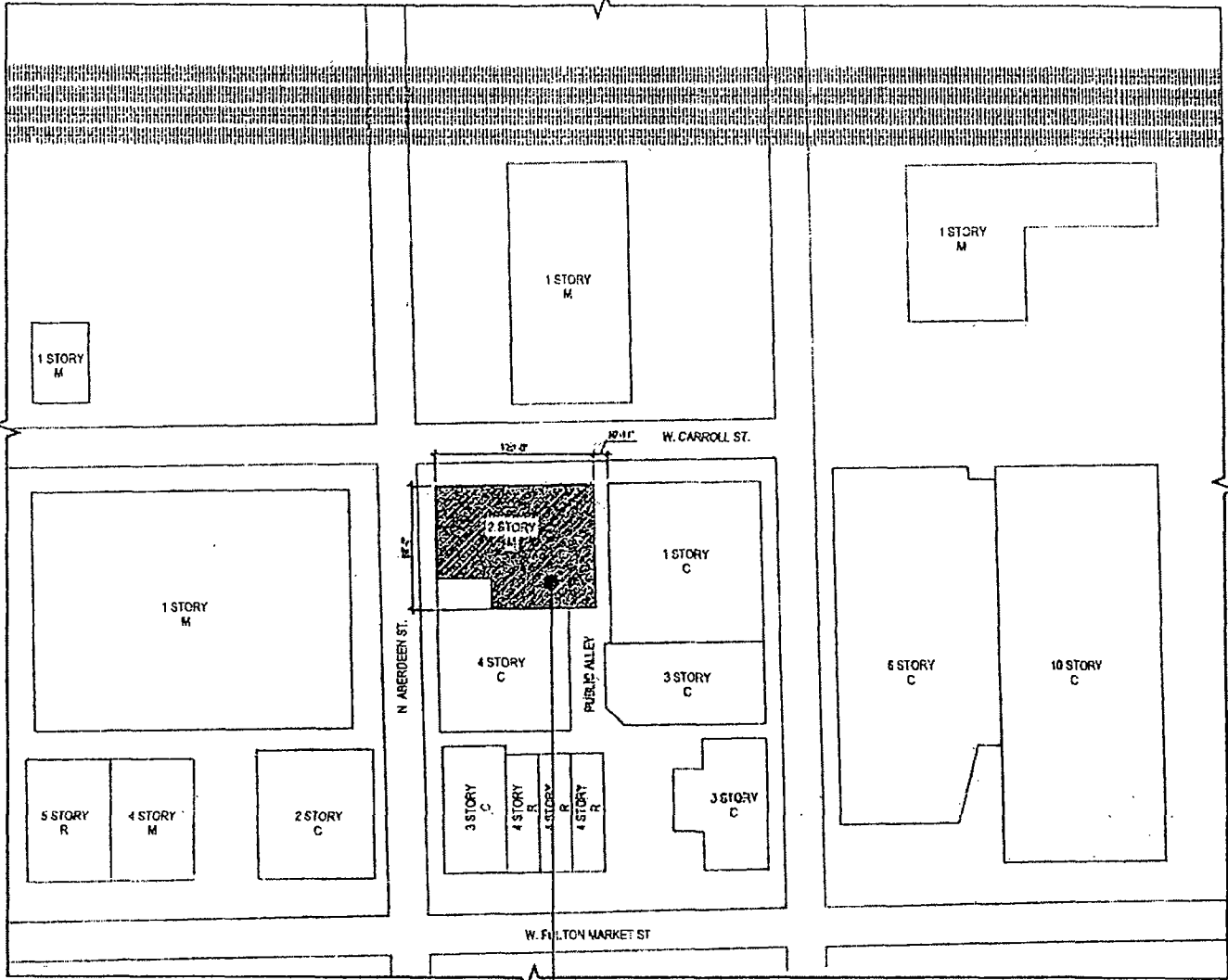


- | | | |
|-----------------------|---|--------------------|
| Business | CHICAGO LANDMARKS | Lakefront |
| Commercial | Chicago Landmarks | Pedestrian Streets |
| Manufacturing | Landmark Districts | Buildings |
| Residential | Chicago Historic Resources Survey - Buildings subject to Demolition-Delay Ordinance | Parcels |
| Planned Development | Red | Streets |
| Planned Manufacturing | Orange | Curbs |
| Downtown Core | Water | Forest Preserve |
| Downtown Service | Cemetery | City Boundary |
| Downtown Mixed | | |
| Downtown Residential | | |
| Transportation | | |
| Parks & Open Space | | |
| Zoning Boundaries | | |



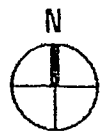
LEGEND	
SUBJECT PREMISES	

APPLICANT: CLK PROPERTIES ADDRESS OF PROJECT: 327 N. ABERDEEN STREET, CHICAGO, IL INTRODUCTION DATE: SEPTEMBER, 2016 PLAN COMMISSION DATE: NOVEMBER 17, 2016	EXISTING ZONING MAP SCALE: NTS
---	--



327 N. ABERDEEN
EXISTING 2 STORY BUILDING

LEGEND	
	SUBJECT PREMISES
C	COMMERCIAL USE
R	RESIDENTIAL USE
M	MANUFACTURING USE



APPLICANT:	CLK PROPERTIES
ADDRESS OF PROJECT:	327 N. ABERDEEN STREET, CHICAGO, IL
INTRODUCTION DATE:	SEPTEMBER, 2016
PLAN COMMISSION DATE:	TBD

EXISTING USE MAP
SCALE: NTS

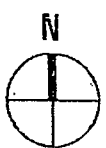
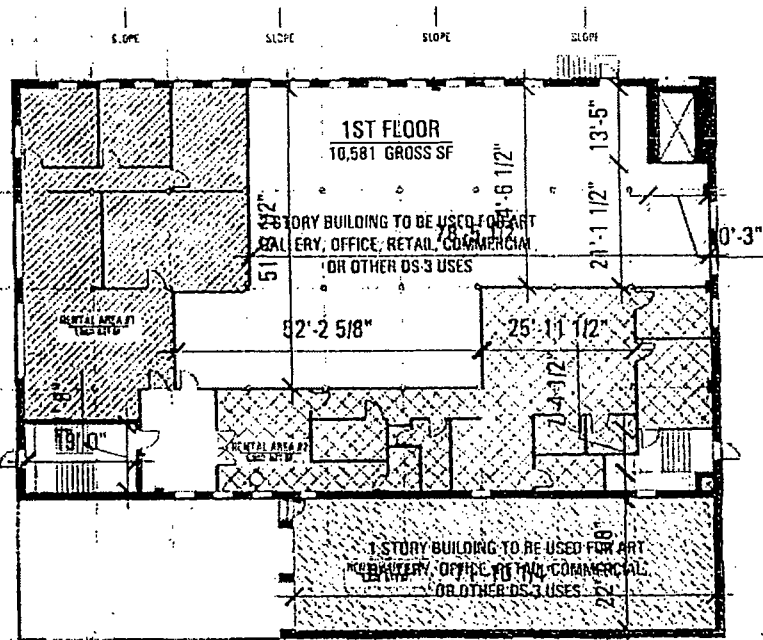
A B C D E F G H

12'-6" 120'-0" APPROX. 10'-11"

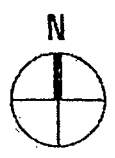
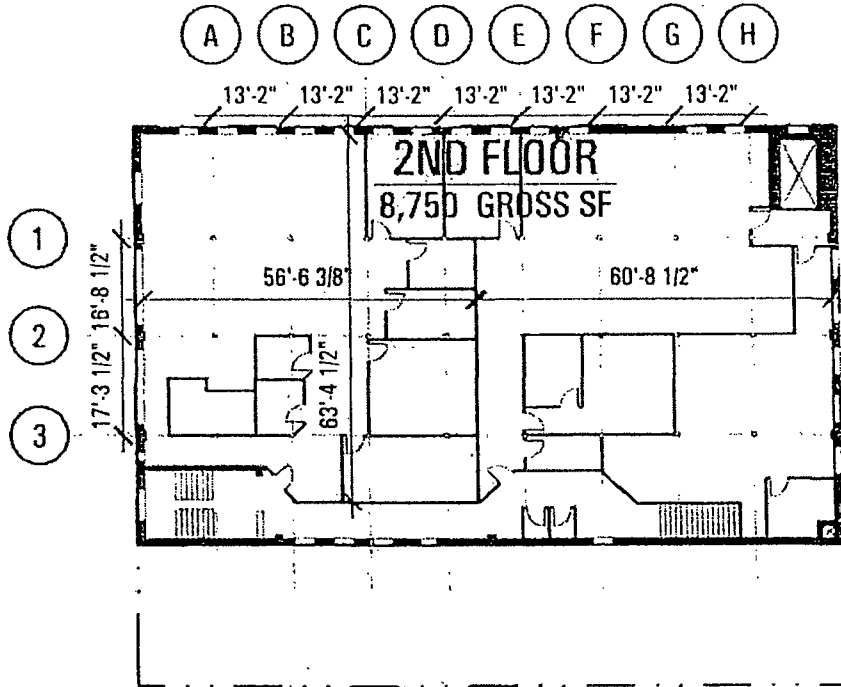
13'-2" 13'-2" 13'-2" 13'-2" 13'-2" 13'-2" 13'-2"

20'-6"
72'-0" APPROX.
17'-3 1/2" 16'-8 1/2"
24'-0"
APPROX.

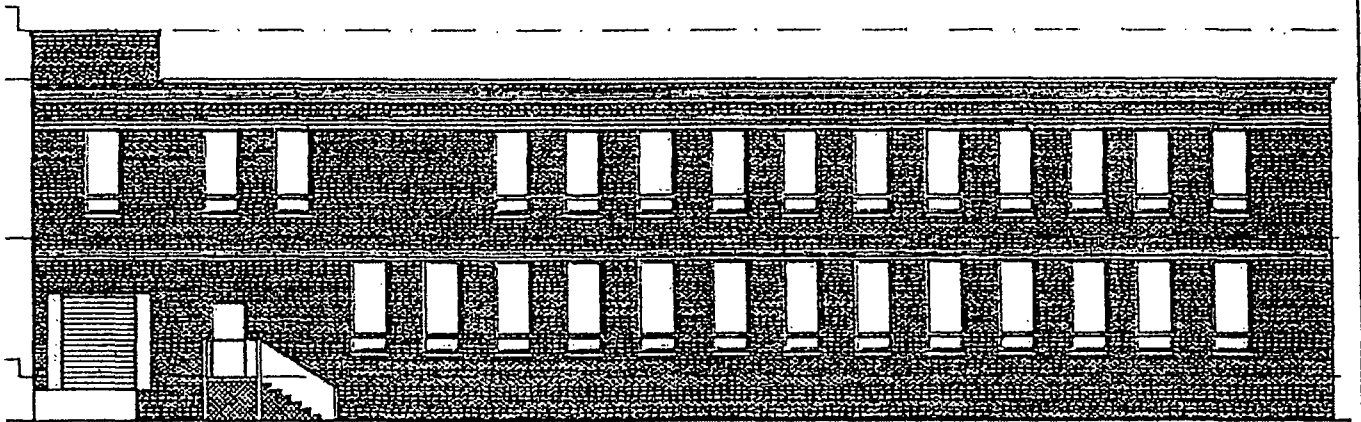
1
2
3



<p>APPLICANT: CLK PROPERTIES ADDRESS OF PROJECT: 327 N. ABERDEEN STREET, CHICAGO, IL INTRODUCTION DATE: SEPTEMBER, 2016 PLAN COMMISSION DATE: NOVEMBER 17, 2016</p>	<p>SITE PLAN SCALE: 1/32" = 1'-0"</p>
--	--



<p> APPLICANT: CLK PROPERTIES ADDRESS OF PROJECT: 327 N. ABERDEEN STREET, CHICAGO, IL INTRODUCTION DATE: SEPTEMBER, 2016 PLAN COMMISSION DATE: NOVEMBER 17, 2016 </p>	<p> SECOND FLOOR PLAN SCALE: 1/32" = 1'-0" </p>
--	--



APPLICANT:	CLK PROPERTIES
ADDRESS OF PROJECT:	327 N. ABERDEEN STREET, CHICAGO, IL
INTRODUCTION DATE:	SEPTEMBER, 2016
PLAN COMMISSION DATE:	TBD

NORTH ELEVATION
SCALE: 1/16" = 1'-0"

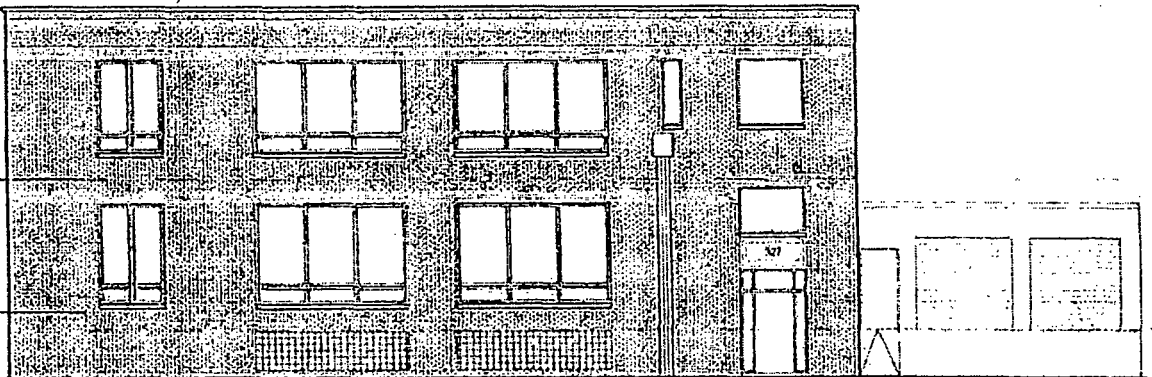
T/ ELEVATOR OVERRIDE
EL: +36'-7"

T/ PARAPET
EL: +32'-1"

T/ SECOND FLOOR
EL: +17'-2"

T/ FIRST FLOOR
EL: +4'-1"

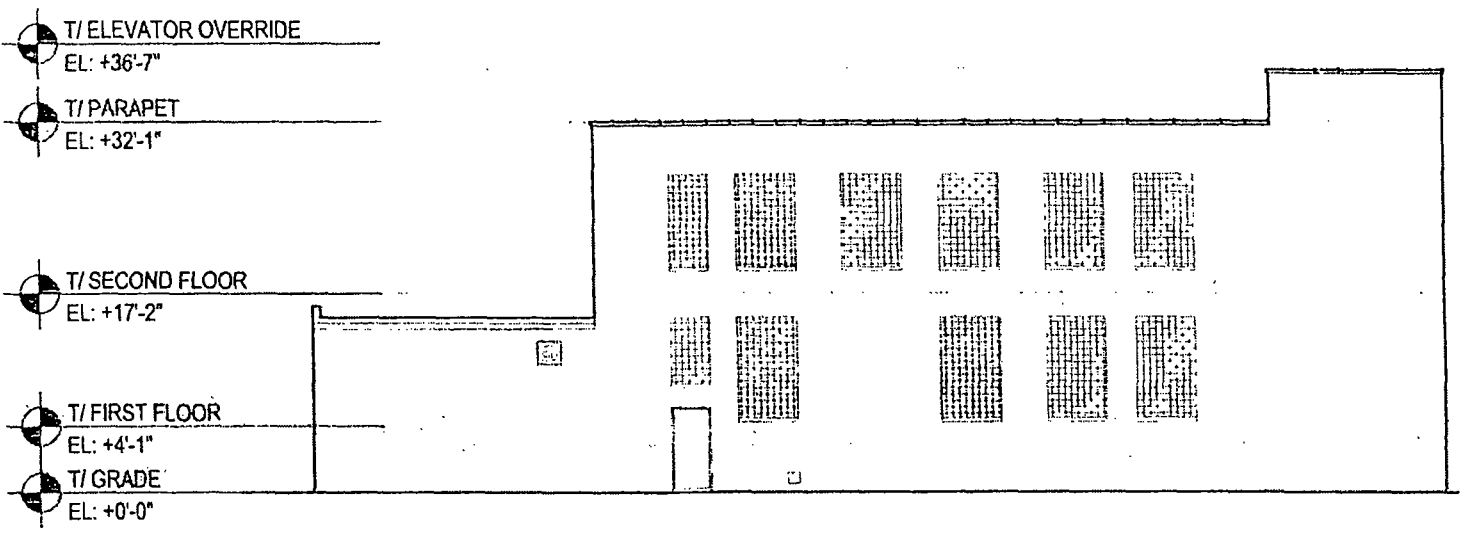
T/ GRADE
EL: +0'-0"



APPLICANT:	CLK PROPERTIES
ADDRESS OF PROJECT:	327 N. ABERDEEN STREET, CHICAGO, IL
INTRODUCTION DATE:	SEPTEMBER, 2016
PLAN COMMISSION DATE:	NOVEMBER 17, 2016

WEST ELEVATION

SCALE: 1/16" = 1'-0"



APPLICANT: CLK PROPERTIES
ADDRESS OF PROJECT: 327 N. ABERDEEN STREET, CHICAGO, IL
INTRODUCTION DATE: SEPTEMBER, 2016
PLAN COMMISION DATE: NOVEMBER 17, 2016

EAST ELEVATION
SCALE: 1/16" = 1'-0"




18965
FINAL

DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

MEMORANDUM

TO: Alderman Daniel S. Solis
Chairman, City Council Committee on Zoning

FROM: 

David L. Reifman
Secretary
Chicago Plan Commission

DATE: November 18, 2016

RE: Proposed Zoning Map Amendment in the Kinzie Industrial
Corridor for the property generally located at 327 North Aberdeen Street.

On November 17, 2016, the Chicago Plan Commission recommended approval of the proposed zoning map amendment submitted by 327 North Aberdeen Owner LLC. A copy of the proposed amendment is attached. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning hearing.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development recommendation and a copy of the Resolution. If you have any questions in this regard, please do not hesitate to contact me at 744-5777.

cc: Steve Valenziano
PD Master File (Original PD, copy of memo)