



City of Chicago



O2019-3842

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	5/29/2019
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 4-F at 2143-2145 S Halsted St - App No. 20031T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map No.4-F in the area bounded by

a line 82 feet north of and parallel to West Cermak Road;
South Emerald Avenue; a line 34 feet north of and parallel
West Cermak Road; and South Halsted Street,

to those of a B3-3 Community Shopping District is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property: 2143-2145 South Halsted Street

Final for Publication

NARRATIVE AND PLANS
FOR THE PROPOSED REZONING
AT
2143-45 S Halsted Street

The Applicant intends to change the zoning from the existing M1-2 Limited Manufacturing/ Business Park District to B3-3 Community Shopping District to construct new 4 story, 6 dwelling unit building with approximately 1,900 Square Feet of ground floor mercantile space.

ZONING: B3-3

LOT AREA: 4800 square feet

MINIMUM LOT AREA PER DWELLING UNIT: 800 square feet

FLOOR AREA RATIO: 2.86

BUILDING AREA: 13736 square feet

OFF-STREET PARKING: 5 spaces *

FRONT SETBACK: 1 feet 0 inches

REAR SETBACK: 21 feet 0 inches

SIDE SETBACK: 0 foot 6 inches on South and foot 6 inches on North = TOTAL 1 feet 0 inches

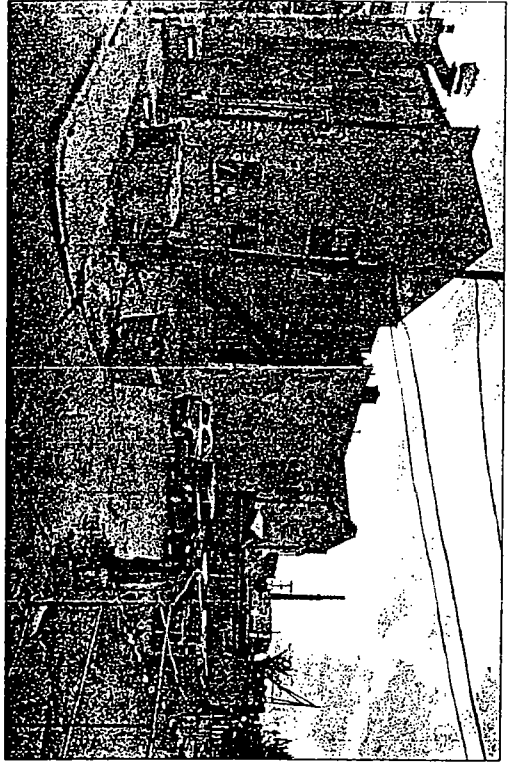
BUILDING HEIGHT: 44 feet 2.5 inches

Building material will be face brick with concrete masonry units on sides and rear.

Set of plans are attached.

*Variance for 1 parking space required and rear yard setback

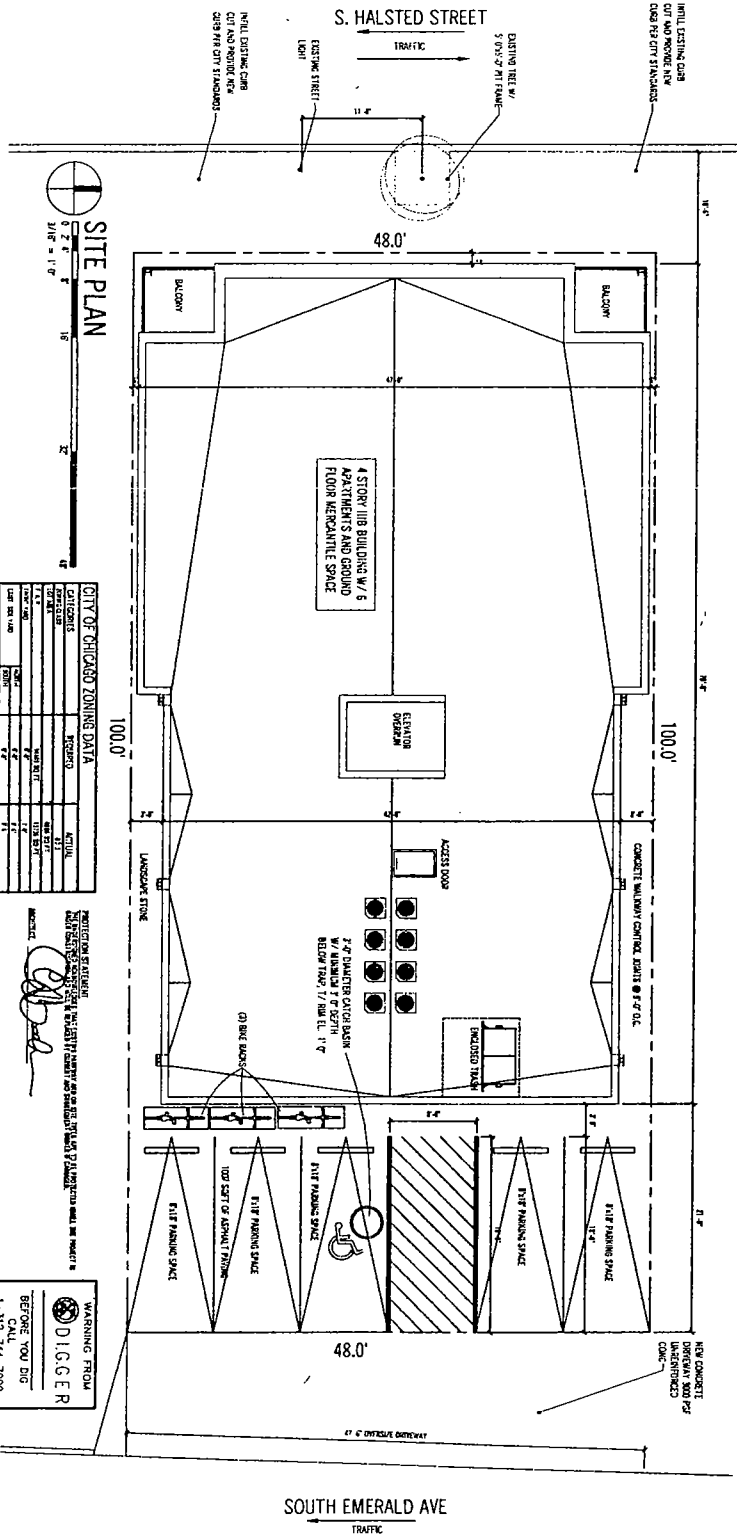
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SOUTH EMERALD AVE



SOUTH HALSTED



CITY OF CHICAGO ZONING DATA

CITY CODE	DESCRIPTION	ACTUAL
04-24-01-001	COMMERCIAL	04-24-01-001
04-24-01-002	COMMERCIAL	04-24-01-002
04-24-01-003	COMMERCIAL	04-24-01-003
04-24-01-004	COMMERCIAL	04-24-01-004
04-24-01-005	COMMERCIAL	04-24-01-005
04-24-01-006	COMMERCIAL	04-24-01-006
04-24-01-007	COMMERCIAL	04-24-01-007
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04-24-01-014	COMMERCIAL	04-24-01-014
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04-24-01-018	COMMERCIAL	04-24-01-018
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04-24-01-039	COMMERCIAL	04-24-01-039
04-24-01-040	COMMERCIAL	04-24-01-040

WARNING: FROM
DIGGER
 BEFORE YOU DIG
 CALL
 1-312-744-7000

Final for Publication

SHEET
A0.2
 NUMBER

STATE OF ILLINOIS
 CHICAGO
 DEPARTMENT OF PLANNING AND DEVELOPMENT
 100 N. LAKE STREET, 16TH FLOOR
 CHICAGO, IL 60602

PROJECT NAME
 NEW 4-UNIT MIXED-USE
 APARTMENT BUILDING
 W/ GROUND FLOOR MERCANTILE
 234-45 S. HALSTED
 CHICAGO, IL

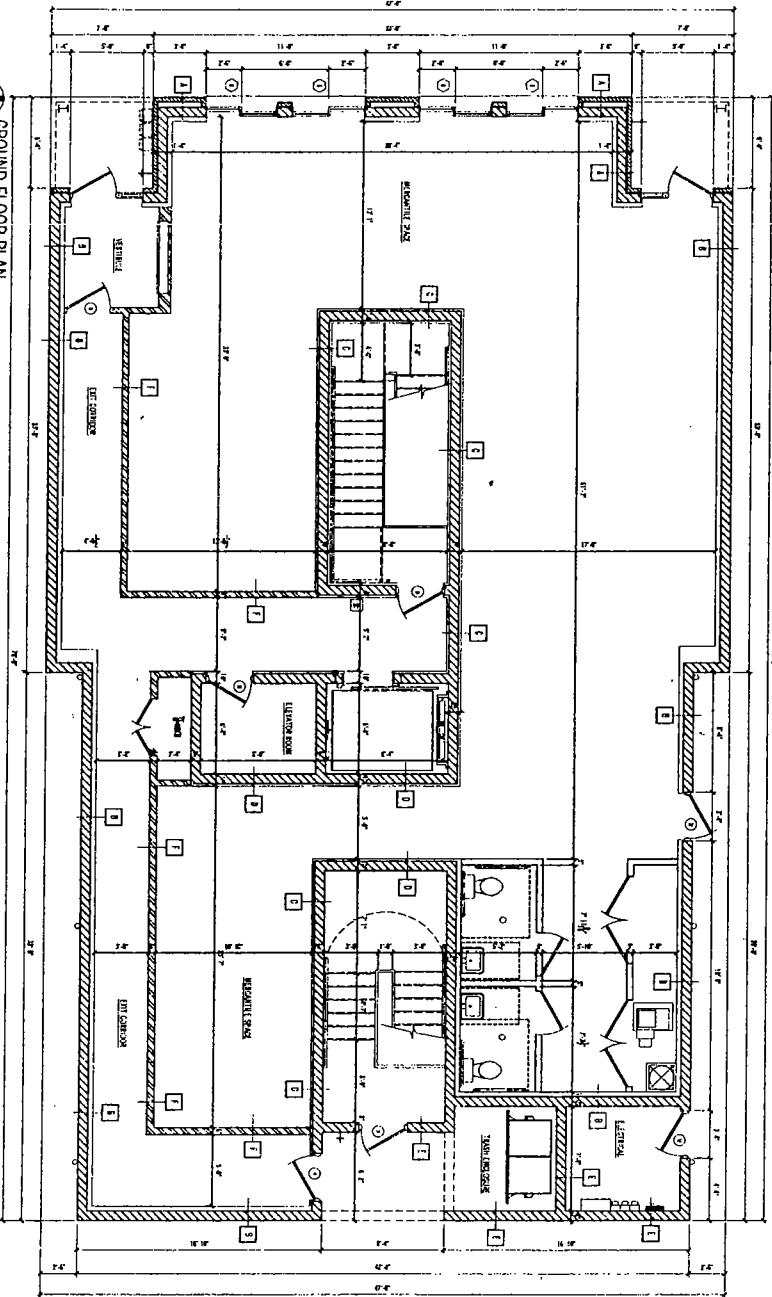
DATE PREPARED
 10/11

PROFESSIONAL SEAL FOR THE DESIGNER
 ARCHITECT
 STATE OF ILLINOIS
 NO. 100000000

360
 design studio

Final for Publication

GROUND FLOOR PLAN



NO.	SYMBOL	DESCRIPTION	UNIT & ROOM NUMBER
1	[Symbol]	CONCRETE WALL WITH EXTERIOR FINISH	ALL UNITS
2	[Symbol]	CONCRETE WALL WITH INTERIOR FINISH	ALL UNITS
3	[Symbol]	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR FINISH	ALL UNITS
4	[Symbol]	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR FINISH AND EXTERIOR FINISH	ALL UNITS
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13	[Symbol]	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR FINISH AND EXTERIOR FINISH	ALL UNITS

SYMBOL	DESCRIPTION
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[Symbol]	CONCRETE WALL WITH INTERIOR FINISH AND EXTERIOR FINISH AND EXTERIOR FINISH

360 Design Studio

 2151 S. LAKESHORE BLVD.

 CHICAGO, IL 60648

 312.467.2225

 312.467.2233

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 PROFESSIONAL SEAL (PENDING)

PROJECT NAME:

 NEW 8 UNIT MANSION

 APARTMENT BUILDING

 W/ GROUND FLOOR GARAGES

 170 N. LAKE STREET

 CHICAGO, IL

DRAWING NUMBER: 11915

SHEET NO. 11915

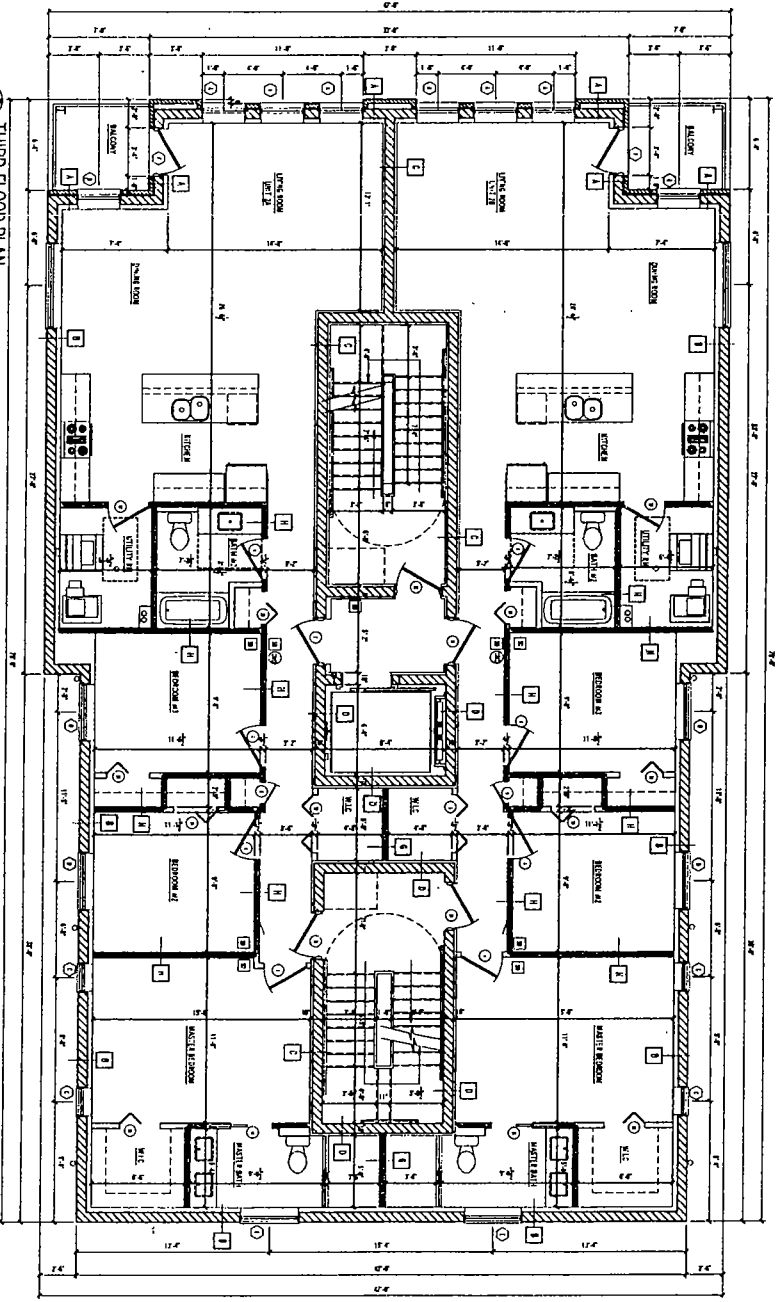
SHEET

A1.1

 11915

Final for Publication

THIRD FLOOR PLAN



NO.	WALL LEGEND	DESCRIPTION	THICKNESS
1	[Symbol]	CONCRETE WALL WITH 2" POLYSTYRENE INSULATION	8" MIN
2	[Symbol]	CONCRETE WALL WITH 1" POLYSTYRENE INSULATION	8" MIN
3	[Symbol]	CONCRETE WALL WITH 1/2" POLYSTYRENE INSULATION	8" MIN
4	[Symbol]	CONCRETE WALL WITH 1/4" POLYSTYRENE INSULATION	8" MIN
5	[Symbol]	CONCRETE WALL WITH 1/8" POLYSTYRENE INSULATION	8" MIN
6	[Symbol]	CONCRETE WALL WITH 1/4" POLYSTYRENE INSULATION	8" MIN
7	[Symbol]	CONCRETE WALL WITH 1/8" POLYSTYRENE INSULATION	8" MIN
8	[Symbol]	CONCRETE WALL WITH 1/4" POLYSTYRENE INSULATION	8" MIN
9	[Symbol]	CONCRETE WALL WITH 1/8" POLYSTYRENE INSULATION	8" MIN
10	[Symbol]	CONCRETE WALL WITH 1/4" POLYSTYRENE INSULATION	8" MIN

NO.	SYMBOL LEGEND	DESCRIPTION
1	[Symbol]	DOOR WITH 1/2" POLYSTYRENE INSULATION
2	[Symbol]	DOOR WITH 1/4" POLYSTYRENE INSULATION
3	[Symbol]	DOOR WITH 1/8" POLYSTYRENE INSULATION
4	[Symbol]	DOOR WITH 1/4" POLYSTYRENE INSULATION
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9	[Symbol]	DOOR WITH 1/8" POLYSTYRENE INSULATION
10	[Symbol]	DOOR WITH 1/4" POLYSTYRENE INSULATION

548117
A1.4
5398818

STATE OF ILLINOIS
COMMERCIAL
ARCHITECT
DIPLOMA NO. 12,345

PROJECT NAME
NEW 5 UNIT APARTMENT
APARTMENT BUILDING
1234567890
CHICAGO, IL

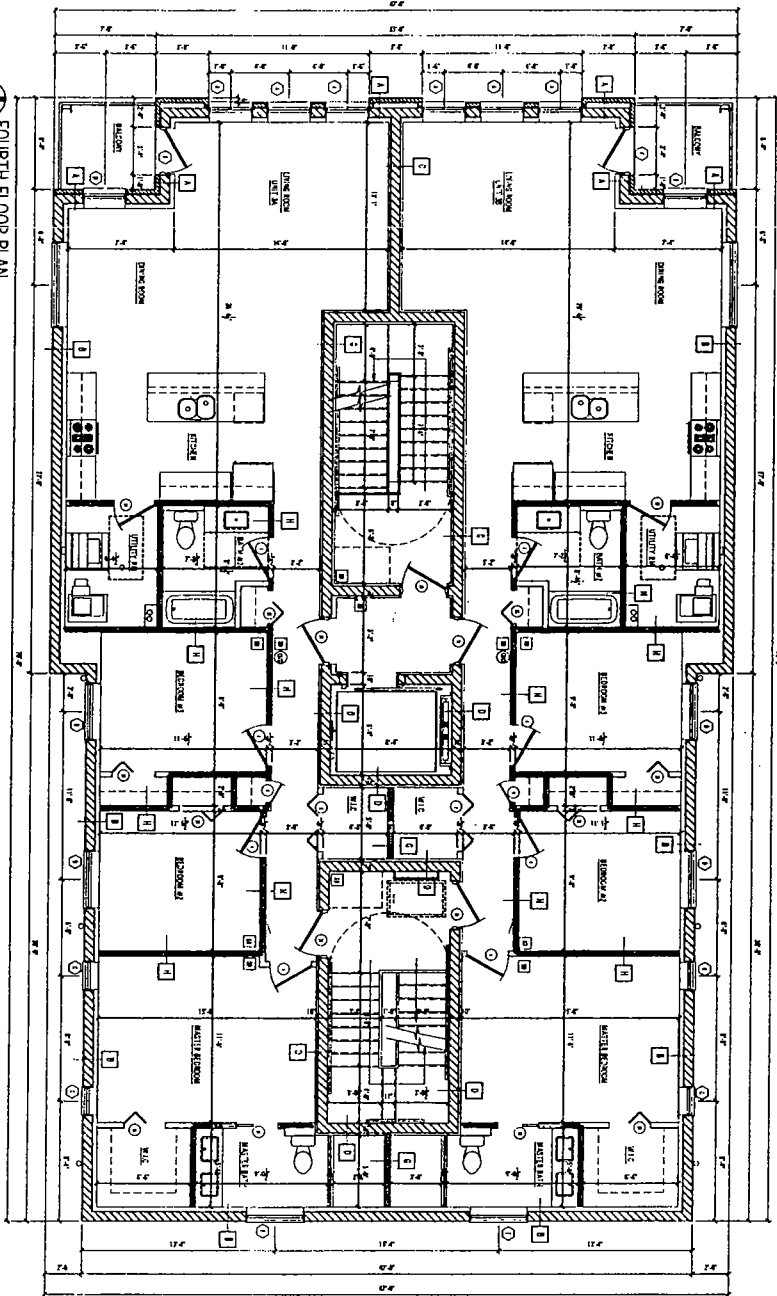
DATE OF CONTRACT
12/15/18

CONTRACT NO.
1234567890

360
DESIGN STUDIO

1234 E. 1234TH ST.
CHICAGO, IL 60611
312.1234.5678
1234567890

FOURTH FLOOR PLAN



NO.	WALL	SYMBOL	DESCRIPTION	FINISH
1	CONCRETE	[Symbol]	CONCRETE WALLS AND PARTITION WALLS	CONCRETE
2	BRICK	[Symbol]	BRICK WALLS AND PARTITION WALLS	BRICK
3	GLASS	[Symbol]	GLASS WALLS AND PARTITION WALLS	GLASS
4	WOOD	[Symbol]	WOOD WALLS AND PARTITION WALLS	WOOD
5	PLASTER	[Symbol]	PLASTER WALLS AND PARTITION WALLS	PLASTER
6	CEILING	[Symbol]	CEILING WALLS AND PARTITION WALLS	CEILING
7	FLOOR	[Symbol]	FLOOR WALLS AND PARTITION WALLS	FLOOR
8	DOOR	[Symbol]	DOOR WALLS AND PARTITION WALLS	DOOR
9	WINDOW	[Symbol]	WINDOW WALLS AND PARTITION WALLS	WINDOW
10	STAIR	[Symbol]	STAIR WALLS AND PARTITION WALLS	STAIR
11	ELEVATOR	[Symbol]	ELEVATOR WALLS AND PARTITION WALLS	ELEVATOR
12	MECHANICAL	[Symbol]	MECHANICAL WALLS AND PARTITION WALLS	MECHANICAL
13	PIPE	[Symbol]	PIPE WALLS AND PARTITION WALLS	PIPE
14	DUCT	[Symbol]	DUCT WALLS AND PARTITION WALLS	DUCT
15	WALL	[Symbol]	WALL WALLS AND PARTITION WALLS	WALL

SYMBOL	DESCRIPTION
[Symbol]	DOOR
[Symbol]	WINDOW
[Symbol]	STAIR
[Symbol]	ELEVATOR
[Symbol]	MECHANICAL
[Symbol]	PIPE
[Symbol]	DUCT
[Symbol]	WALL

Final for Publication

A1.5
SHEET
SERIES

SHEET NAME
FLOOR PLANS

PROJECT NAME
NEW CIVIL MANSION
APARTMENT BUILDING
W/ GROUND FLOOR MERCHANTILE
2ND & 3RD FLOORS
DUBLIN, I.R.

SCALE
1:100

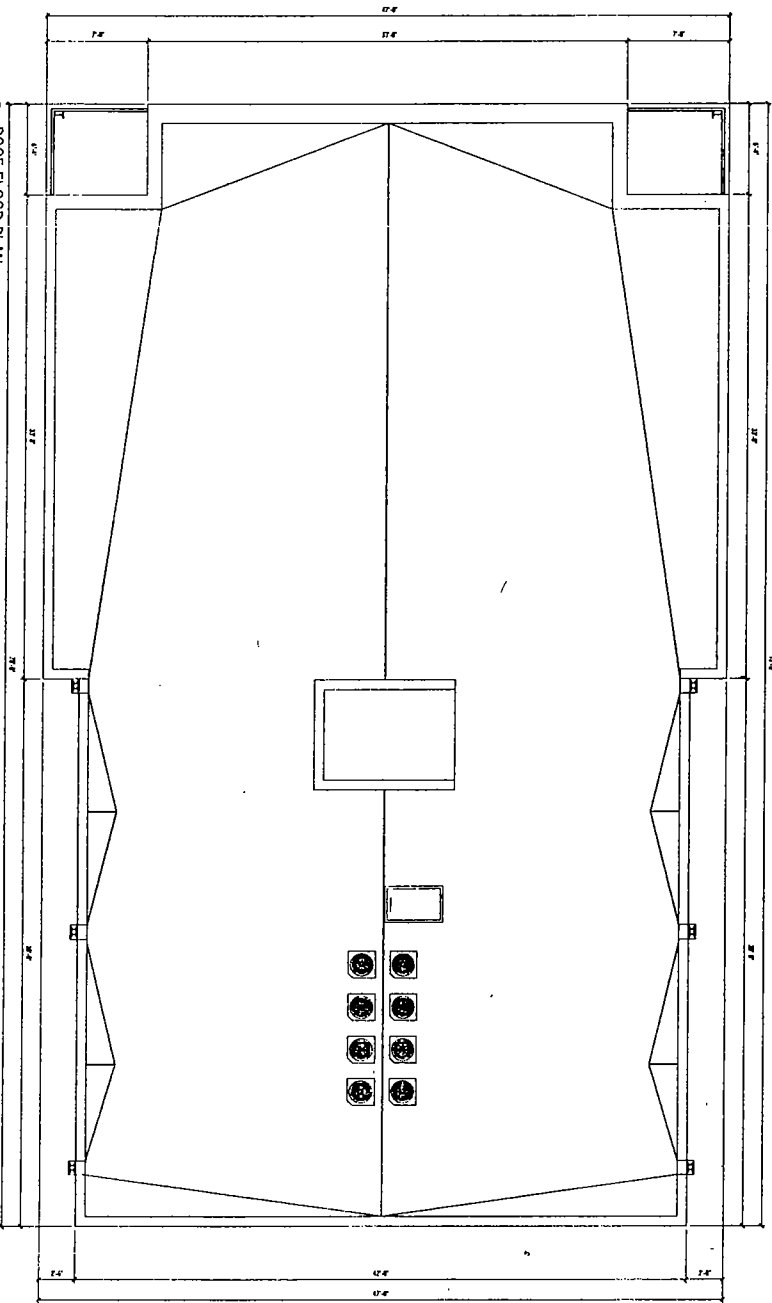
DATE
2018

DESIGNER
360 design studio

360 design studio
101 S. ALBANY AVE
SHELTON, CT 06484
413.784.2222
L37842233



ROOF FLOOR PLAN



SYMBOL	DESCRIPTION	NOTES
1
2
3
4
5
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9
10

SYMBOL	DESCRIPTION
○	...
○	...
○	...
○	...
○	...
○	...
○	...
○	...
○	...
○	...

Final for Publication

SHEET
A1.6
NUMBER

SHEET NAME
FLOOR PLANS

STATE OF ILLINOIS
ARCHITECTS
LICENSED
SPEECH 11-21-21

PROJECT NAME
NEW 6 UNIT MASSOVARY
W/ GARAGE FLOOR PLANS
2140 S. MANLISSO
CHICAGO, IL

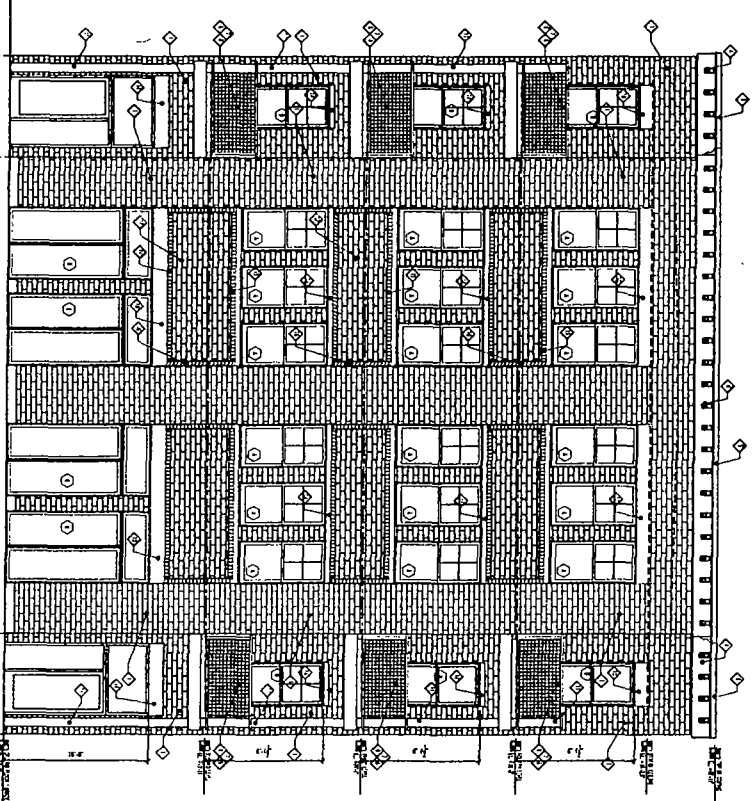
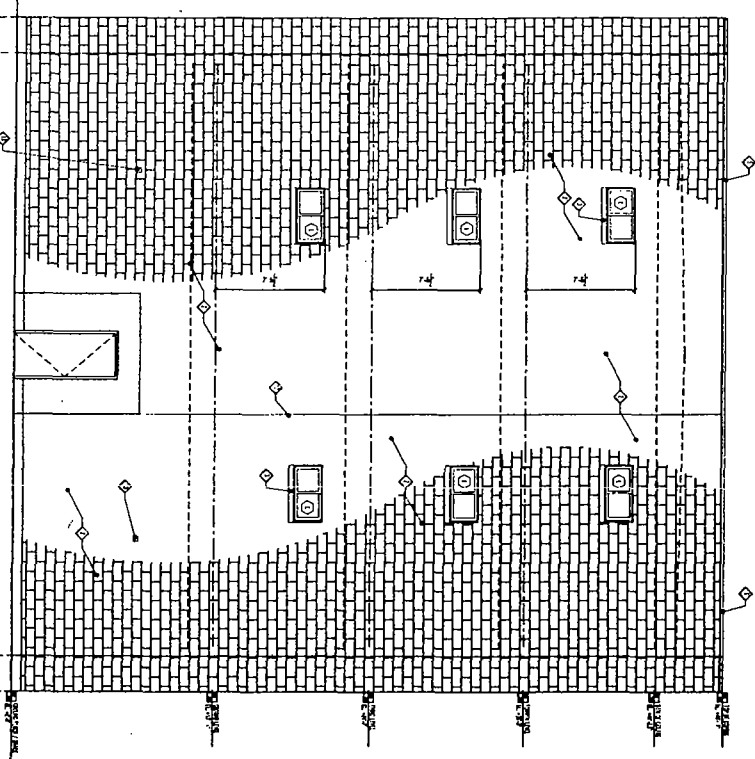
DATE
2-13-24

REGISTERED ARCHITECT
PROFESSIONAL SEAL FOR ILLINOIS

360
ARCHITECTS
P.C.

2411 S. KARLOV AVENUE
CHICAGO, IL 60616
312.442.3333
312.442.2222

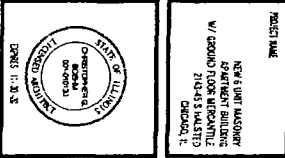
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2	WINDOW
3	DOOR
4	CEILING
5	FLOOR
6	ROOF
7	LANDSCAPE
8	MECHANICAL
9	ELECTRICAL
10	PLUMBING
11	FINISH
12	OTHER
13	AS NOTED
14	SEE PLAN
15	SEE SECTION
16	SEE SPECIFICATION
17	SEE SCHEDULE
18	SEE LISTING
19	SEE DRAWING
20	SEE GENERAL NOTES



1015 S. KATELLE AVE
CHICAGO, IL 60611
412.464.2222
412.464.2223

CONTRACTOR: JBL Design Studio, LLC
1015 S. KATELLE AVE
CHICAGO, IL 60611
412.464.2222
412.464.2223

CLIENT NAME: RENT-A-CAR
216-44-5 WALKER ST
CHICAGO, IL

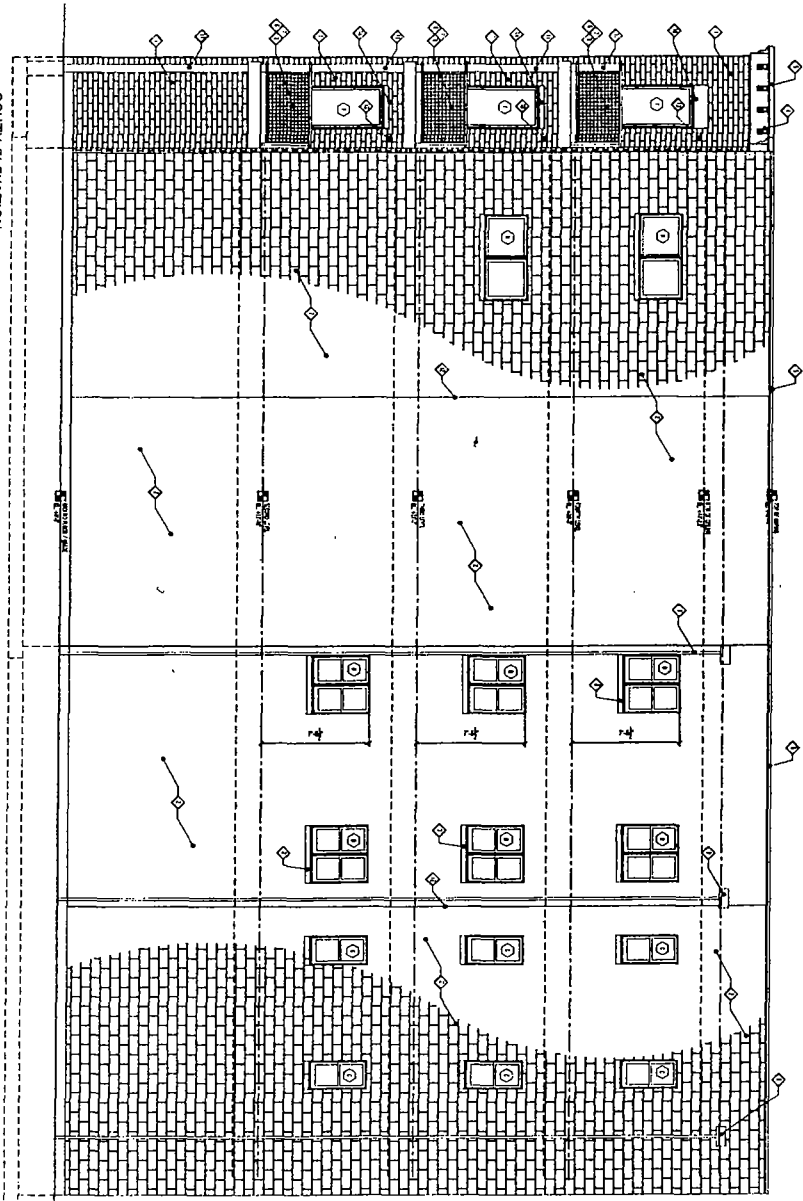


SHEET NAME: ELEVATIONS

SHEET: A2.1
NUMBER: 000001

Final for Publication

ELEVATION KEYNOTES	
1	VIEW FROM THE EAST
2	VIEW FROM THE WEST
3	VIEW FROM THE NORTH
4	VIEW FROM THE SOUTH
5	VIEW FROM THE EAST
6	VIEW FROM THE WEST
7	VIEW FROM THE NORTH
8	VIEW FROM THE SOUTH
9	VIEW FROM THE EAST
10	VIEW FROM THE WEST
11	VIEW FROM THE NORTH
12	VIEW FROM THE SOUTH
13	VIEW FROM THE EAST
14	VIEW FROM THE WEST
15	VIEW FROM THE NORTH
16	VIEW FROM THE SOUTH



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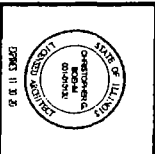


2451 S. KALISHEA AVE
 CHICAGO, IL 60616
 312.341.2215
 312.341.2216

CONTRACT: 001, 002, 003, 004, 005, 006, 007, 008, 009, 010, 011, 012, 013, 014, 015, 016, 017, 018, 019, 020, 021, 022, 023, 024, 025, 026, 027, 028, 029, 030, 031, 032, 033, 034, 035, 036, 037, 038, 039, 040, 041, 042, 043, 044, 045, 046, 047, 048, 049, 050, 051, 052, 053, 054, 055, 056, 057, 058, 059, 060, 061, 062, 063, 064, 065, 066, 067, 068, 069, 070, 071, 072, 073, 074, 075, 076, 077, 078, 079, 080, 081, 082, 083, 084, 085, 086, 087, 088, 089, 090, 091, 092, 093, 094, 095, 096, 097, 098, 099, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 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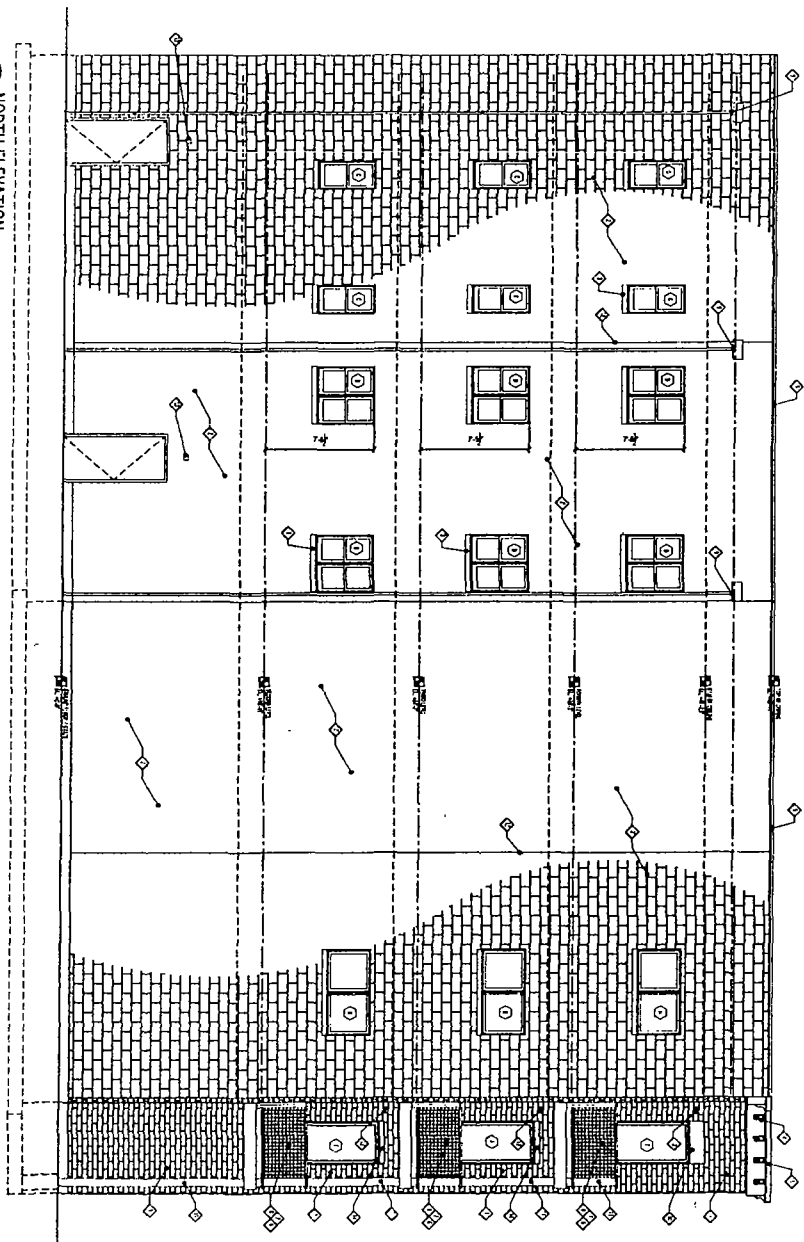
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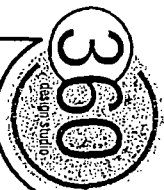
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ELEVATION NOTES	
1.	SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2.	ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3.	ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
4.	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
5.	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
6.	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
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10.	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.



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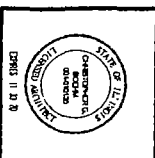


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COMPANY: 360 ARCHITECTURE, LLC
 PROJECT: NEW 5000 S. LAKE STREET
 SHEET: A2.3
 DATE: 11/11/11

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 DRAWING: [Name]
 DATE: 11/11/11

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