



City of Chicago



SO2022-365

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	1/26/2022
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 6-F at 500-518 W 28th Pl also known as 2815-2827 S Wallace St - App No. 20934T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the M1-1 Limited Manufacturing/Business Park District symbols as shown on Map No. 6-F in the area bounded by:

The public alley next north of and parallel to West 28th Place; South Normal Avenue; West 28th Place; and South Wallace Street.

To those of a B2-2 Neighborhood Mixed-Use District.

SECTION 2. This Ordinance takes effect after its passage and due publication.

Common address of property:

500-518 West 28th Pl, and 2815-27 South Wallace Street, Chicago

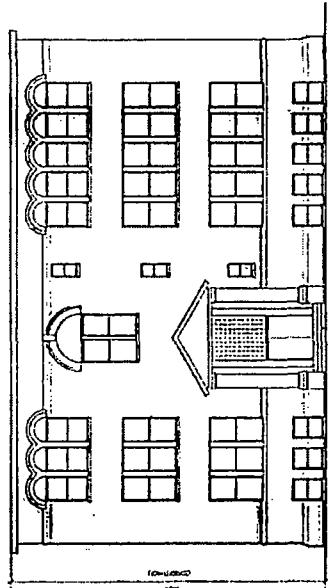
**A SUBSTITUTE NARRATIVE AND PLANS FOR TYPE 1 ZONING
AMENDMENT FOR
500-518 WEST 28TH PLACE, also known as
2815-27 SOUTH WALLACE STREET, CHICAGO**

The subject property is currently improved with 4 vacant buildings (former site of All Saints St. Anthony Church campus: a church building, a rectory, a convent building and a school building). The Applicant needs a zoning change to allow adaptive reuse of the subject property in order to establish day care centers for children and adults within the existing buildings.

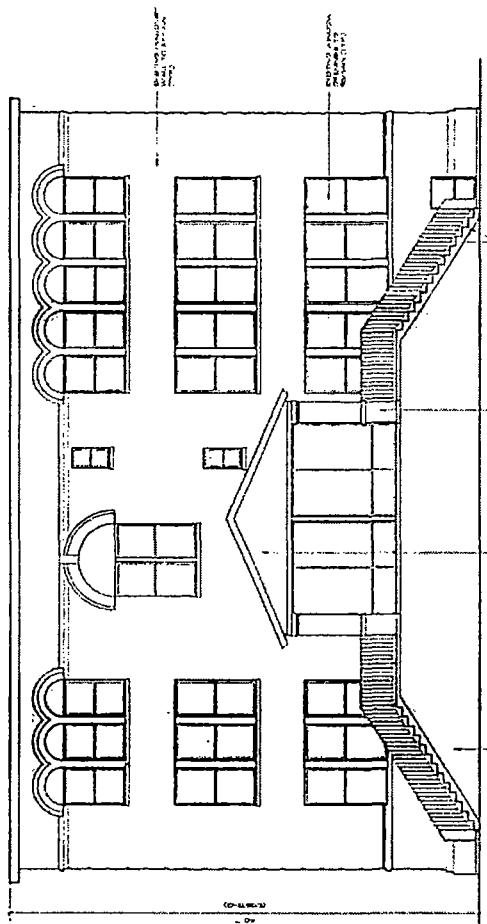
Project Description:	Zoning Change from an M1-1 to a B2-2
Use:	Adaptive reuse of the subject property in order to establish day care centers for children and adults within the existing buildings.
Floor Area Ratio:	0.8
Lot Area:	1.09 Acres
Existing Building Floor Area:	37,925 Square Feet
Density:	N/A – commercial use only
Off- Street parking:	Parking spaces: 21
Existing Setbacks:	Existing Front: 0 Feet Existing North Side Setbacks: 0 Feet Existing South Side Setback: 22'-5-1/2" Rear Setback: 59'-0-1/4"
Existing Building Height:	98'-10" (prior church building) 45'-7" (prior school building)

Rider to Substitute Narrative for Type 1 zoning Amendment for 500-518 West 28th Place and 2815-27 South Wallace Street, Chicago.

*Must comply with the Air Quality Ordinance as per Section 17-3-0307
EXCEPTIONS. May require a Special Use at the Zoning Board of Appeals if property is within 660 feet to establish a new day care use.

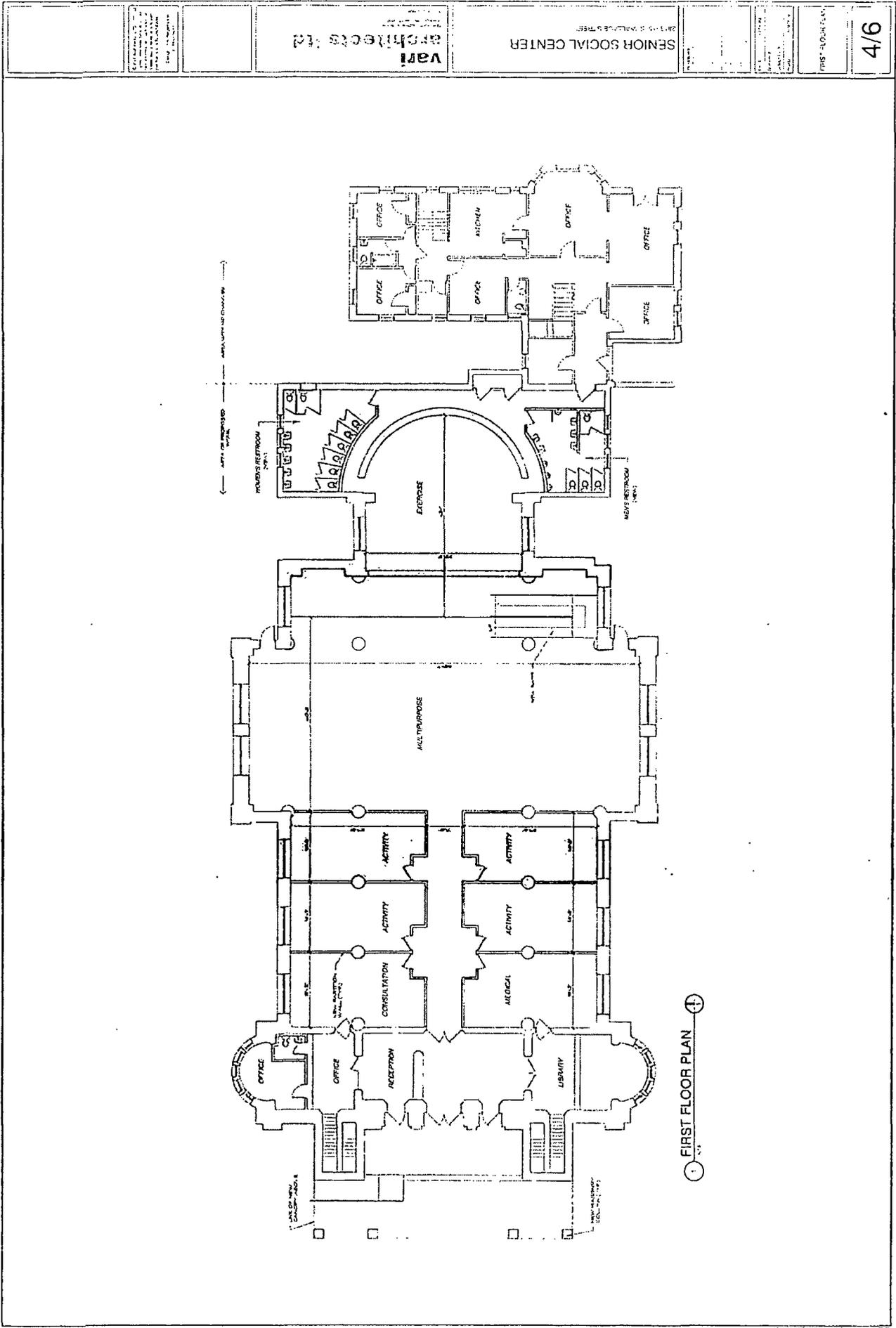


812 W. 26TH PLACE
 ① EXISTING FRONT ELEVATION



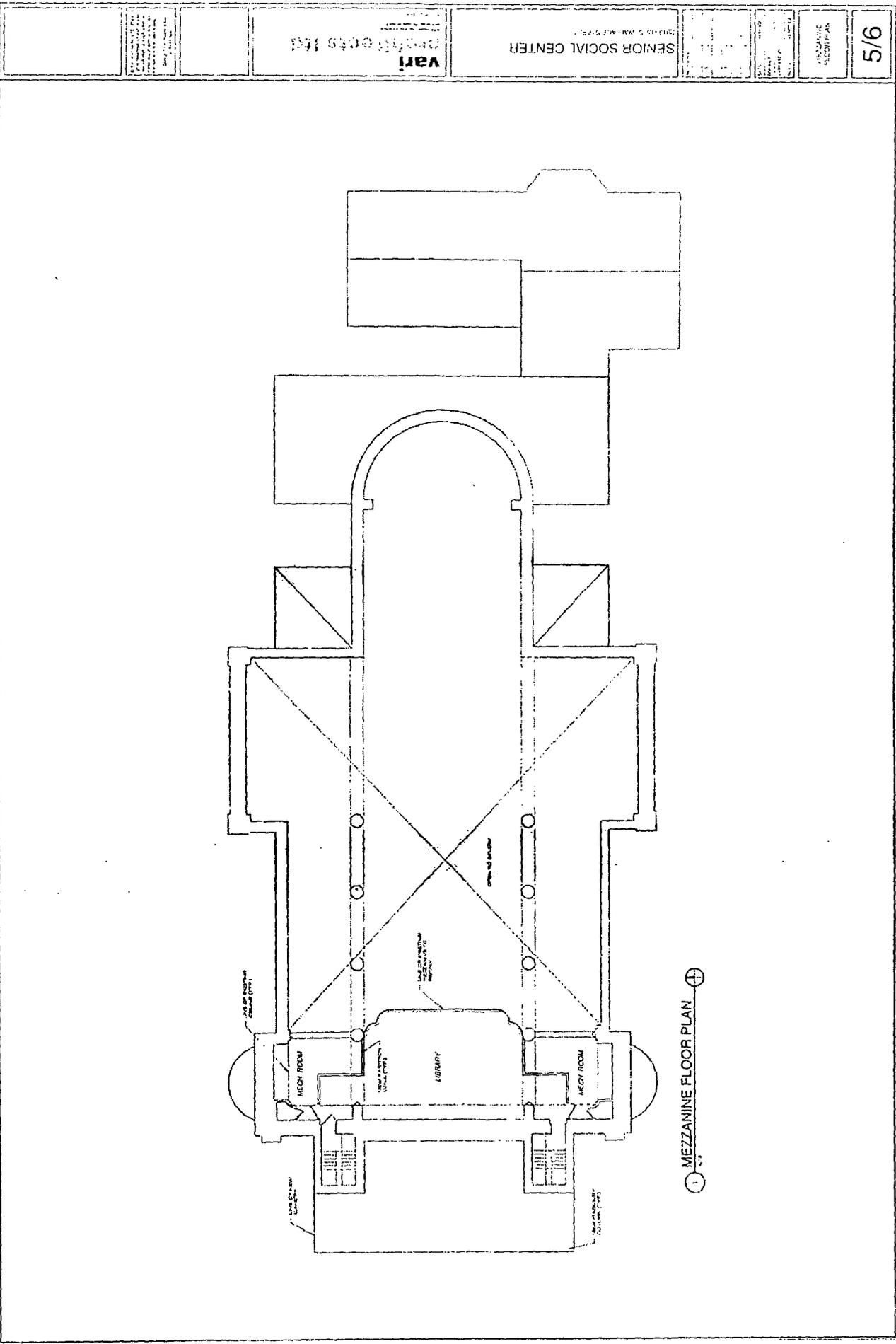
812 W. 26TH PLACE
 ② PROPOSED FRONT ELEVATION

<p>DATE: 10/15/10 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>PROJECT: DAYCARE CENTER ADDRESS: 812 W. 26TH PLACE CITY: [City]</p>	<p>SCALE: AS SHOWN SHEET NO. 3/6</p>	<p>DAYCARE CENTER 812 W. 26TH PLACE</p>	<p>DATE: 10/15/10 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>DATE: 10/15/10 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>3/6</p>
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FIRST FLOOR PLAN

DATE: 10/15/1982	PROJECT: SENIOR SOCIAL CENTER
DESIGNER: VARI ARCHITECTS, P.C.	SCALE: AS SHOWN
CLIENT: SENIOR SOCIAL CENTER	NO. OF SHEETS: 6
PROJECT NO. 100-1000	SHEET NO. 4/6



1 MEZZANINE FLOOR PLAN

Vart
Construction Inc.

SENIOR SOCIAL CENTER

MEZZANINE
FLOOR PLAN

5/6

