



City of Chicago



O2022-2926

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/21/2022
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 7-J at 3545 W Belmont Ave - App No. 21171T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#21171-T1
INTRO DATE
SEPT. 21, 2022

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District, as shown on Map 7-J in the area bounded by:

West Belmont Avenue; a line 109.60 feet west of and parallel to North Drake Avenue; the alley next south of and parallel to West Belmont Avenue; and a line 134.60 feet west of and parallel to North Drake Avenue

to those of **B2-3 Neighborhood Mixed-Use District**

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 3545 West Belmont Avenue, Chicago, Illinois 60618

**NARRATIVE AND PLANS
FOR THE PROPOSED TYPE 1
ZONING MAP AMENDMENT
AT 3545 WEST BELMONT AVENUE**

The Application on behalf of the current property Owner, Kazimierz Dojka, is for a Zoning Map Amendment from B3-1 Community Shopping District to B2-3 Neighborhood Mixed-Use District for purposes of constructing a four (4) story four (4) dwelling unit building with one (1) ground floor commercial unit; the Building will also contain a partial basement and three (3) garage parking spaces. The Application is filed under 17-13-0302-A as a Type 1 filing.

The footprint of the building shall approximately be 20.10/21.10 wide by 84 feet depth. The building height shall be 45 feet, as defined by City Code.

SPECIFIC CRITERIA FOR THIS EQUITABLE TRANSIT SERVED LOCATION

Under Section 17-03-0308 any new construction or rehabilitation or reuse of existing structures within 2,640 feet of a CTA or METRA rail station entrance must satisfy all of the following criteria (the proposed is a four (4) dwelling unit mixed use, new construction Building with three (3) off-street parking (Garage) parking spaces:

1. The Project complies with Section 17-10-0102-B, located 1160 feet west of the Belmont/Kimball Blue Line entrance; Project is also on the Belmont/77 CTA Bus route;
2. The site is not a Pedestrian Street under 17-3-0504; (non-accessory parking abutting a Pedestrian Street is not applicable);
3. The Project complies with the general goals set forth in the Transit Friendly Development Guide since it is located in a Local Activity Center Area as an in-fill development and both on a qualified CTA Bus route and in close proximity to the Blue Line;
4. The mixed-use Project requires four (4) off-street parking spaces and a reduction of one (1) space is sought so as to allow for three (3) off-street (garage) spaces instead on four, one for each of the four dwelling units;
5. The Project complies with the Travel Demand Study and Management Plan rules of the Chicago Department of Transportation.

SITE DETAIL

- | | |
|--|---|
| a. <u>Lot Area:</u> | 3125 square feet |
| b. <u>Floor Area Ratio:</u> | 2.14 |
| <u>(Retail Space is 814 square feet)</u> | |
| c. <u>Building Area:</u> | 6,680.00 |
| d. <u>Minimum Lot Area per Dwelling Unit:</u> | 781.25 square feet |
| e. <u>Off-Street Parking:</u> | Three (3) garage spaces will be provided; the site is 1160 feet west of the CTA Belmont/Kimball Blue Line entrance and on the Belmont/77 CTA Bus route (** Applicant will seek relief under Section 17-3-0308-B as an Equitable Transit Served Location**); |
| f. <u>Front Setback:</u> | 1 foot |
| g. <u>Rear Setback:</u> | 40.0 feet |
| h. <u>Side Setback:</u> | Three (3) feet on west; 1 foot, 2" inches east |
| i. <u>Building Height:</u> | 45 feet |

REQUESTED B2-3 ZONING INFORMATION

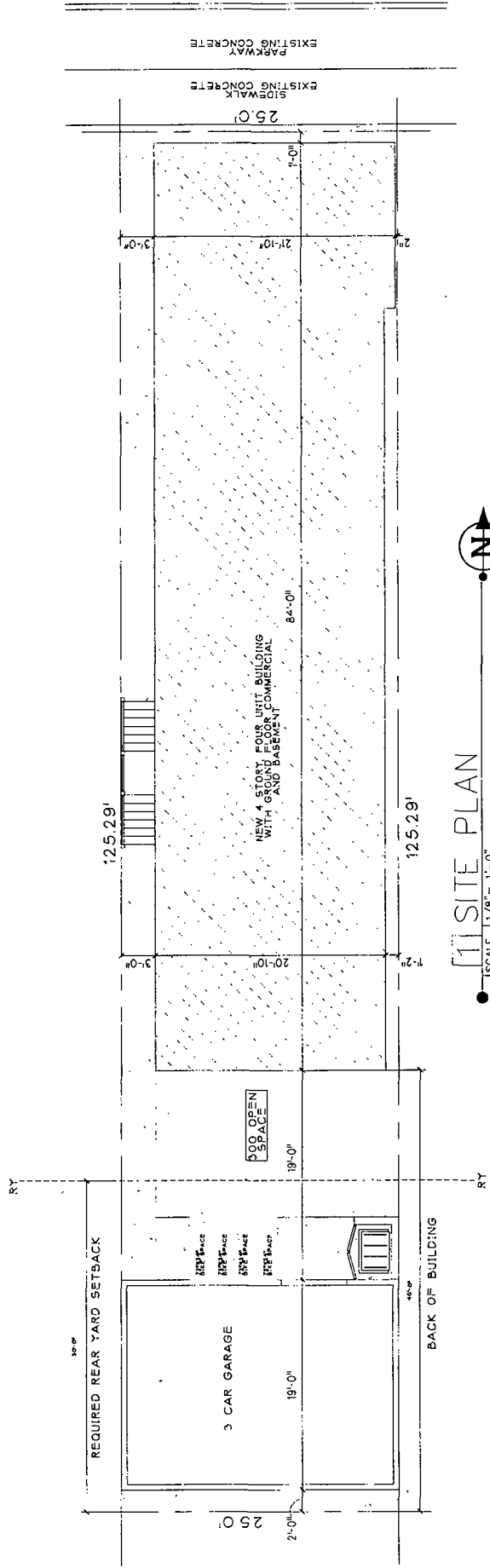
ZONING REQUEST	B2-3	400 SQ FT UNIT	MAXIMUM # OF UNITS REQUESTED	40
LOT AREA	3192 SQ. FT.	X 30-MAXIMUM BUILDABLE SQUARE FOOTAGE	PER PLANS	9,396
LOT DIMENSIONS	25'-0" X 125'-2 1/2"	ACTUAL SQUARE FOOTAGE	PER PLANS	6,680

TRANSIT ORIENTATED DEVELOPMENT FOR 4TH PARKING SPOT, SEE ATTACHED SURVEY SHOWING DISTANCE TO TRAIN

PARKING SPACE	3 SPACES	EXTERIOR	WITHIN GARAGE
BICYCLE PARKING	4 SPACES	EXTERIOR	1 PER UNIT
RASH ENCLOSURE	PRIVATE SERVICE WITH RECEPTACLE		

REQUESTED B2-3 ZONING SET BACK INFORMATION

SET BACK LOCATION	CODE DESCRIPTION	REQUIRED	ACTUAL
FRONT YARD SETBACK REQUIREMENT	NONE REQUIRED	0'-0"	1'-0"
SIDE YARD SETBACK REQUIREMENT	0% INTERIOR LOT LINE OR AT CORNER LOT LINE	0'-0"	3'-0"
REAR YARD SETBACK REQUIREMENT	30'-0" REAR SETBACKS TO BOTTOM OF FLAT ROOF OR TO MID POINT OF RAFTERS	30'-0"	40'-0"
REAR YARD OPEN SPACE REQUIREMENT	0 OPEN SPACE REQUIRED	00 SF	3000 SQ FT



1 SITE PLAN
SCALE 1/8" = 1'-0"

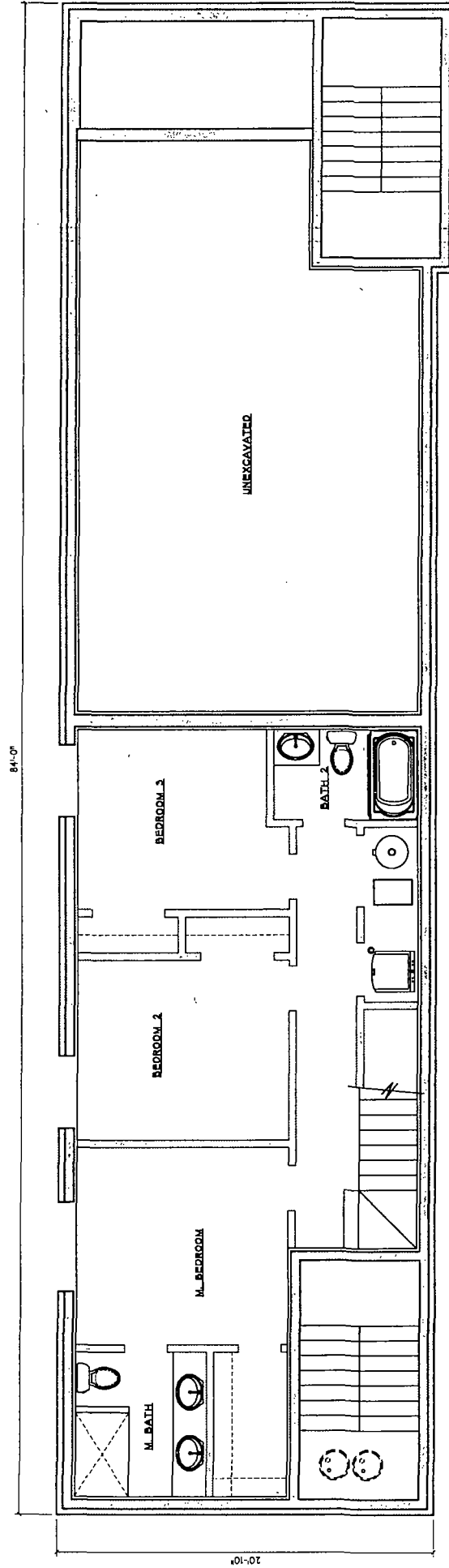
3545 W BELMONT

1260 FEET TO KIMBALL & BELMONT BLUE LINE TRAIN

BLUE LINE STATION

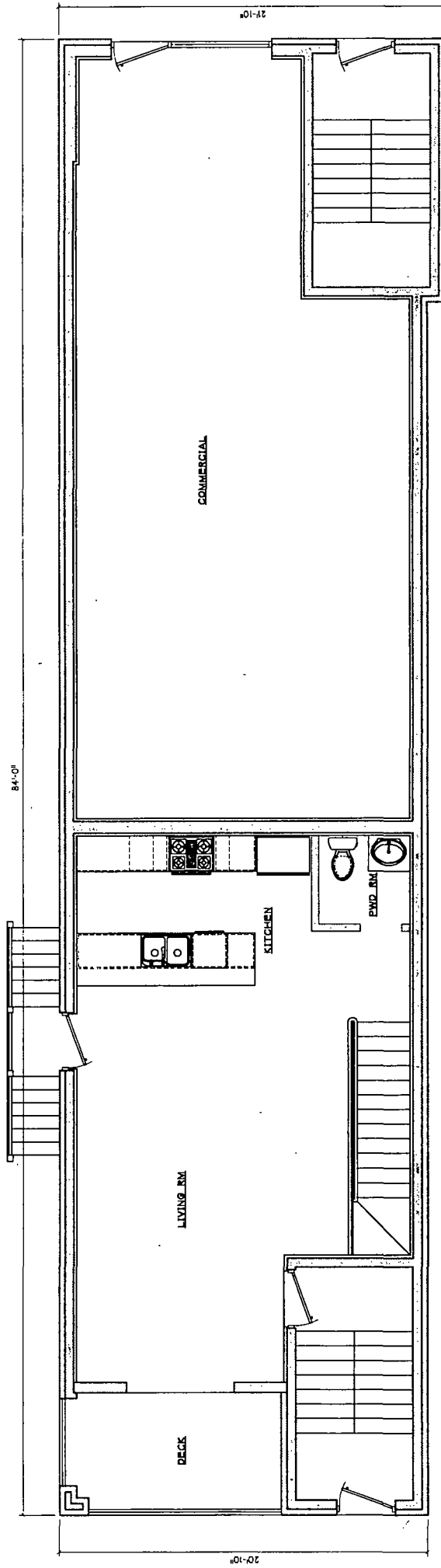


3545 WEST BELMONT AVE.



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

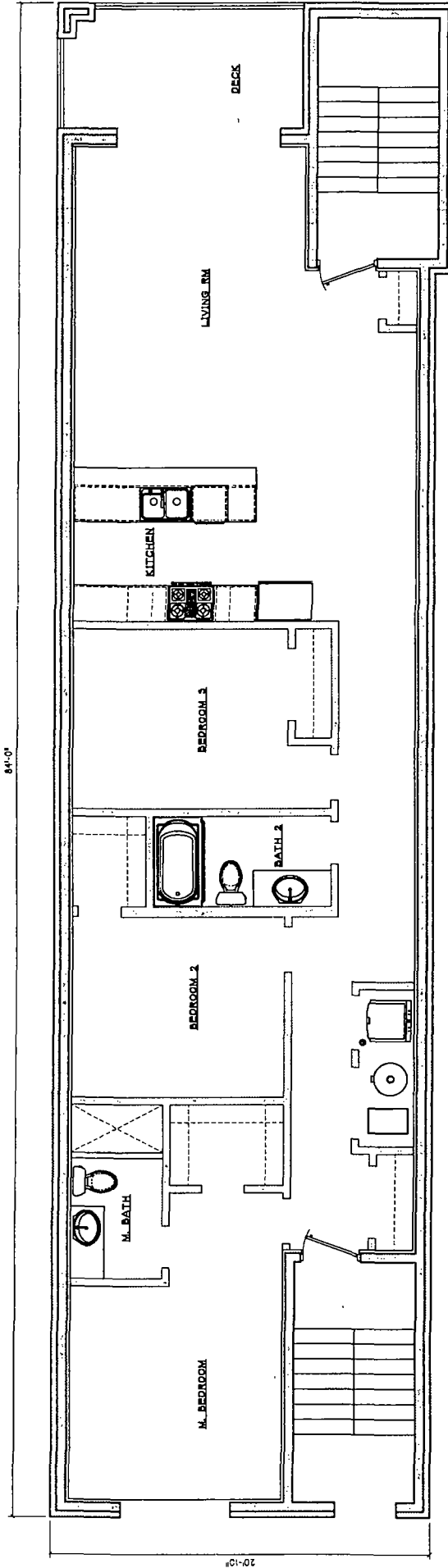
3545 WEST BELMONT AVE.



2 GROUND FLOOR PLAN

SCALE 1/4" = 1'-0"

3545 WEST BELMONT AVE.

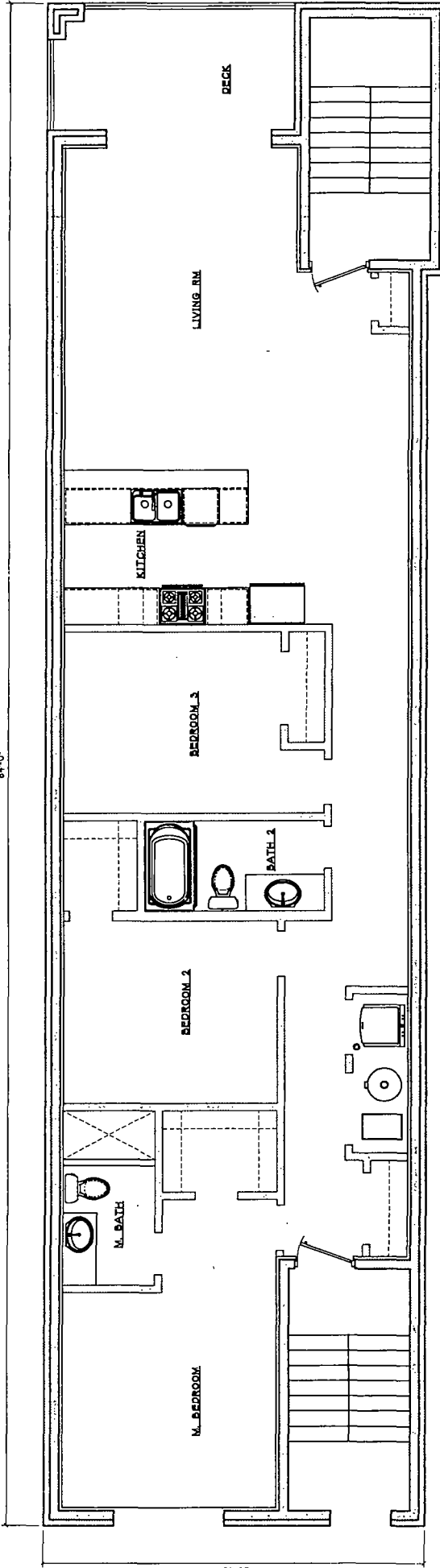


3 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



3545 WEST BELMONT AVE.

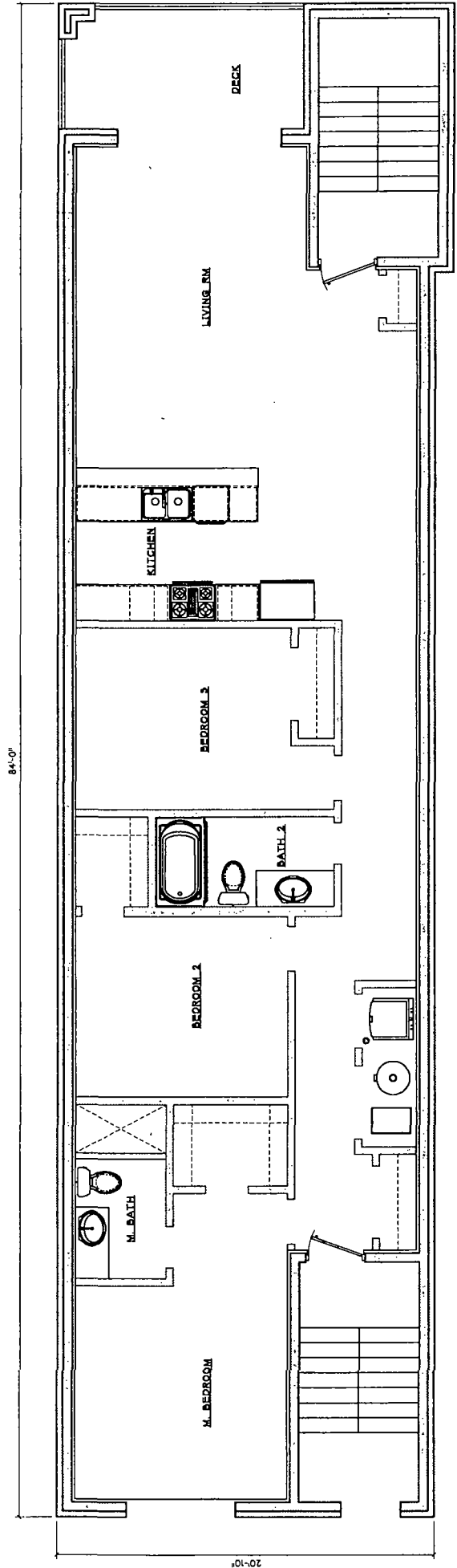
84'-0"



3 THIRD FLOOR PLAN

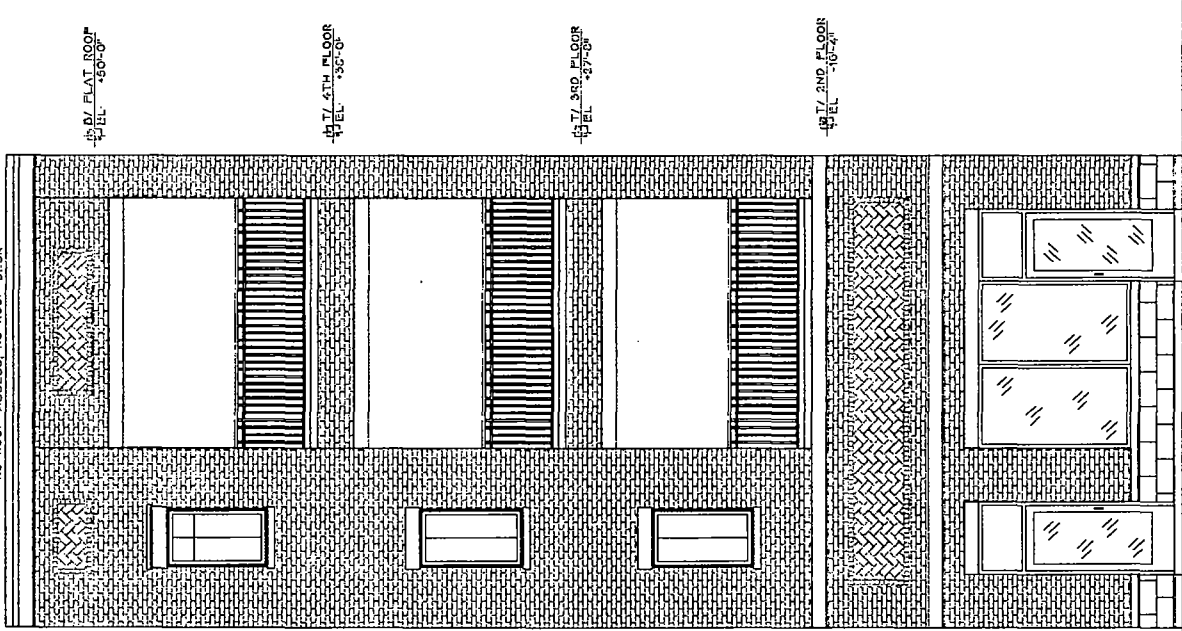
SCALE 1/4" = 1'-0"

3545 WEST BELMONT AVE.



4 FOURTH FLOOR PLAN
SCALE 1/4" = 1'-0"
N

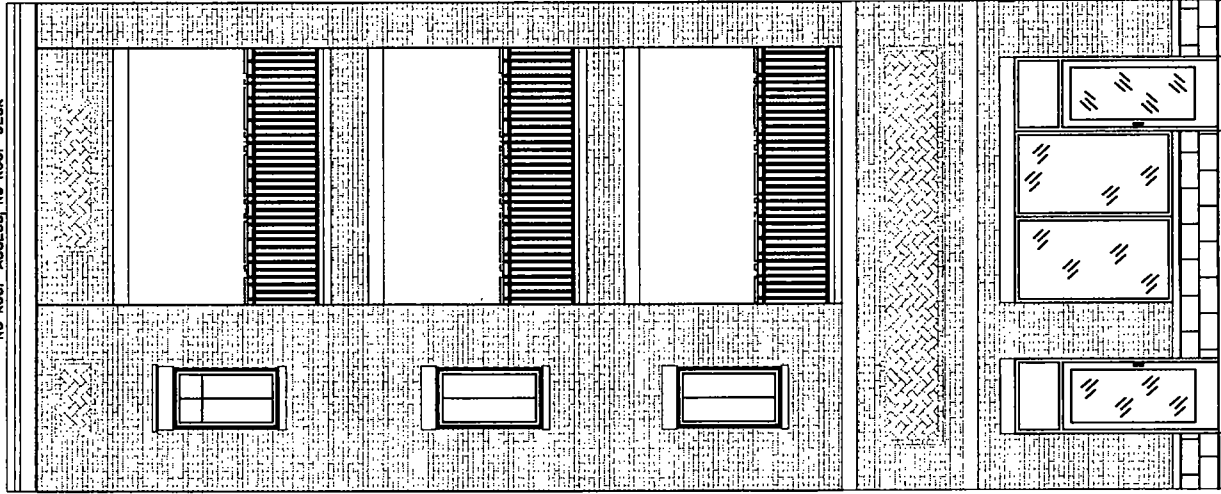
NO ROOF ACCESS, NO ROOF DECK



NORTH ELEVATION

SCALE 1/4" = 1'-0"

NO ROOF ACCESS, NO ROOF DECK



1/4" FLAT ROOF
EL. +30'-0"

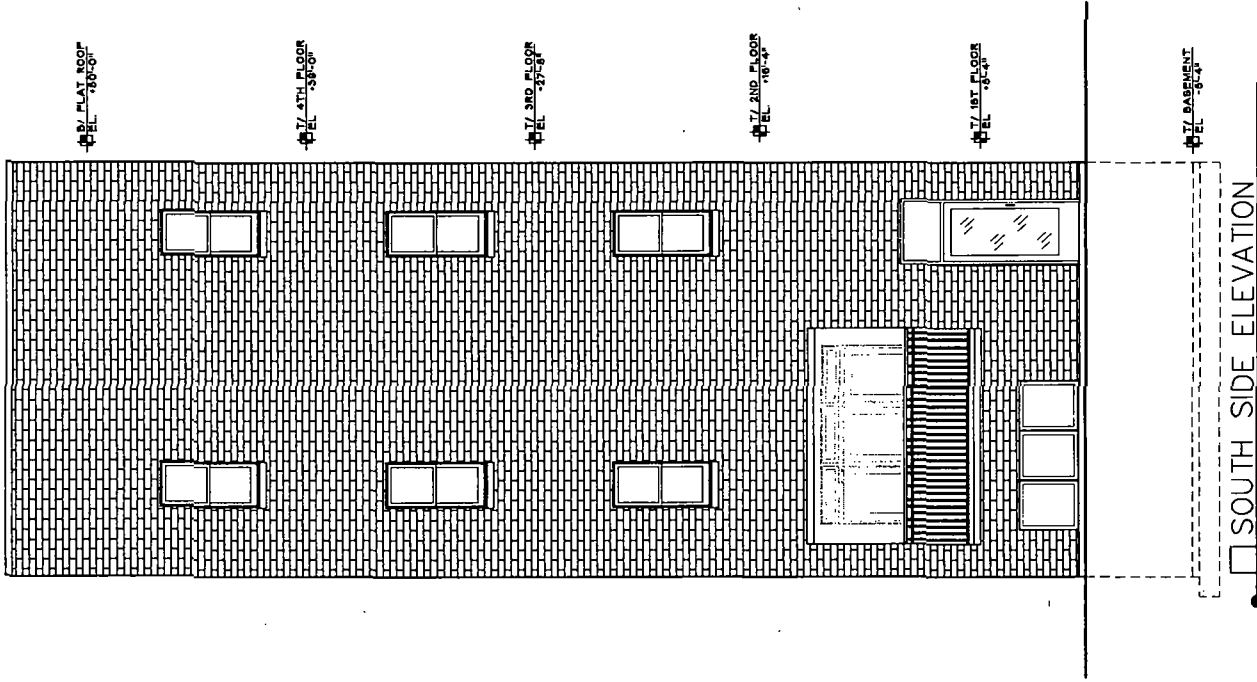
1/4" 4TH FLOOR
EL. +39'-0"

1/4" 3RD FLOOR
EL. +27'-8"

1/4" 2ND FLOOR
EL. +16'-4"

□ NORTH ELEVATION

SCALE 1/4" = 1'-0"



• EL. PLAT. ROOF
EL. 118'-00"

• EL. 4TH FLOOR
EL. 38'-00"

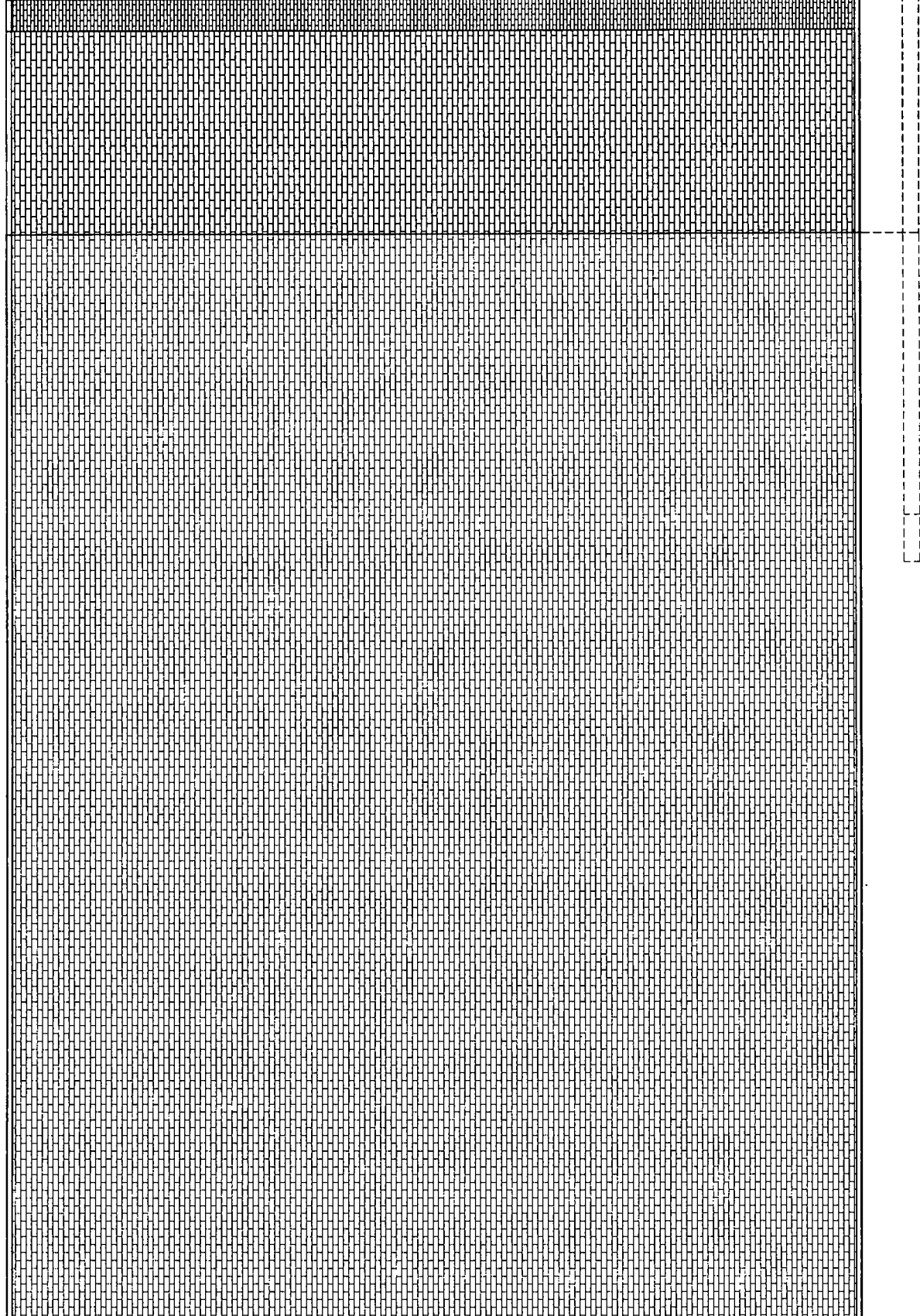
• EL. 3RD FLOOR
EL. 35'-00"

• EL. 2ND FLOOR
EL. 32'-00"

• EL. 1ST FLOOR
EL. 29'-00"

• EL. BASEMENT
EL. 26'-00"

□ SOUTH SIDE ELEVATION
SCALE 1/4" = 1'-0"



• 17. FLAT ROOF
• EL. -38'-0"

• 17. 4TH FLOOR
• EL. -38'-0"

• 17. 3RD FLOOR
• EL. -27'-3"

• 17. 2ND FLOOR
• EL. -16'-4"

• 17. 1ST FLOOR
• EL. -5'-0"

• 17. FLAT ROOF
• EL. -38'-0"

• 17. 4TH FLOOR
• EL. -38'-0"

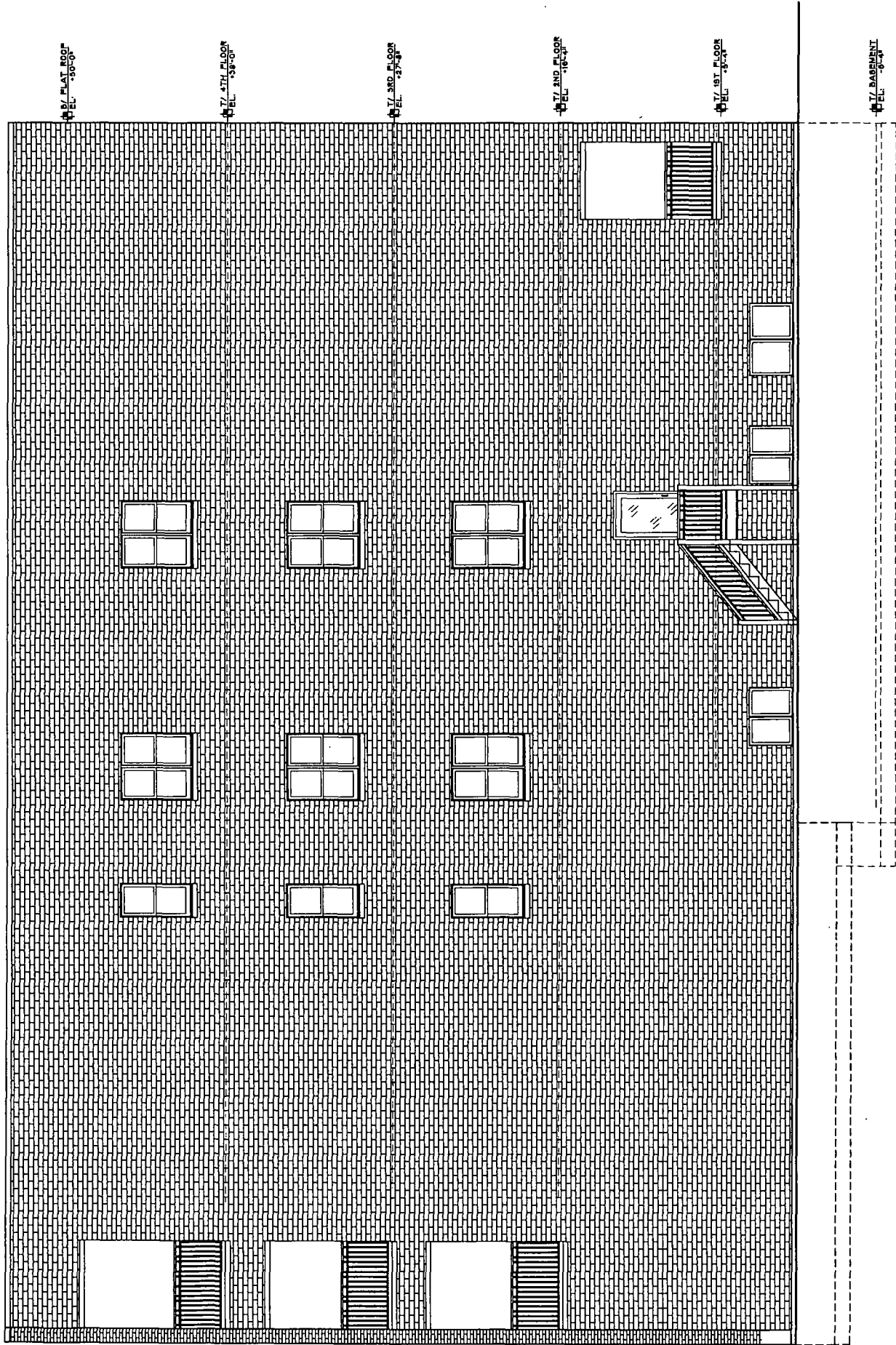
• 17. 3RD FLOOR
• EL. -27'-3"

• 17. 2ND FLOOR
• EL. -16'-4"

• 17. 1ST FLOOR
• EL. -5'-0"

• 17. BASEMENT
• EL. -3'-0"

□ EAST SIDE ELEVATION
● SCALE 1/4" = 1'-0"



WEST SIDE ELEVATION

SCALE 1/4" = 1'-0"

#21171-T1
INTRO DATE
SEPT. 21, 2022

CITY OF CHICAGO
APPLICATION FOR AN AMENDMENT T
THE CHICAGO ZONING ORDINANCE

1. ADDRESS of the property Applicant is seeking to rezone:

3545 West Belmont Avenue, Chicago

2. Ward Number that property is located in: Ward 35

3. APPLICANT Kazimierz Dojka

ADDRESS _____

STATE _____ ZIP CODE _____ PHONE _____

EMAIL _____ CONTACT PERSON Kazimierz Dojka

4. Is the applicant the owner of the property? YES NO
If the applicant is not the owner of the property, please provide the following information regarding the owner and attach written authorization from the owner allowing the application to proceed.

OWNER N/A

ADDRESS _____ CITY _____

STATE _____ ZIP CODE _____ PHONE _____

EMAIL _____ CONTACT PERSON _____

5. If the Applicant/Owner of the property has obtained a lawyer as their representative for the rezoning, please provide the following information:

ATTORNEY DANIEL G. LAUER, ESQ.

ADDRESS 1424 WEST DIVISION STREET

CITY CHICAGO STATE IL ZIP CODE 60642

PHONE (773) 862-7200 FAX (773) 862-0600 EMAIL Dan@dglpc.com

6. If the applicant is a legal entity (Corporation, LLC, Partnership, etc.) please provide the names of all owners as disclosed on the Economic Disclosure Statements.

7. On what date did the owner acquire legal title to the subject property? FEBRUARY 24, 2022

8. Has the present owner previously rezoned this property? If yes, when?

NO

9. Present Zoning District B3-1 Proposed Zoning District B2-3

10. Lot size in square feet (or dimensions) 25.0 x 125.00

11. Current Use of the property vacant land

12. Reason for rezoning the property To allow the construction of a new 4-story mixed use building with 814 square feet of ground floor Retail, one duplex dwelling unit at the rear and three residential units, for a total of four (4) dwelling units above, with 3 car garage (one parking space reduced under 17-3-0308-B).

13. Describe the proposed use of the property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building. (BE SPECIFIC)

Applicant proposes to construct a four (4) story mixed use building with 814 square feet of ground floor Retail, one duplex dwelling unit at the rear and three residential units above, for a total of four (4) dwelling units, with 3 off street parking in a Garage provided (Applicant seeks reduce one parking space under 17-3-0308-B).

The buildings height will be 45 feet as defined by the City Code.

14. The Affordable Requirements Ordinance (ARO) requires on-site affordable housing units and/or a financial contribution for residential housing projects with ten or more units that receive a zoning change which, among other triggers, increases the allowable floor area, or, for existing Planned Developments, increases the number of units (see attached fact sheet or visit www.cityofchicago.org/ARO for more information). Is this project subject to the ARO?

YES _____ NO X

COUNTY OF COOK
STATE OF ILLINOIS

Kazimierz Dojka, being first duly sworn on oath, states that all of the above statements and the statements contained in the documents submitted herewith are true and correct.

Kazimierz Dojka
Signature of Applicant

Subscribed and Sworn to before me this
22nd day of June, 2022.

Kathy Hudry
Notary Public



For Office Use Only

Date of Introduction: _____

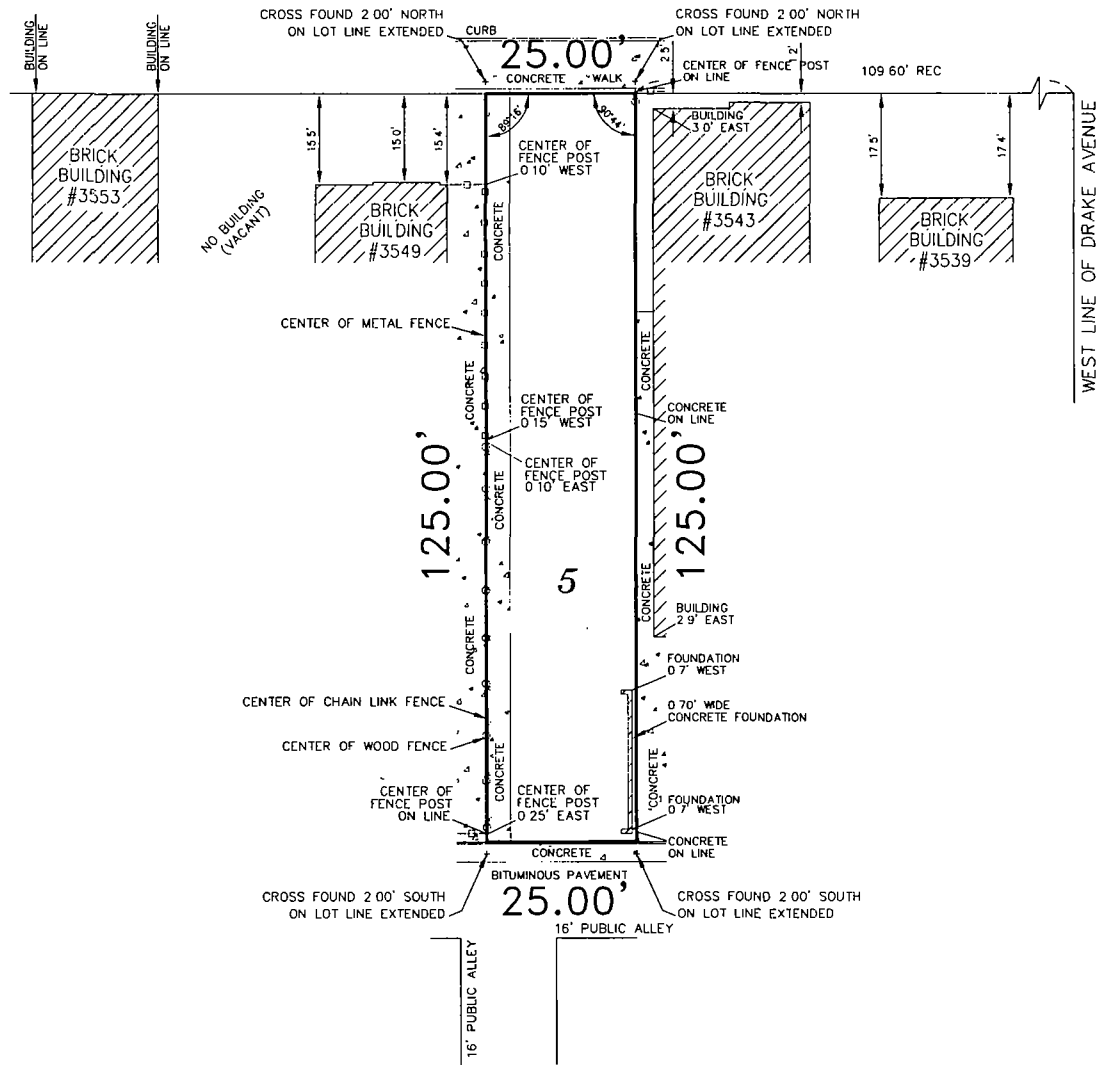
File Number: _____

Ward: _____

PLAT OF SURVEY

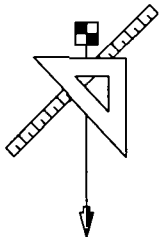
LOT 5 IN BLOCK 4 IN S E GROSS 2ND UNTER DEN LINDEN ADDITION, A SUBDIVISION OF BLOCKS 3 AND 4 IN BRAND'S SUBDIVISION OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

W. BELMONT AVENUE



NOTES

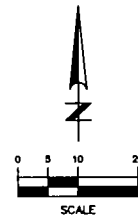
- 1 SUBJECT PROPERTY AREA 3,125 SQ FT MORE OR LESS
- PREPARED FOR: DERMOT LOGAN



Urchell and Associates, Inc.
Land Surveying Services

PHONE 708 925 7155
FAX 773 298 9500
WEBSITE www.urchellandassociates.com

DESIGN FIRM REGISTRATION #184-004894



FIELD WORK COMPLETED: 03/07/22

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS STANDARDS FOR A BOUNDARY SURVEY.

DATED: 03/08/22

Robert J. Urchell

ROBERT J. URCELL P.L.S. No. 3438
LICENSE RENEWAL DATE: NOVEMBER 30, 2022
SURVEY No. 22-02-088

NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF CONSTRUCTION

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, ABSTRACT, TITLE POLICY, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.

WRITTEN NOTICE AFFIDAVIT
(Section 17-13-0107)

September 21, 2022

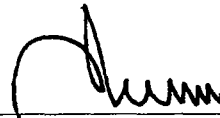
The Honorable Thomas M. Tunney
Chairman
Committee on Zoning, Landmarks and Building Standards
121 North LaSalle Street
City Hall Room 300
Chicago, Illinois 60602

The undersigned, **Daniel G. Lauer**, being first duly sworn on oath, deposes and states the following:

The undersigned certifies that he has complied with the requirements of Section 17-13-0107 of the Chicago Zoning Ordinance, by sending written notice to such property owners who appear to be the owners of the property within the subject area not solely owned by the applicant, and to the owners of all property within 250 feet in each direction of the lot line of the subject property, exclusive of public roads, streets, alleys and other public ways, or a total distance limited to 400 feet. Said "written notice" was sent by First Class U.S. Mail, no more than 30 days before filing the application.

The undersigned certifies that the notice contained the address of the property sought to be rezoned; a statement of the intended use of the property; the name and address of the applicant; the name and address of the owner; and a statement that the applicant intends to file the application for a change in zoning on or about approximately September 21, 2022.

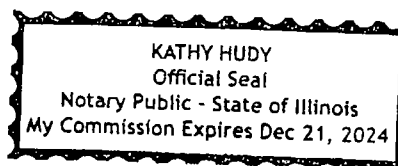
The undersigned certifies that the applicant has made a bona fide effort to determine the addresses of the parties to be notified under Section 17-13-0107 of the Chicago Zoning Ordinance, and that the accompanying list of names and addresses of surrounding property owners within 250 feet of the subject site is a complete list containing the names and addresses of the people required to be served.



Daniel G. Lauer
Attorney for the Applicant

Subscribed and Sworn to
Before me this 15th day of
September, 2022.


Notary Public



LAW OFFICES

DANIEL G. LAUER & ASSOCIATES, P.C.

1424 WEST DIVISION STREET
CHICAGO, ILLINOIS 60642

DANIEL G. LAUER

NICHOLAS R. BAUMGARTNER

TELEPHONE (773) 862-7200

FACSIMILE (773) 862-0600

OF COUNSEL

DAMON M. FISCH

September 21, 2022

Re: Zoning Map Amendment at 3545 West Belmont Avenue

Dear Property Owner:

In accordance with the requirements for an Amendment to the Chicago Zoning Ordinance, specifically Section 17-13-0107, please be informed that on or about July 20, 2022, the undersigned will file an application for a change in zoning from B3-1 Community Shopping District to B2-3 Neighborhood Mixed-Use District on behalf of Kazimierz Dojka, LLC ("The Applicant") for the property located at 3545 West Belmont Avenue, Chicago, Illinois 60618.

This zoning change is for purposes to allow Applicant to construct a four story mixed use building with ground floor commercial, one duplex dwelling unit at the rear and three residential units above for a total of 4 dwelling units, along with three garage parking spaces. The footprint of the building shall approximately be 20.10 x 84 feet in size. The building height shall be 45 feet as defined by City Code.

The Applicant is Kazimierz Dojka, address is

The Owner of the Property is also Kazimierz Dojka. The contact person for this application is Daniel G. Lauer, 1424 West Division Street, Chicago, Illinois 60642, and (773) 862-7200 or dan@dglpc.com.

Please note that the Applicant is not seeking to rezone or purchase your property. Instead, Kazimierz Dojka is required by Chicago Ordinance to send this notice because you own property within 250 feet of the subject property at which a Zoning Map Amendment is sought.

Very truly yours,



Daniel G. Lauer
dan@dglpc.com

Cook County, Illinois W $\frac{1}{2}$ NE $\frac{1}{4}$ Section 26 - 40 - 13 JEFFERSON



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"A"
BRAND'S SUB of the NE $\frac{1}{4}$ of Sec. 26-40-13
Rec Doc 999999999

"B"
S E CROSS SECOND UNDER DEN
LINDEN ADD TO CHICAGO, a sub of
Lots 3 & 4 of Brand's Sub (see "A")
Rec Doc 999999999

"C"
ALBERT WISNER'S SUB of Lots 13 & 14
in Brand's Sub (see "A")
Rec Doc 999999999

"D"
RESUB of Lots 17 to 19 of Blk. 3 in Albert
Wisner's Sub (see "C")
Rec Doc 999999999

"E"
MUSKETS RESUB of Lots 8 to 11 of Blk.
4 in Albert Wisner's Sub (see "C")
Rec Doc 999999999

"F"
WM E HATTERMAN'S MILWAUKEE
AVE SUB of Lots 15 & 16 in Brand's Sub (see
"A")
Rec Doc 999999999

"G"
WISNER'S SUB of Lots 11 & 12 in Brand's Sub
(see "A")
Rec Doc 999999999

"H"
SUB of Lots 1 to 3 of Blk. 8 in Wisner's Sub
(see "G")
Rec Doc 999999999

"I"
RESUB of Lots 54 to 66 of Blk. 7 in Wisner's
Sub (see "G")
Rec Doc 999999999

"J"
RESUB of Lots 1 to 6 of Blk. 7 in Wisner's
Sub (see "G")
Rec Doc 999999999

"K"
STORY & ALLEN'S SUB of Lot 10 of Brand's
Sub (see "A")
Rec Doc 999999999

"L"
CONDOMINIUM 13-26-200-045
Milwaukee Condom
Rec 03/20/2011 Doc 11/06/18/005

Unit	Unit	Unit	Unit
1N = 1001	1S = 1002	2 = 1003	3 = 1004
4 = 1005			

CONDOMINIUM 13-26-200-045
3177 N CENTRAL PARK CONDOMINIUM
Rec 12/04/2010 Doc 20/31/2081

Unit	Unit	Unit
1 = 1001	2 = 1002	3 = 1003

CONDOMINIUM 13-26-201-045
Belmont-Drake Condo
Rec 12/28/2010 Doc 12/06/334051

Unit	Unit
3525-1E = 1001	3525-2E = 1002
3525-3E = 1003	3525-1W = 1004
3525-2W = 1005	3525-3W = 1006
3525-1S = 1007	3525-2S = 1008
3525-3S = 1009	3525-1N = 1010
3525-2N = 1011	3525-3N = 1012

CONDOMINIUM 13-26-202-044
BELMONT-DRAKE CONDO
Rec 05/01/2007 Doc 07/21/15107

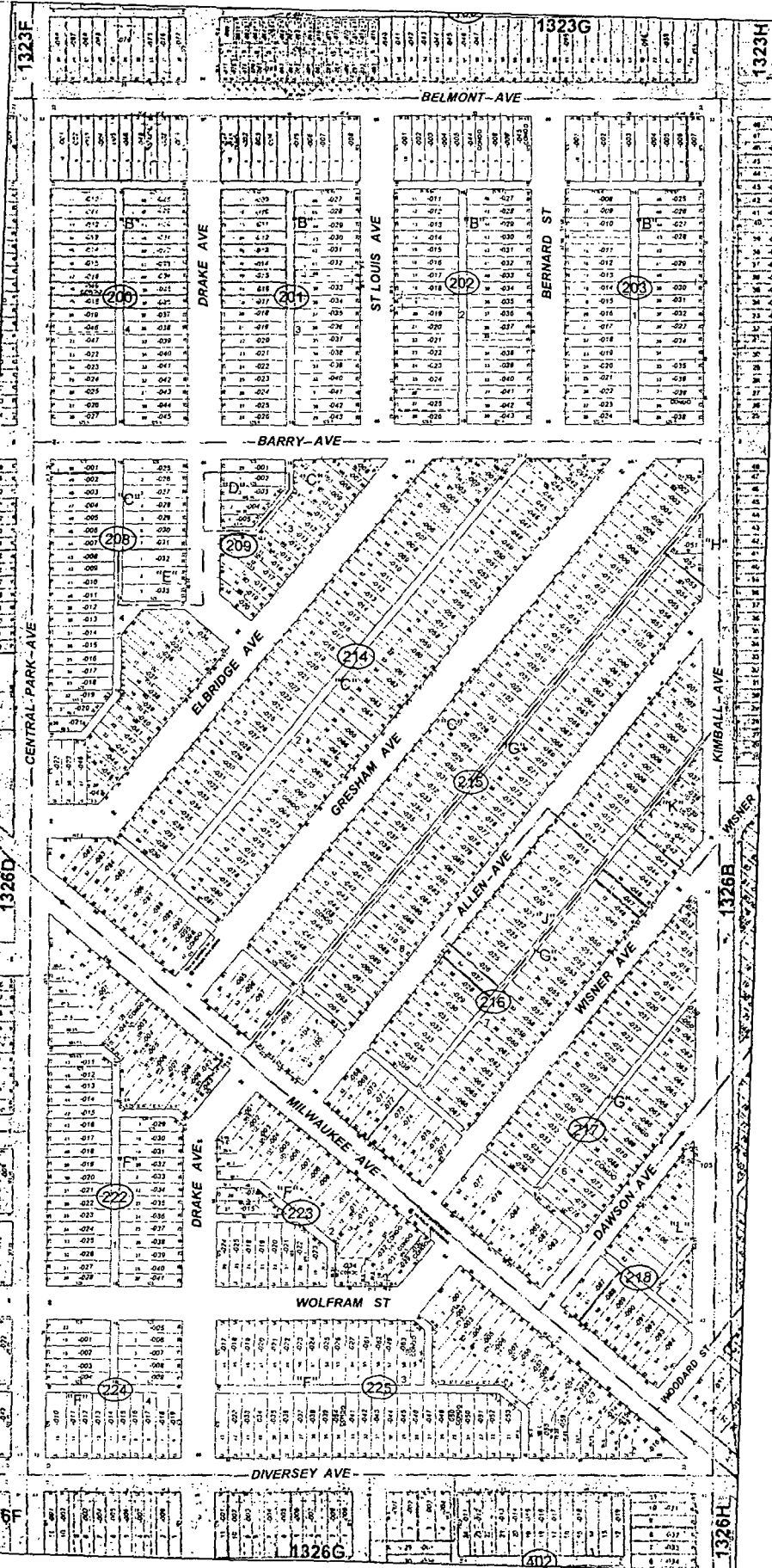
Unit	Unit	Unit	Unit
1E = 1001	2E = 1002	3E = 1003	1W = 1004
2W = 1005	3W = 1006		

CONDOMINIUM 13-26-203-045
3435 W BELMONT AVE CONDO
Rec 03/11/2009 Doc 06/20/16022

Unit	Unit	Unit	Unit
1N = 1001	1S = 1002	2 = 1003	3 = 1004
4 = 1005			

CONDOMINIUM 13-26-203-039
3104 NORTH KIMBALL CONDOMINIUMS
Rec 03/27/2018 Doc 16/08/27090

Unit	Unit	Unit	Unit
1N = 1001	2N = 1002	3N = 1003	1S = 1004
2S = 1005	3S = 1006		



1326F

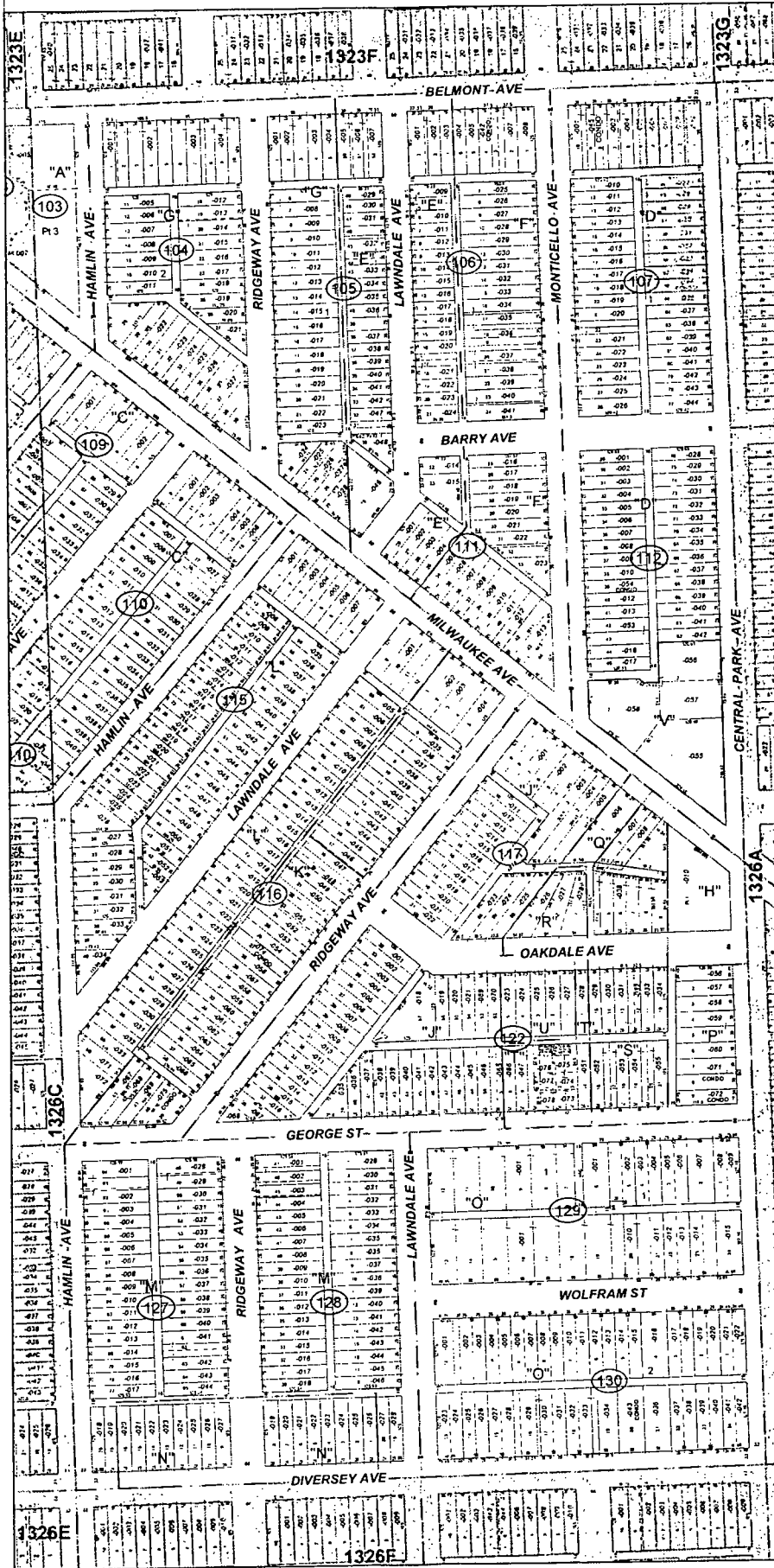
1326G

1326H



Cook County, Illinois
 E 1/2 NW 1/4 Section 26 - 40 - 13
 JEFFERSON

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- "A"
DAVLIN, KELLY & CARROLL'S SUB of the N W 1/4 of Sec 26-40-13
Rec Doc 9999999999
- "B"
SUB of Lot 6 and a strip 25 1 ft wide at the N 1/4 end and 1 ft wide at the S 1/4 end of the N W side of Lot 7, and so much of Lot 5 as lies within Haussen Ct of Davlin, Kelly & Carroll's Sub (see "A")
Rec Doc 9999999999
- "C"
HAUSSEN'S SUB of Lots 1 & 2 of Sub of Lot 6 (see "B")
Rec Doc 9999999999
- "D"
HEAFIELD'S SUB of Lot 1 in Davlin, Kelly & Carroll's Sub (see "A")
Rec Doc 9999999999
- "E"
HEAFIELD'S SUB of the W 5 acs of Lot 2 in Davlin, Kelly & Carroll's Sub (see "A")
Rec 03/18/1902 Doc 3218672
- "F"
HAENTZE & WHEELER'S SUB of Lot 2 (ex the W 5 acs thereof) in Davlin, Kelly & Carroll's Sub (see "A") together with Lot 24 of Heafield's Sub of the W 5 acs (see "E")
Rec 07/15/1902 Doc 3270736
- "G"
HEINEMANN & GROSS' SUB of part of Lot 3 of Davlin, Kelly & Carroll's Sub (see "A")
Rec 07/14/1909 Doc 4405409
- "H"
JOHN B DAWSON'S SUB of Lot 9 in Davlin, Kelly & Carroll's Sub (see "A")
Rec Doc 9999999999
- "I"
JOHN B DAWSON'S SUB of the S E 1/2 of Lot 8 in Davlin, Kelly & Carroll's Sub (see "A") together with Lots 4 & 5 of John B Dawson's Sub of Lot 9 (see "H")
Rec Doc 9999999999
- "K"
ALKE'S SUB of the N W 1/2 of Lot 8 in Davlin, Kelly & Carroll's Sub (see "A")
Rec Doc 9999999999
- "L"
HAENTZE & WHEELER'S SUB NO 5, a part of Lot 7 of Davlin, Kelly & Carroll's Sub (see "A")
Rec 06/29/1907 Doc 4055422
- "M"
ERNST STOCK'S DIVERSEY AVE ADD TO CHICAGO, a sub of Lot 11 in Davlin, Kelly & Carroll's Sub (see "A")
Rec Doc 9999999999
- "N"
ERNST STOCK'S RESUB of Lots 21 to 29 and 66 to 74 in Ernst Stock's Diversey Ave Add (see "M")
Rec Doc 9999999999
- "O"
BLANCHARD'S SUB of Lot 10 in Davlin, Kelly & Carroll's Sub (see "A")
Rec Doc 9999999999
- "P"
SUB of Lots 1 & E Pt 2 of John B Dawson's Sub of Lot 9 (see "H") (that part of Lots 1 & 2 S of Oakdale Ave)
Rec 06/04/1909 Doc 4386630
- "Q"
CZAPALSKI'S SUB of Lot 3 (ex the S 365 ft thereof) in John B Dawson's Sub of Lot 9 (see "H")
Rec 07/10/1913 Doc 5223358
- "R"
RESUB of Lot 2 in Czapalski's Sub of Lot 3 (see "Q")
Rec Doc 9999999999



Cook County, Illinois

E 1/2 SW 1/4 Section 23 - 40 - 13

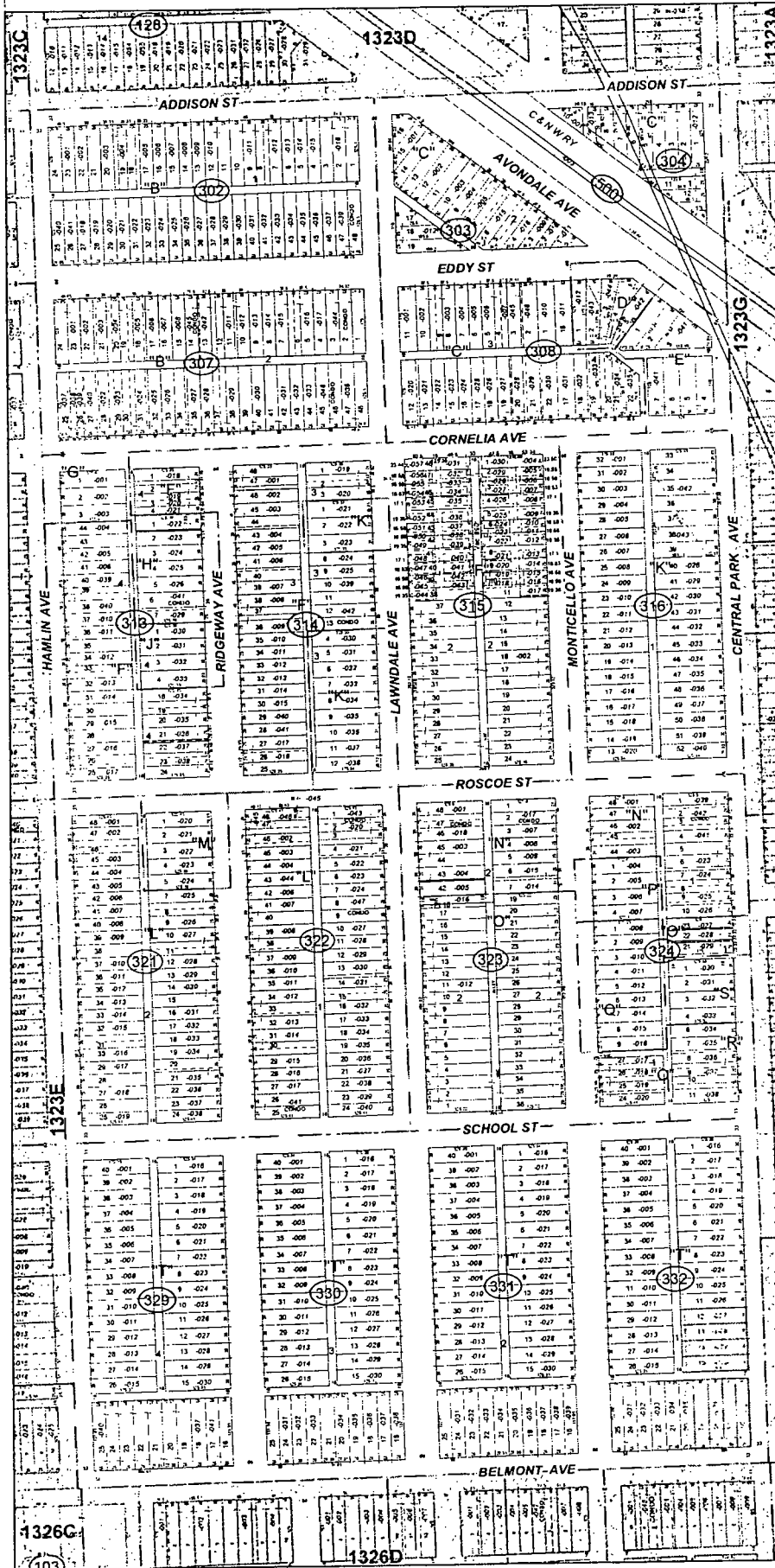
JEFFERSON

2021 Tax Map

Page 1323F

40-13-23F

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- "A"
K K JONES SUB of the N 1/2 of the SW 1/4 of Sec 23-40-13
Rec Doc 999999999
- "B"
LOUCKS & BAUER'S RESUB of Blk 11 in K K Jones Sub (see "A")
Rec Doc 999999999
- "C"
TUREK'S RESUB of Blk 12 in K K Jones Sub (see "A")
Rec Doc 999999999
- "D"
RESUB of Lots 10 to 15 of Blk 4 of Turek's Resub (see "C")
Rec 08/26/1929 Doc 10464492
- "E"
RESUB of Lots 1 to 9 of Blk 4 of Turek's Resub (see "C")
Rec Doc 999999999
- "F"
J R WICKERSHAM'S RESUB of Blks 5 & 6 of K K Jones Sub (see "A")
Rec Doc 999999999
- "G"
RESUB of Lots 45 to 48 of Blk 4 in J R Wickersham's Resub (see "F")
Rec Doc 999999999
- "H"
ANDREW J SCHULTZ SUB, a resub of the S 10 ft of Lot 4 and all of Lots 5 to 12 of Blk 4 in J R Wickersham's Resub (see "F")
Rec Doc 999999999
- "J"
RESUB of Lots 13 to 17 of Blk 4 of J R Wickersham's Resub (see "F")
Rec Doc 999999999
- "K"
W H GIESECKE & SONS RESUB of Blk 1 and Lots 4 to 7 and 14 to 24 of Blk 3 in J R Wickersham's Resub (see "F")
Rec Doc 999999999
- "L"
GRAND VIEW, a resub of Blks 1, 2, & 3 of K K Jones Sub of the S 40 acs of the N 120 acs of the SW 1/4
Rec Doc 999999999
- "M"
RESUB of Lots 1 to 6 of Blk 2 in Grand View (see "L")
Rec Doc 999999999
- "N"
THOS E DOYLE & OTHERS SUB of Lots 1, 2, 3, 4, 18, 19, & 20 of Blk 4 of K K Jones Sub (see "A")
Rec Doc 999999999
- "O"
CARTER & STADES SUB (ex the E 21 ft) of Lot 8 and all of Lots 5 & 9 to 17 in Blk 4 in K K Jones Sub (see "A")
Rec Doc 999999999
- "P"
JOHN MICEK'S RESUB of Lots 39 to 43 in Blk 1 in Thos R Doyle's Sub (see "N")
Rec Doc 999999999
- "Q"
JOHNSON'S RESUB of part of Lot 28 & all of 29 to 38 in Blk 1 in Carter & Stades Sub (see "O")
Rec Doc 999999999
- "R"
OLIVER & WHITE'S SUB of Lots 6, 7, & the E 21 ft of Lot 8 of Blk 4 of K K Jones Sub (see "A")
Rec Doc 999999999
- "S"
MARY P RUSHKIEWICZ'S RESUB of Lots 1 to 5 in Oliver & White's Sub (see "R")
Rec Doc 999999999
- "T"
BELMONT & NORTH CENTRAL PARK

CONDOMINIUM 13-23-32-038
Shady Place Condominium
Rec 08/21/2002 Doc 0070019586

Unit	Unit
3537.1 = 1001	3537.3 = 1003
3538.1 = 1003	3538.2 = 1004
3538.1 = 1005	3538.2 = 1006
3540.1 = 1007	3540.2 = 1008

Cook County, Illinois

W $\frac{1}{2}$ SE $\frac{1}{4}$ Section 23 - 40 - 13

JEFFERSON



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"A"
 ASSESSOR'S DIV of the W 1/2 of the SE 1/4 of Sec 23-40-13 (ex the R R)
 Rec Doc 999999999

"B"
 FRANK McMASTER'S SUB of Lot 15 in Assessor's Div (see "A")
 Rec Doc 999999999

"C"
 COMMONWEALTH EDISON CO'S RIGHT OF WAY SUB in Secs 23 & 24-40-13
 Rec Doc 999999999

"D"
 FERGUSON CONSOLIDATION of (ex the E 340 ft W of the W line of Kimball Ave) Lot 2, the N 39 64 ft (ex the E 340 ft W of the W line of Kimball Ave) of Lot 3, that part N E of a line 260 ft. 1-1/4 in N E of end parallel to the N E line of the R R of the N 39 64 ft. of Lot 11, all of Lot 12 and that part of Lot 14 E of the W line of Lot 13 extended
 Rec Doc 999999999

"E"
 ASSESSOR'S DIV of Lot 16 in Assessor's Div (see "A")
 Rec Doc 999999999

"F"
 EATON & HALE'S ADD TO GRAND VIEW, a sub of Lot 2 in Assessor's Div (see "E")
 Rec Doc 999999999

"G"
 SUB of Lot 1 in Assessor's Div of Lot 16 (see "E")
 Rec Doc 999999999

"H"
 CLAYTON'S RESUB of Lots 1 to 27 together with vac alley in Sub of Lot 1 in Assessor's Div (see "G")
 Rec Doc 999999999

"J"
 GIESECKE & SONS RESUB of Lots 8 to 14 and 22 to 26 of Blk. 1 in Eaton & Hale's Add (see "F")
 Rec Doc 999999999

"K"
 HALL'S SUB of Lot 10 in Assessor's Div (see "A")
 Rec Doc 999999999

"L"
 SUB of Lots 7 to 9 and Sublots 3 to 8 of 16 in Assessor's Div (see "A")
 Rec Doc 999999999

"M"
 ALBERT WISNER'S RESUB of Lots 40 to 47 of Blk. 5 in Sub of Lots 7 to 9 (see "L")
 Rec Doc 999999999

"N"
 LeROY F WASHBURN'S RESUB of Lots 67 to 71 of Blk 2 in Sub of Lots 7 to 9 (see "L")
 Rec Doc 999999999

"O"
 RESUB of Lots 45 to 49 of Blk 3 in Sub of Lots 7 to 9 (see "L")
 Rec Doc 999999999

"P"
 BERRY HOMES RESUB of all Lot 27, and pt of Lots 28 to 33 in Blk. 1 of Eaton & Hale's Add to Grandview (see "F")
 Rec 01/29/1963 Doc 16708318

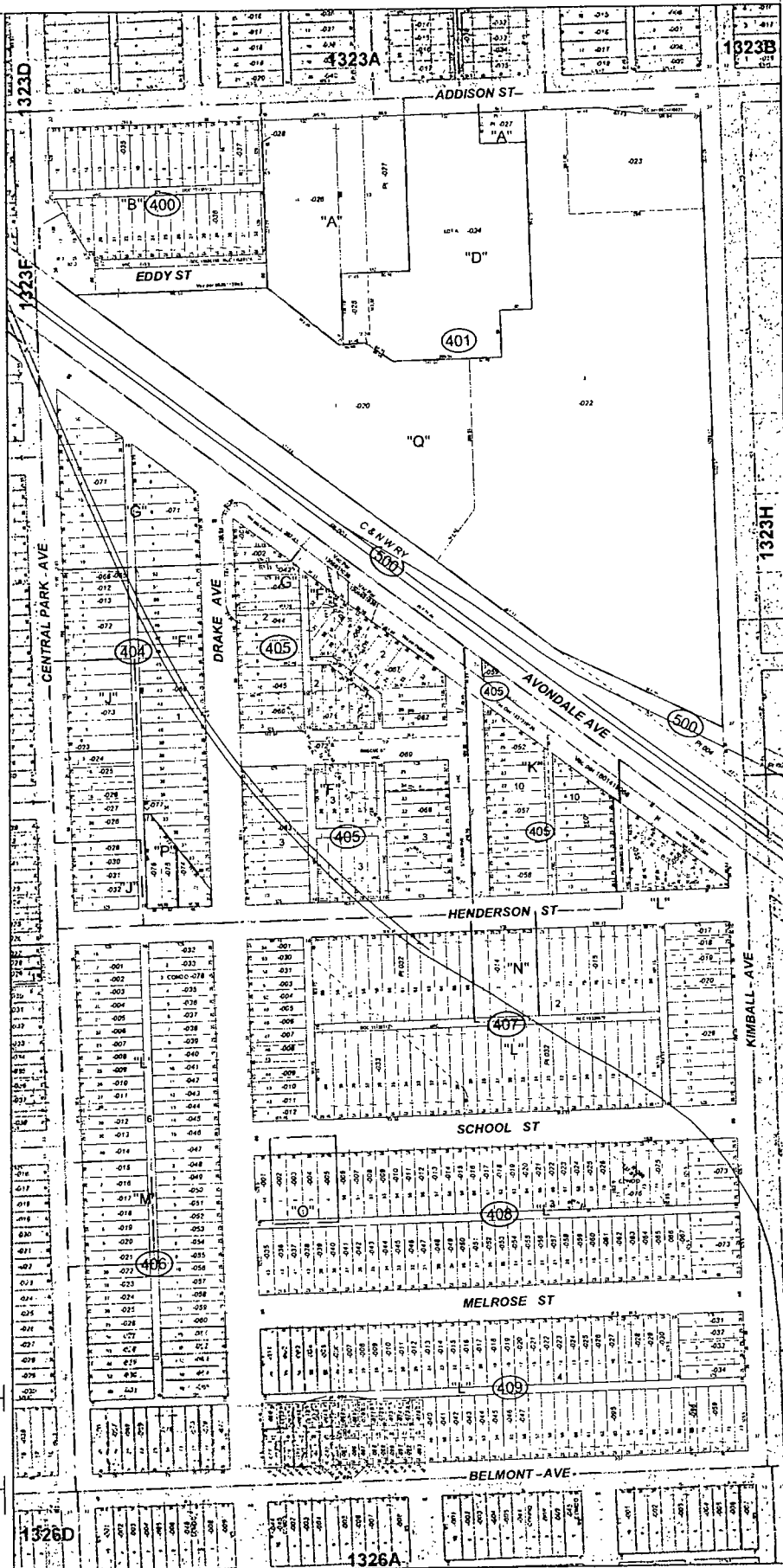
"Q"
 BUILDERS SQUARE SUB, a Resub of part of Lot 8 in Commonwealth Edison Co's Right of Way Sub (see "C"), Lots 33 to 47 in Frank McMaster's Sub (see "B") and part of Lot 1, all of Lots 2, 3, 11 and part of Lot 14 in Assessor's Div (see "A")
 Rec 07/17/1996 Doc 96543624

CONDOMINIUM 13-23-406-078
 3228 N Davis St Condominium
 Rec 05/26/2002 Doc 0020710351

Unit	Unit	Unit
1 = 1001	2 = 1002	3 = 1003

CONDOMINIUM 13-23-406-076
 Kennedy Townhomes Condominium
 Rec 05/18/2002 Doc 0023082741

Unit	Unit	Unit
3415 = 1001	3417 = 1002	3419 = 1003
3421 = 1004	3423 = 1005	



**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT
AND AFFIDAVIT**

SECTION I -- GENERAL INFORMATION

A. Legal name of the Disclosing Party submitting this EDS. Include d/b/a/ if applicable:

Kazimierz Dojka

Check ONE of the following three boxes:

Indicate whether the Disclosing Party submitting this EDS is:

1. the Applicant

OR

2. a legal entity currently holding, or anticipated to hold within six months after City action on the contract, transaction or other undertaking to which this EDS pertains (referred to below as the "Matter"), a direct or indirect interest in excess of 7.5% in the Applicant. State the Applicant's legal name: _____

OR

3. a legal entity with a direct or indirect right of control of the Applicant (see Section II(B)(1)) State the legal name of the entity in which the Disclosing Party holds a right of control: _____

B. Business address of the Disclosing Party: _____

C. Telephone: _____ Fax: N/A Email: dan@dglpc.com

D. Name of contact person: Daniel G. Lauer, Esq.

E. Federal Employer Identification No. (if you have one): NOT APPLICABLE

F. Brief description of the Matter to which this EDS pertains. (Include project number and location of property, if applicable):

ZONING CHANGE OF 3545 WEST BELMONT, CHICAGO, ILLINOIS 60618

G. Which City agency or department is requesting this EDS? DEPARTMENT OF PLANNING AND DEVELOPMENT

If the Matter is a contract being handled by the City's Department of Procurement Services, please complete the following:

Specification # NOT APPLICABLE and Contract # NOT APPLICABLE

SECTION II -- DISCLOSURE OF OWNERSHIP INTERESTS

A. NATURE OF THE DISCLOSING PARTY

1. Indicate the nature of the Disclosing Party:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Person | <input type="checkbox"/> Limited liability company |
| <input type="checkbox"/> Publicly registered business corporation | <input type="checkbox"/> Limited liability partnership |
| <input type="checkbox"/> Privately held business corporation | <input type="checkbox"/> Joint venture |
| <input type="checkbox"/> Sole proprietorship | <input type="checkbox"/> Not-for-profit corporation |
| <input type="checkbox"/> General partnership | (Is the not-for-profit corporation also a 501(c)(3))? |
| <input type="checkbox"/> Limited partnership | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Trust | <input type="checkbox"/> Other (please specify) |
-

2. For legal entities, the state (or foreign country) of incorporation or organization, if applicable:

3. For legal entities not organized in the State of Illinois: Has the organization registered to do business in the State of Illinois as a foreign entity?

- Yes No Organized in Illinois

B. IF THE DISCLOSING PARTY IS A LEGAL ENTITY:

1. List below the full names and titles, if applicable, of: (i) all executive officers and all directors of the entity; (ii) **for not-for-profit corporations**, all members, if any, which are legal entities (if there are no such members, write "no members which are legal entities"); (iii) **for trusts, estates or other similar entities**, the trustee, executor, administrator, or similarly situated party; (iv) **for general or limited partnerships, limited liability companies, limited liability partnerships or joint ventures**, each general partner, managing member, manager or any other person or legal entity that directly or indirectly controls the day-to-day management of the Applicant.

NOTE: Each legal entity listed below must submit an EDS on its own behalf.

Name	Title
_____	_____
_____	_____
_____	_____

2. Please provide the following information concerning each person or legal entity having a direct or indirect, current or prospective (i.e. within 6 months after City action) beneficial interest (including ownership) in excess of 7.5% of the Applicant. Examples of such an interest include shares in a corporation, partnership interest in a partnership or joint venture, interest of a member or manager in a

limited liability company, or interest of a beneficiary of a trust, estate or other similar entity. If none, state "None."

NOTE: Each legal entity listed below may be required to submit an EDS on its own behalf.

Name	Business Address	Percentage Interest in the Applicant

SECTION III -- INCOME OR COMPENSATION TO, OR OWNERSHIP BY, CITY ELECTED OFFICIALS

Has the Disclosing Party provided any income or compensation to any City elected official during the 12-month period preceding the date of this EDS? Yes No

Does the Disclosing Party reasonably expect to provide any income or compensation to any City elected official during the 12-month period following the date of this EDS? Yes No

If "yes" to either of the above, please identify below the name(s) of such City elected official(s) and describe such income or compensation:

Does any City elected official or, to the best of the Disclosing Party's knowledge after reasonable inquiry, any City elected official's spouse or domestic partner, have a financial interest (as defined in Chapter 2-156 of the Municipal Code of Chicago ("MCC")) in the Disclosing Party?

Yes No

If "yes," please identify below the name(s) of such City elected official(s) and/or spouse(s)/domestic partner(s) and describe the financial interest(s).

SECTION IV -- DISCLOSURE OF SUBCONTRACTORS AND OTHER RETAINED PARTIES

The Disclosing Party must disclose the name and business address of each subcontractor, attorney, lobbyist (as defined in MCC Chapter 2-156), accountant, consultant and any other person or entity whom the Disclosing Party has retained or expects to retain in connection with the Matter, as well as the nature of the relationship, and the total amount of the fees paid or estimated to be paid. The Disclosing Party is not required to disclose employees who are paid solely through the Disclosing Party's regular payroll. If the Disclosing Party is uncertain whether a disclosure is required under this Section, the Disclosing Party must either ask the City whether disclosure is required or make the disclosure.

Name (indicate whether retained or anticipated to be retained)	Business Address	Relationship to Disclosing Party (subcontractor, attorney, lobbyist, etc.)	Fees (indicate whether paid or estimated.) NOTE: "hourly rate" or "t.b.d." is not an acceptable response. estimated fee of \$5,000.00
DANIEL G. LAUER (RETAINED)	1424 W. Division St., Chgo IL 60642	Attorney	estimated fee of \$5,000.00

(Add sheets if necessary)

Check here if the Disclosing Party has not retained, nor expects to retain, any such persons or entities.

SECTION V -- CERTIFICATIONS

A. COURT-ORDERED CHILD SUPPORT COMPLIANCE

Under MCC Section 2-92-415, substantial owners of business entities that contract with the City must remain in compliance with their child support obligations throughout the contract's term.

Has any person who directly or indirectly owns 10% or more of the Disclosing Party been declared in arrearage on any child support obligations by any Illinois court of competent jurisdiction?

Yes No No person directly or indirectly owns 10% or more of the Disclosing Party.

If "Yes," has the person entered into a court-approved agreement for payment of all support owed and is the person in compliance with that agreement?

Yes No

B. FURTHER CERTIFICATIONS

1. [This paragraph 1 applies only if the Matter is a contract being handled by the City's Department of Procurement Services.] In the 5-year period preceding the date of this EDS, neither the Disclosing Party nor any Affiliated Entity [see definition in (5) below] has engaged, in connection with the performance of any public contract, the services of an integrity monitor, independent private sector inspector general, or integrity compliance consultant (i.e., an individual or entity with legal, auditing, investigative, or other similar skills, designated by a public agency to help the agency monitor the activity of specified agency vendors as well as help the vendors reform their business practices so they can be considered for agency contracts in the future, or continue with a contract in progress).

2. The Disclosing Party and its Affiliated Entities are not delinquent in the payment of any fine, fee, tax or other source of indebtedness owed to the City of Chicago, including, but not limited to, water and sewer charges, license fees, parking tickets, property taxes and sales taxes, nor is the Disclosing Party delinquent in the payment of any tax administered by the Illinois Department of Revenue.

3. The Disclosing Party and, if the Disclosing Party is a legal entity, all of those persons or entities identified in Section II(B)(1) of this EDS:

- a. are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from any transactions by any federal, state or local unit of government;
- b. have not, during the 5 years before the date of this EDS, been convicted of a criminal offense, adjudged guilty, or had a civil judgment rendered against them in connection with: obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; a violation of federal or state antitrust statutes; fraud; embezzlement; theft; forgery; bribery; falsification or destruction of records; making false statements; or receiving stolen property;
- c. are not presently indicted for, or criminally or civilly charged by, a governmental entity (federal, state or local) with committing any of the offenses set forth in subparagraph (b) above;
- d. have not, during the 5 years before the date of this EDS, had one or more public transactions (federal, state or local) terminated for cause or default; and
- e. have not, during the 5 years before the date of this EDS, been convicted, adjudged guilty, or found liable in a civil proceeding, or in any criminal or civil action, including actions concerning environmental violations, instituted by the City or by the federal government, any state, or any other unit of local government.

4. The Disclosing Party understands and shall comply with the applicable requirements of MCC Chapters 2-56 (Inspector General) and 2-156 (Governmental Ethics).

5. Certifications (5), (6) and (7) concern:

- the Disclosing Party;
- any "Contractor" (meaning any contractor or subcontractor used by the Disclosing Party in connection with the Matter, including but not limited to all persons or legal entities disclosed under Section IV, "Disclosure of Subcontractors and Other Retained Parties");
- any "Affiliated Entity" (meaning a person or entity that, directly or indirectly: controls the Disclosing Party, is controlled by the Disclosing Party, or is, with the Disclosing Party, under common control of another person or entity). Indicia of control include, without limitation: interlocking management or ownership; identity of interests among family members, shared facilities and equipment; common use of employees; or organization of a business entity following the ineligibility of a business entity to do business with federal or state or local government, including the City, using substantially the same management, ownership, or principals as the ineligible entity. With respect to Contractors, the term Affiliated Entity means a person or entity that directly or indirectly controls the Contractor, is controlled by it, or, with the Contractor, is under common control of another person or entity;
- any responsible official of the Disclosing Party, any Contractor or any Affiliated Entity or any other official, agent or employee of the Disclosing Party, any Contractor or any Affiliated Entity, acting pursuant to the direction or authorization of a responsible official of the Disclosing Party, any Contractor or any Affiliated Entity (collectively "Agents").

Neither the Disclosing Party, nor any Contractor, nor any Affiliated Entity of either the Disclosing Party or any Contractor, nor any Agents have, during the 5 years before the date of this EDS, or, with respect to a Contractor, an Affiliated Entity, or an Affiliated Entity of a Contractor during the 5 years before the date of such Contractor's or Affiliated Entity's contract or engagement in connection with the Matter:

- a. bribed or attempted to bribe, or been convicted or adjudged guilty of bribery or attempting to bribe, a public officer or employee of the City, the State of Illinois, or any agency of the federal government or of any state or local government in the United States of America, in that officer's or employee's official capacity;
 - b. agreed or colluded with other bidders or prospective bidders, or been a party to any such agreement, or been convicted or adjudged guilty of agreement or collusion among bidders or prospective bidders, in restraint of freedom of competition by agreement to bid a fixed price or otherwise; or
 - c. made an admission of such conduct described in subparagraph (a) or (b) above that is a matter of record, but have not been prosecuted for such conduct; or
 - d. violated the provisions referenced in MCC Subsection 2-92-320(a)(4)(Contracts Requiring a Base Wage); (a)(5)(Debarment Regulations); or (a)(6)(Minimum Wage Ordinance).
6. Neither the Disclosing Party, nor any Affiliated Entity or Contractor, or any of their employees, officials, agents or partners, is barred from contracting with any unit of state or local government as a result of engaging in or being convicted of (1) bid-rigging in violation of 720 ILCS 5/33E-3; (2) bid-rotating in violation of 720 ILCS 5/33E-4; or (3) any similar offense of any state or of the United States of America that contains the same elements as the offense of bid-rigging or bid-rotating.
7. Neither the Disclosing Party nor any Affiliated Entity is listed on a Sanctions List maintained by the United States Department of Commerce, State, or Treasury, or any successor federal agency.
8. [FOR APPLICANT ONLY] (i) Neither the Applicant nor any "controlling person" [see MCC Chapter 1-23, Article I for applicability and defined terms] of the Applicant is currently indicted or charged with, or has admitted guilt of, or has ever been convicted of, or placed under supervision for, any criminal offense involving actual, attempted, or conspiracy to commit bribery, theft, fraud, forgery, perjury, dishonesty or deceit against an officer or employee of the City or any "sister agency"; and (ii) the Applicant understands and acknowledges that compliance with Article I is a continuing requirement for doing business with the City. NOTE: If MCC Chapter 1-23, Article I applies to the Applicant, that Article's permanent compliance timeframe supersedes 5-year compliance timeframes in this Section V.
9. [FOR APPLICANT ONLY] The Applicant and its Affiliated Entities will not use, nor permit their subcontractors to use, any facility listed as having an active exclusion by the U.S. EPA on the federal System for Award Management ("SAM").
10. [FOR APPLICANT ONLY] The Applicant will obtain from any contractors/subcontractors hired or to be hired in connection with the Matter certifications equal in form and substance to those in Certifications (2) and (9) above and will not, without the prior written consent of the City, use any such

contractor/subcontractor that does not provide such certifications or that the Applicant has reason to believe has not provided or cannot provide truthful certifications.

11. If the Disclosing Party is unable to certify to any of the above statements in this Part B (Further Certifications), the Disclosing Party must explain below:

NONE

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

12. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all current employees of the Disclosing Party who were, at any time during the 12-month period preceding the date of this EDS, an employee, or elected or appointed official, of the City of Chicago (if none, indicate with "N/A" or "none").

NONE

13. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all gifts that the Disclosing Party has given or caused to be given, at any time during the 12-month period preceding the execution date of this EDS, to an employee, or elected or appointed official, of the City of Chicago. For purposes of this statement, a "gift" does not include: (i) anything made generally available to City employees or to the general public, or (ii) food or drink provided in the course of official City business and having a retail value of less than \$25 per recipient, or (iii) a political contribution otherwise duly reported as required by law (if none, indicate with "N/A" or "none"). As to any gift listed below, please also list the name of the City recipient.

NONE

C. CERTIFICATION OF STATUS AS FINANCIAL INSTITUTION

1. The Disclosing Party certifies that the Disclosing Party (check one)

is is not

a "financial institution" as defined in MCC Section 2-32-455(b).

2. If the Disclosing Party IS a financial institution, then the Disclosing Party pledges:

"We are not and will not become a predatory lender as defined in MCC Chapter 2-32. We further pledge that none of our affiliates is, and none of them will become, a predatory lender as defined in MCC Chapter 2-32. We understand that becoming a predatory lender or becoming an affiliate of a predatory lender may result in the loss of the privilege of doing business with the City."

If the Disclosing Party is unable to make this pledge because it or any of its affiliates (as defined in MCC Section 2-32-455(b)) is a predatory lender within the meaning of MCC Chapter 2-32, explain here (attach additional pages if necessary):

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

D. CERTIFICATION REGARDING FINANCIAL INTEREST IN CITY BUSINESS

Any words or terms defined in MCC Chapter 2-156 have the same meanings if used in this Part D.

1. In accordance with MCC Section 2-156-110: To the best of the Disclosing Party's knowledge after reasonable inquiry, does any official or employee of the City have a financial interest in his or her own name or in the name of any other person or entity in the Matter?

Yes No

NOTE: If you checked "Yes" to Item D(1), proceed to Items D(2) and D(3). If you checked "No" to Item D(1), skip Items D(2) and D(3) and proceed to Part E.

2. Unless sold pursuant to a process of competitive bidding, or otherwise permitted, no City elected official or employee shall have a financial interest in his or her own name or in the name of any other person or entity in the purchase of any property that (i) belongs to the City, or (ii) is sold for taxes or assessments, or (iii) is sold by virtue of legal process at the suit of the City (collectively, "City Property Sale"). Compensation for property taken pursuant to the City's eminent domain power does not constitute a financial interest within the meaning of this Part D.

Does the Matter involve a City Property Sale?

Yes No

3. If you checked "Yes" to Item D(1), provide the names and business addresses of the City officials or employees having such financial interest and identify the nature of the financial interest:

Name	Business Address	Nature of Financial Interest
_____	_____	_____
_____	_____	_____
_____	_____	_____

4. The Disclosing Party further certifies that no prohibited financial interest in the Matter will be acquired by any City official or employee.

E. CERTIFICATION REGARDING SLAVERY ERA BUSINESS

Please check either (1) or (2) below. If the Disclosing Party checks (2), the Disclosing Party must disclose below or in an attachment to this EDS all information required by (2). Failure to comply with these disclosure requirements may make any contract entered into with the City in connection with the Matter voidable by the City.

1. The Disclosing Party verifies that the Disclosing Party has searched any and all records of the Disclosing Party and any and all predecessor entities regarding records of investments or profits from slavery or slaveholder insurance policies during the slavery era (including insurance policies issued to slaveholders that provided coverage for damage to or injury or death of their slaves), and the Disclosing Party has found no such records.

2. The Disclosing Party verifies that, as a result of conducting the search in step (1) above, the Disclosing Party has found records of investments or profits from slavery or slaveholder insurance policies. The Disclosing Party verifies that the following constitutes full disclosure of all such records, including the names of any and all slaves or slaveholders described in those records:

SECTION VI -- CERTIFICATIONS FOR FEDERALLY FUNDED MATTERS

NOTE: If the Matter is federally funded, complete this Section VI. If the Matter is not federally funded, proceed to Section VII. For purposes of this Section VI, tax credits allocated by the City and proceeds of debt obligations of the City are not federal funding.

A. CERTIFICATION REGARDING LOBBYING

1. List below the names of all persons or entities registered under the federal Lobbying Disclosure Act of 1995, as amended, who have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter: (Add sheets if necessary):

(If no explanation appears or begins on the lines above, or if the letters "NA" or if the word "None" appear, it will be conclusively presumed that the Disclosing Party means that NO persons or entities registered under the Lobbying Disclosure Act of 1995, as amended, have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter.)

2. The Disclosing Party has not spent and will not expend any federally appropriated funds to pay any person or entity listed in paragraph A(1) above for his or her lobbying activities or to pay any person or entity to influence or attempt to influence an officer or employee of any agency, as defined by applicable federal law, a member of Congress, an officer or employee of Congress, or an employee

of a member of Congress, in connection with the award of any federally funded contract, making any federally funded grant or loan, entering into any cooperative agreement, or to extend, continue, renew, amend, or modify any federally funded contract, grant, loan, or cooperative agreement.

3. The Disclosing Party will submit an updated certification at the end of each calendar quarter in which there occurs any event that materially affects the accuracy of the statements and information set forth in paragraphs A(1) and A(2) above.

4. The Disclosing Party certifies that either: (i) it is not an organization described in section 501(c)(4) of the Internal Revenue Code of 1986; or (ii) it is an organization described in section 501(c)(4) of the Internal Revenue Code of 1986 but has not engaged and will not engage in "Lobbying Activities," as that term is defined in the Lobbying Disclosure Act of 1995, as amended.

5. If the Disclosing Party is the Applicant, the Disclosing Party must obtain certifications equal in form and substance to paragraphs A(1) through A(4) above from all subcontractors before it awards any subcontract and the Disclosing Party must maintain all such subcontractors' certifications for the duration of the Matter and must make such certifications promptly available to the City upon request.

B. CERTIFICATION REGARDING EQUAL EMPLOYMENT OPPORTUNITY

If the Matter is federally funded, federal regulations require the Applicant and all proposed subcontractors to submit the following information with their bids or in writing at the outset of negotiations.

Is the Disclosing Party the Applicant?

Yes No

If "Yes," answer the three questions below:

1. Have you developed and do you have on file affirmative action programs pursuant to applicable federal regulations? (See 41 CFR Part 60-2.)

Yes No

2. Have you filed with the Joint Reporting Committee, the Director of the Office of Federal Contract Compliance Programs, or the Equal Employment Opportunity Commission all reports due under the applicable filing requirements?

Yes No Reports not required

3. Have you participated in any previous contracts or subcontracts subject to the equal opportunity clause?

Yes No

If you checked "No" to question (1) or (2) above, please provide an explanation:

SECTION VII -- FURTHER ACKNOWLEDGMENTS AND CERTIFICATION

The Disclosing Party understands and agrees that:

- A. The certifications, disclosures, and acknowledgments contained in this EDS will become part of any contract or other agreement between the Applicant and the City in connection with the Matter, whether procurement, City assistance, or other City action, and are material inducements to the City's execution of any contract or taking other action with respect to the Matter. The Disclosing Party understands that it must comply with all statutes, ordinances, and regulations on which this EDS is based.
- B. The City's Governmental Ethics Ordinance, MCC Chapter 2-156, imposes certain duties and obligations on persons or entities seeking City contracts, work, business, or transactions. The full text of this ordinance and a training program is available on line at www.cityofchicago.org/Ethics, and may also be obtained from the City's Board of Ethics, 740 N. Sedgwick St., Suite 500, Chicago, IL 60610, (312) 744-9660. The Disclosing Party must comply fully with this ordinance.
- C. If the City determines that any information provided in this EDS is false, incomplete or inaccurate, any contract or other agreement in connection with which it is submitted may be rescinded or be void or voidable, and the City may pursue any remedies under the contract or agreement (if not rescinded or void), at law, or in equity, including terminating the Disclosing Party's participation in the Matter and/or declining to allow the Disclosing Party to participate in other City transactions. Remedies at law for a false statement of material fact may include incarceration and an award to the City of treble damages.
- D. It is the City's policy to make this document available to the public on its Internet site and/or upon request. Some or all of the information provided in, and appended to, this EDS may be made publicly available on the Internet, in response to a Freedom of Information Act request, or otherwise. By completing and signing this EDS, the Disclosing Party waives and releases any possible rights or claims which it may have against the City in connection with the public release of information contained in this EDS and also authorizes the City to verify the accuracy of any information submitted in this EDS.
- E. The information provided in this EDS must be kept current. In the event of changes, the Disclosing Party must supplement this EDS up to the time the City takes action on the Matter. If the Matter is a contract being handled by the City's Department of Procurement Services, the Disclosing Party must update this EDS as the contract requires. **NOTE:** With respect to Matters subject to MCC Chapter 1-23, Article I (imposing **PERMANENT INELIGIBILITY** for certain specified offenses), the information provided herein regarding eligibility must be kept current for a longer period, as required by MCC Chapter 1-23 and Section 2-154-020.

CERTIFICATION

Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS, and all applicable Appendices, on behalf of the Disclosing Party, and (2) warrants that all certifications and statements contained in this EDS, and all applicable Appendices, are true, accurate and complete as of the date furnished to the City.

Kazimierz Dojka

(Print or type exact legal name of Disclosing Party)

By: *Kazimierz Dojka*
CEP (Sign here)

Kazimierz Dojka

(Print or type name of person signing)

CEO

(Print or type title of person signing)

Signed and sworn to before me on (date) June 22, 2022,

at Cook County, Illinois (state).

Kathy Hudy
Notary Public



Commission expires: 12/21/2024

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX A**

**FAMILIAL RELATIONSHIPS WITH ELECTED CITY OFFICIALS
AND DEPARTMENT HEADS**

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5%. It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

Under MCC Section 2-154-015, the Disclosing Party must disclose whether such Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently has a "familial relationship" with any elected city official or department head. A "familial relationship" exists if, as of the date this EDS is signed, the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof is related to the mayor, any alderman, the city clerk, the city treasurer or any city department head as spouse or domestic partner or as any of the following, whether by blood or adoption: parent, child, brother or sister, aunt or uncle, niece or nephew, grandparent, grandchild, father-in-law, mother-in-law, son-in-law, daughter-in-law, stepfather or stepmother, stepson or stepdaughter, stepbrother or stepsister or half-brother or half-sister.

"Applicable Party" means (1) all executive officers of the Disclosing Party listed in Section II.B.1.a., if the Disclosing Party is a corporation; all partners of the Disclosing Party, if the Disclosing Party is a general partnership; all general partners and limited partners of the Disclosing Party, if the Disclosing Party is a limited partnership; all managers, managing members and members of the Disclosing Party, if the Disclosing Party is a limited liability company; (2) all principal officers of the Disclosing Party; and (3) any person having more than a 7.5% ownership interest in the Disclosing Party. "Principal officers" means the president, chief operating officer, executive director, chief financial officer, treasurer or secretary of a legal entity or any person exercising similar authority.

Does the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently have a "familial relationship" with an elected city official or department head?

Yes

No

If yes, please identify below (1) the name and title of such person, (2) the name of the legal entity to which such person is connected; (3) the name and title of the elected city official or department head to whom such person has a familial relationship, and (4) the precise nature of such familial relationship.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX B**

BUILDING CODE SCOFFLAW/PROBLEM LANDLORD CERTIFICATION

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5% (an "Owner"). It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

1. Pursuant to MCC Section 2-154-010, is the Applicant or any Owner identified as a building code scofflaw or problem landlord pursuant to MCC Section 2-92-416?

Yes No

2. If the Applicant is a legal entity publicly traded on any exchange, is any officer or director of the Applicant identified as a building code scofflaw or problem landlord pursuant to MCC Section 2-92-416?

Yes No The Applicant is not publicly traded on any exchange.

3. If yes to (1) or (2) above, please identify below the name of each person or legal entity identified as a building code scofflaw or problem landlord and the address of each building or buildings to which the pertinent code violations apply.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX C**

PROHIBITION ON WAGE & SALARY HISTORY SCREENING - CERTIFICATION

This Appendix is to be completed only by an Applicant that is completing this EDS as a “contractor” as defined in MCC Section 2-92-385. That section, which should be consulted (www.amlegal.com), generally covers a party to any agreement pursuant to which they: (i) receive City of Chicago funds in consideration for services, work or goods provided (including for legal or other professional services), or (ii) pay the City money for a license, grant or concession allowing them to conduct a business on City premises.

On behalf of an Applicant that is a contractor pursuant to MCC Section 2-92-385, I hereby certify that the Applicant is in compliance with MCC Section 2-92-385(b)(1) and (2), which prohibit: (i) screening job applicants based on their wage or salary history, or (ii) seeking job applicants’ wage or salary history from current or former employers. I also certify that the Applicant has adopted a policy that includes those prohibitions.

Yes

No

N/A – I am not an Applicant that is a “contractor” as defined in MCC Section 2-92-385.

This certification shall serve as the affidavit required by MCC Section 2-92-385(c)(1).

If you checked “no” to the above, please explain.
