



City of Chicago



SO2016-3916

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	5/18/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 6-F at 246-262 W 22nd Pl - App No. 18783
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

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ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning

Ordinance is hereby amended by changing all of RT4, Residential Two-Flat, Townhouse and Multi-Unit District symbols as shown on Map No. 6-F, in the area bounded by:

The public alley next North of and parallel to West 22nd Place; a line 250.56 feet East of and parallel to South Princeton Avenue; West 22nd Place; a line 75 feet East of and parallel to South Princeton Avenue.

To those of a B3-5, Community Shopping District

SECTION 2. Title 17 of the Municipal Code of Chicago, the Chicago Zoning

Ordinance is hereby amended by changing all of the B3-5, Community Shopping Zoning District symbols as shown on Map No. 6-F in the area bounded by:

The public alley next North of and parallel to West 22nd Place; a line 250.56 feet East of and parallel to South Princeton Avenue; West 22nd Place; a line 75 feet East of and parallel to South Princeton Avenue.

To those of a Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part of thereof and to no others.

SECTION 3. This Ordinance shall be in force and effect from and after its passage and due publication.

Address of property: 246-262 West 22nd Place, Chicago, Illinois

PLANNED DEVELOPMENT STATEMENTS NO.

1. The area delineated herein as Planned Development Number _____, ("Planned Development") consists of approximately 17,556 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, Chinese Consolidated Benevolent Association of Chicago
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation (CDOT) on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Departments of Planning and Development (DPD) and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the CDOT.

All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by CDOT.

4. This Plan of Development consists of 16 Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line; the following plans (prepared by FitzGerald Associates Architects, PC and dated December 15, 2016): Site Plan; Roof Plan and Building Elevations (East, West, North

Applicant	Chinese Consolidated Benevolent Association of Chicago
Address	246-262 West 22nd Place, Chicago
Introduced	May 18, 2016
Plan Commission	December 15, 2016

and South). In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.

5. The following uses are permitted in this Planned Development: Community Center, Elderly Housing, Cultural Exhibits, Day Care (Adult), Urban Farm – Rooftop Operation, Medical Services, Artist Work or Sales Space, Office, Business Support Services, Accessory Parking, Non-Accessory Parking and all accessory and related uses.
6. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within this Planned Development, subject to the review and approval of DPD. Off-Premise signs are prohibited within the boundary of this Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio (FAR) for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 17,556 square feet.
9. Pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed, upon review and determination, by DPD. The fee, as determined by the staff of DPD at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with Site Plan Review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors.

Applicant:	Chinese Consolidated Benevolent Association of Chicago
Address:	246-262 West 22nd Place, Chicago
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13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs, conserves energy and maximizes the preservation of natural resources. The project will include the provision of a 50% green roof (4,989 square feet) and will achieve Green Globes certification.
15. The Applicant acknowledges and agrees that the rezoning of the Property from an RT4 Residential Two-Flat, Townhouse and Multi-Unit Zoning District to a B3-5 Community Shopping Zoning District, and then to this Planned Development, triggers the requirements of Section 2-45-115 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the ARO must: (i) set aside 10% of the housing units in the residential housing project (the "Required Units") as affordable units; (ii) pay a fee in lieu of the development of the Required Units; or (iii) any combination of (i) and (ii); provided, however, that residential housing projects with 20 or more units must provide at least 25% of the Required Units on-site. The Property is located in a "low-moderate income area" within the meaning of the ARO, and the project has a total of 92 elderly housing units. As a result, the Applicant's affordable housing obligation is 9 affordable units (10% of 92 rounded down), 2 of which are Required Units (25% of 92, rounded down). Applicant has agreed to satisfy its affordable housing obligation by providing 2 affordable units in the rental building to be constructed in the planned development and making a cash payment to the Affordable Housing Opportunity Fund in the amount of \$50,000 per unit ("Cash Payment") for the remaining 7 units or providing 7 affordable units in the rental building to be constructed in the Planned Development, as set forth in the Affordable Housing Profile Form attached hereto as Exhibit [A]. The Applicant agrees that the affordable rental units must be affordable to households earning no more than 60% of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of housing units in the Planned Development, the Applicant shall update and resubmit the Affordable Housing Profile Form to the Department of Planning and Development ("DPD") for review and approval, and DPD may adjust the number of required Affordable Units without amending the Planned Development. Prior to the issuance of any building permits for any residential building in the Planned Development, including, without limitation, excavation or foundation permits, the Applicant must make the required Cash Payment and/or execute and record an affordable housing agreement in accordance with Section 2-45-115(L). The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the Planned Development, or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DPD may enforce remedies for any breach of this Statement 15, including

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any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a Zoning Map Amendment to rezone the property to RT4, Residential Two-Flat, Townhouse and Multi-Unit District.

Applicant: Chinese Consolidated Benevolent Association of Chicago
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Business Planned Development No. _____

BULK REGULATIONS AND DATA TABLE

Total:

Gross Site Area:	23,262 square feet (0.534 acres)
Area in Public Right-of-Way:	5,706 square feet (0.130 acres)
Net Site Area:	17,556 square feet (0.403 acres)

Maximum Floor Area Ratio: 5.0

Maximum Permitted Number of Residential Units: 92

Minimum Number of Off-Street Parking Spaces: 23

Maximum Number of Non-Accessory Parking Spaces: 4

Minimum Number of Loading Spaces: 1

Minimum Number of Bicycle Storage Spaces: 13

Maximum Building Height: 99' 6"

Minimum Setbacks: In substantial conformance with the Site Plan

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2015 Affordable Housing Profile Form (AHP)

Submit this form for projects that are subject to the 2015 ARO (all projects submitted to City Council after October 13, 2015). More information is online at www.cityofchicago.org/ARO

This completed form should be returned to: Kara Breems, Department of Planning & Development (DPD), 121 N. LaSalle Street, Chicago, IL 60602. E-mail: kara.breems@cityofchicago.org

Date: 12/08/16

DEVELOPMENT INFORMATION

Development Name: Elderly Housing - CCBA
 Development Address: 246-262 West 22nd Place, Chicago IL 60616
 Zoning Application Number, if applicable: 18783 Ward: 25th
 If you are working with a Planner at the City, what is his/her name? Daniel Klaiber

Type of City Involvement
check all that apply

<input type="checkbox"/> City Land	<input checked="" type="checkbox"/> Planned Development (PD)
<input type="checkbox"/> Financial Assistance	<input type="checkbox"/> Transit Served Location (TSL) project
<input checked="" type="checkbox"/> Zoning increase	

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received

- ARO Web Form completed and attached - or submitted online on
- ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (Excel)
- If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (pdf)
- If ARO units proposed are off-site, required attachments are included (see next page)
- If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (pdf)

DEVELOPER INFORMATION

Developer Name Chinese Consolidated Benevolent Association
 Developer Contact Yman Huang Vien
 Developer Address 250 W. 22nd Pl., Chicago, IL 60616
 Email <ymanccba@yahoo.com> Developer Phone 312-203-9988
 Attorney Name Mark J. Kupiec & Assoc. Attorney Phone 312-541-1878

TIMING

Estimated date marketing will begin June 2017
 Estimated date of building permit* June 2017
 Estimated date ARO units will be complete December 2019

*note that the in-lieu fee and recorded covenant are required prior to the issuance of any building permits, including the foundation permit

PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer & ARO Project Manager)

Kara Breems, DPD

Date

12-9-16

12/08/16

Developer/Project Manager

Date

Project Name: **Elderly Housing - CCBA**
 Zoning Application number, if applicable: **18783**
 Address: **246-262 West 22nd Place Chicago**
 Is this a For Sale or Rental Project? **Rental**
 Anticipated average psf rent/price? **\$2 per SF**

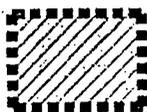
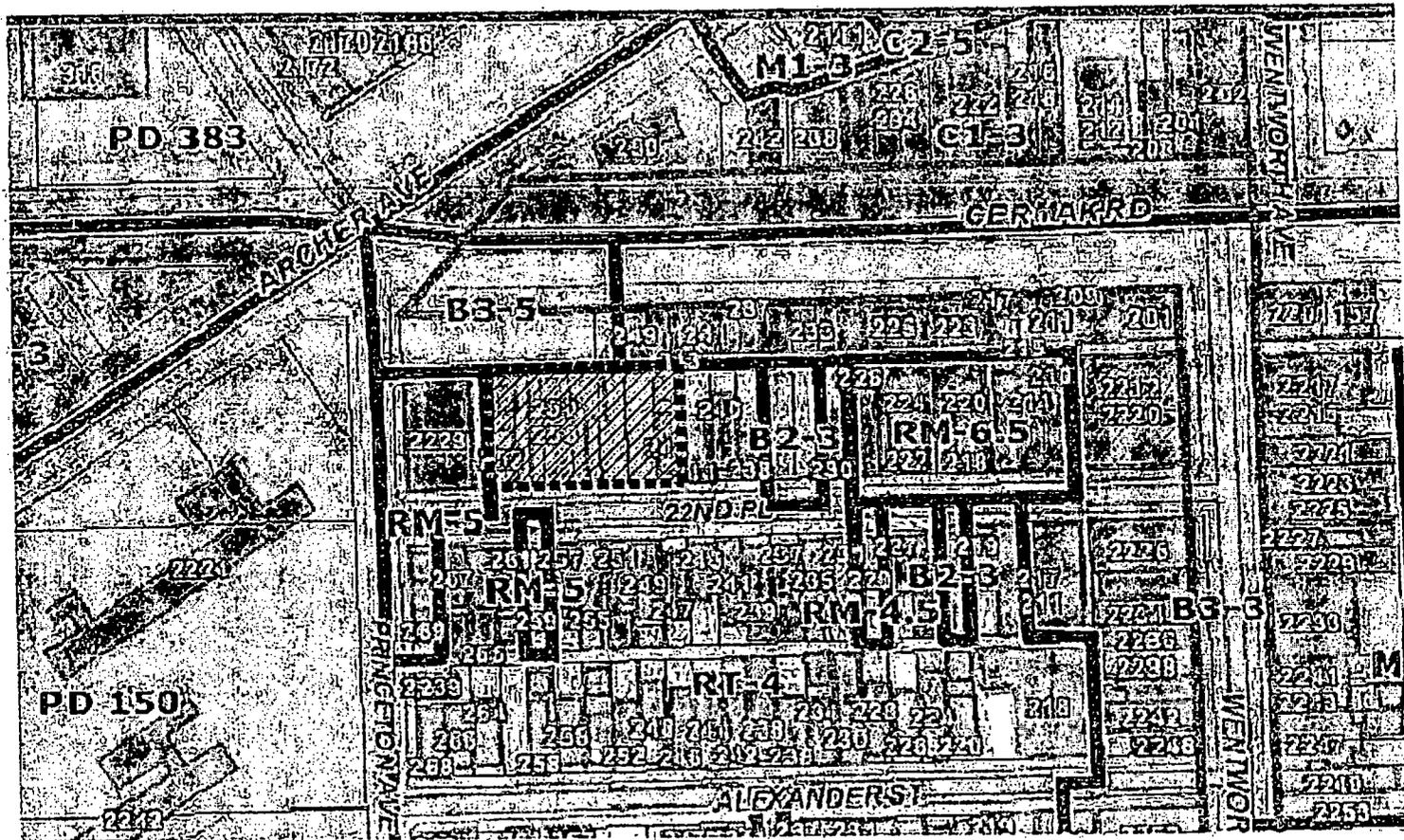
Total Units in Project: **92**
 Total Affordable units: **2**

Summary

	market rate			affordable		
	how many?	% of total	avg. square footage	how many?	% of total	avg. square footage
studio	14	16%	412	1	50%	418
one-bed	76	84%	525	1	50%	525

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Planned Development No. Existing Zoning Map



SUBJECT
PROPERTY

N.T.S.

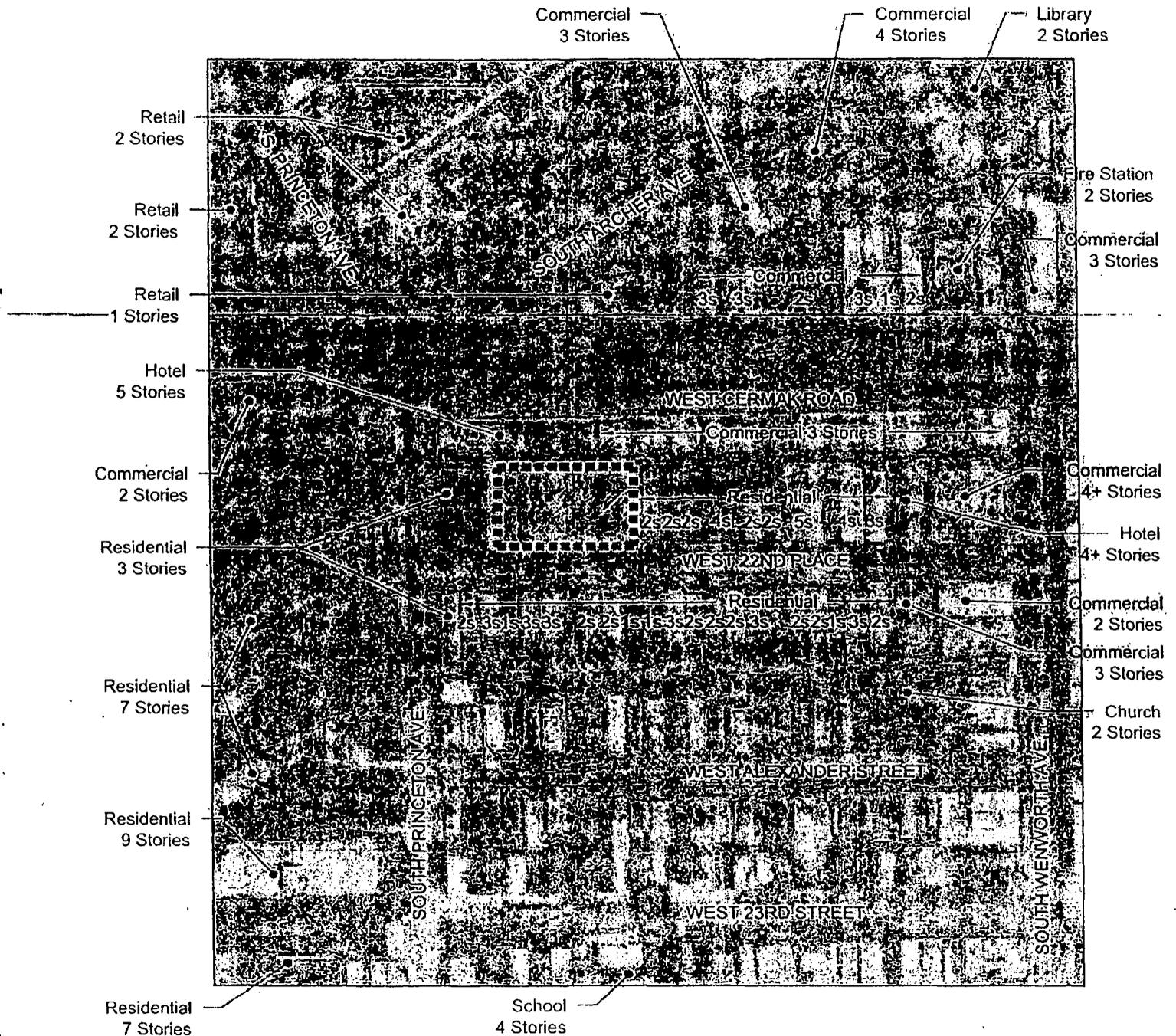


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 Address: 246-262 West 22nd Place, Chicago, Illinois, 60616
 Introduced: May 18, 2016
 Plan Commission: December 15, 2016

PD-01

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Planned Development No. Existing Land Use Area Map



SUBJECT
PROPERTY

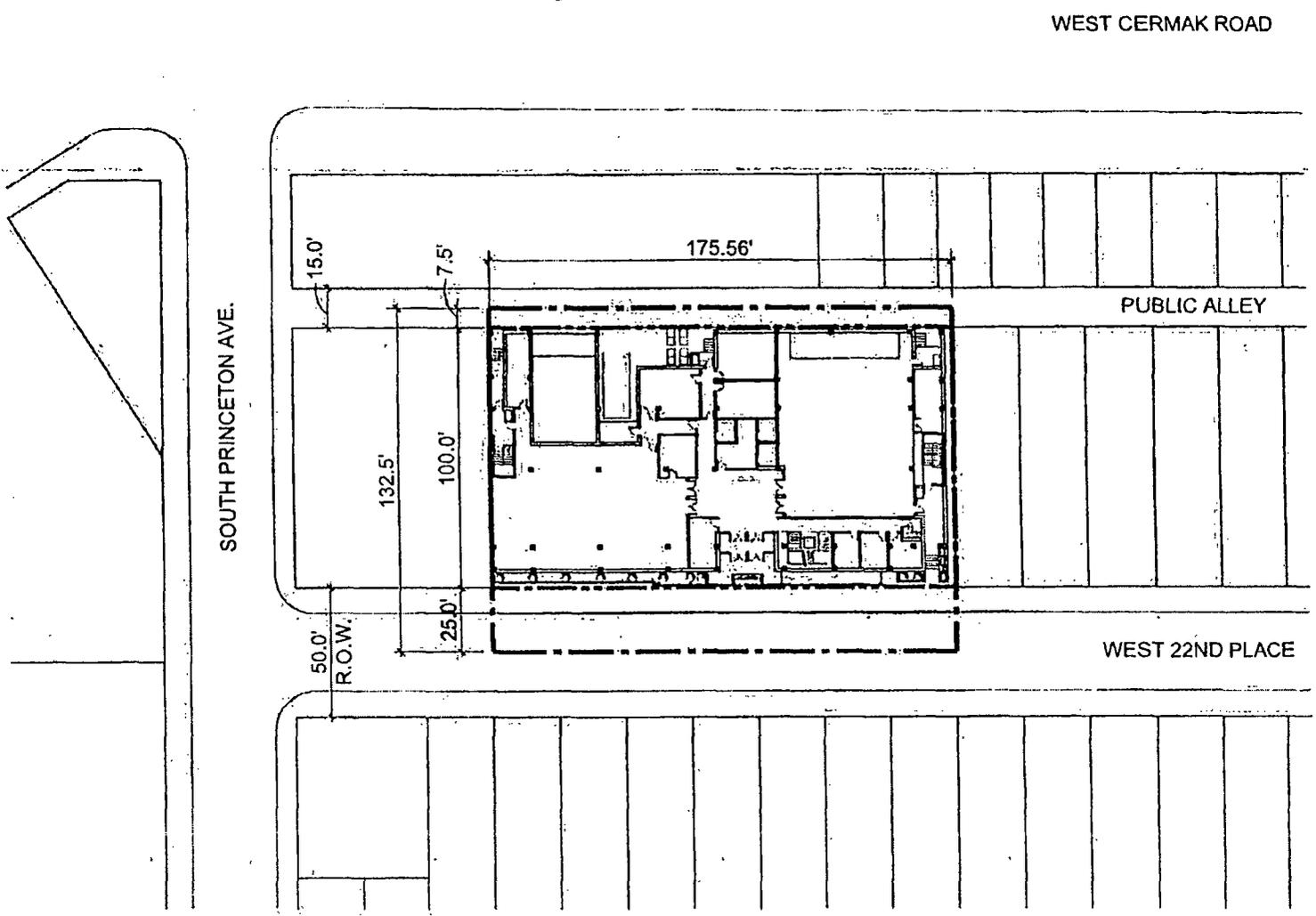
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 Address: 246-262 West 22nd Place, Chicago, Illinois, 60616
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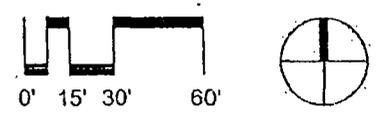
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Planned Development No. Property Line / PD Boundary Map



----- PROPERTY LINE
----- PD BOUNDARY LINE

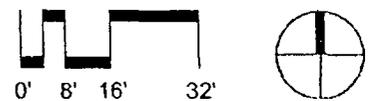
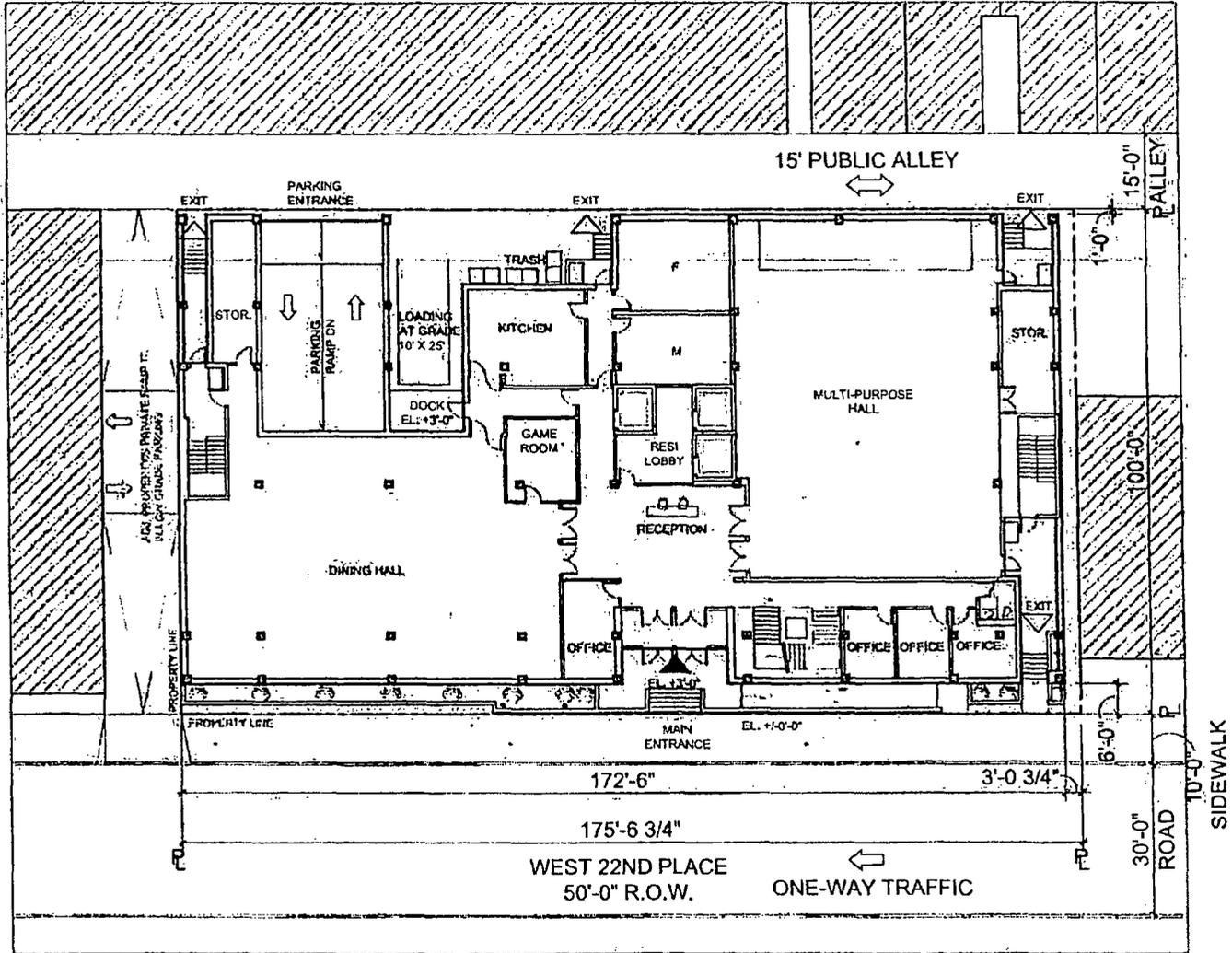
GROSS SITE AREA:	23,262 SQUARE FEET
NET SITE AREA:	17,556 SQUARE FEET



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Planned Development No. Site Plan

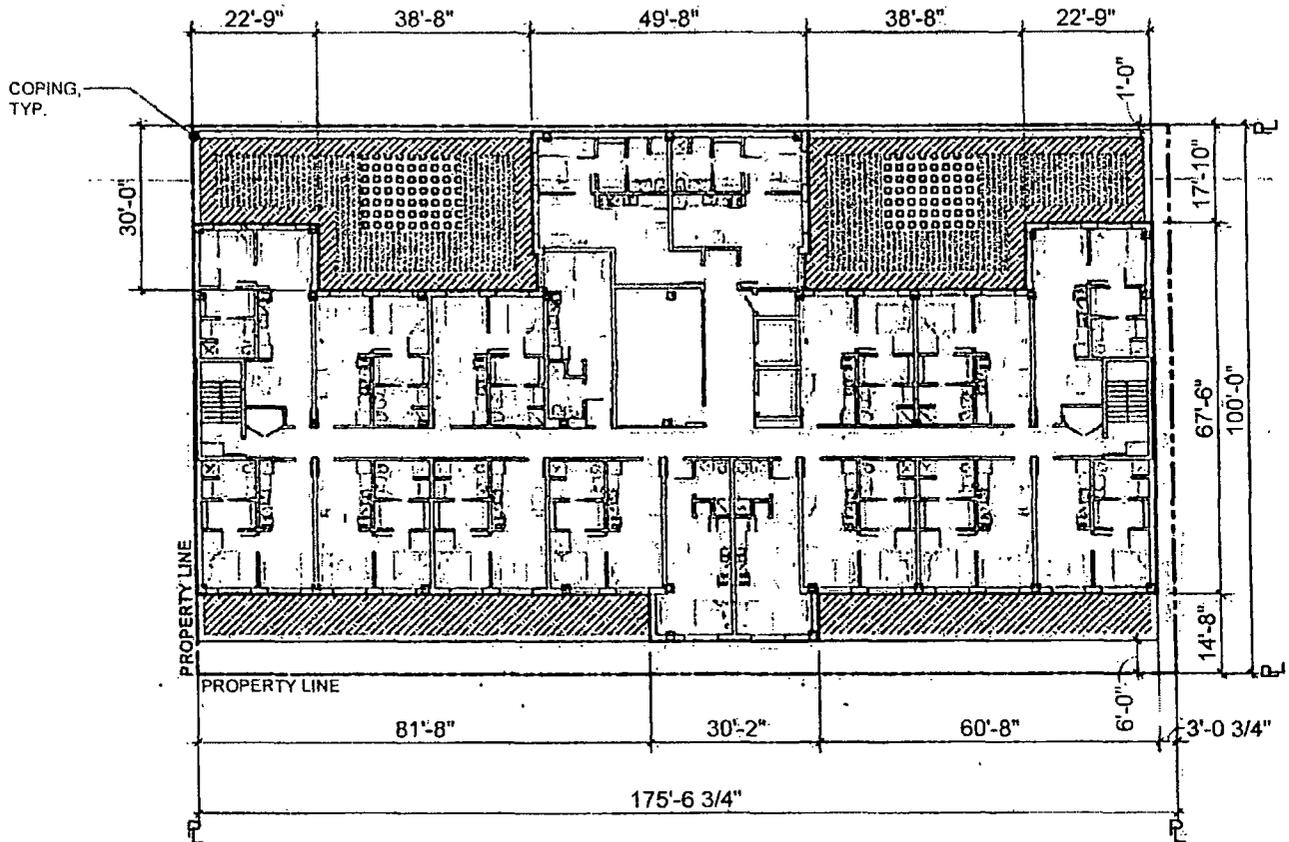


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Address: 246-262 West 22nd Place, Chicago, Illinois, 60616
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PD-04

Planned Development No. Green Roof Plan - Level 3 Roof

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LEGEND

L3 ROOF AREA SUMMARY

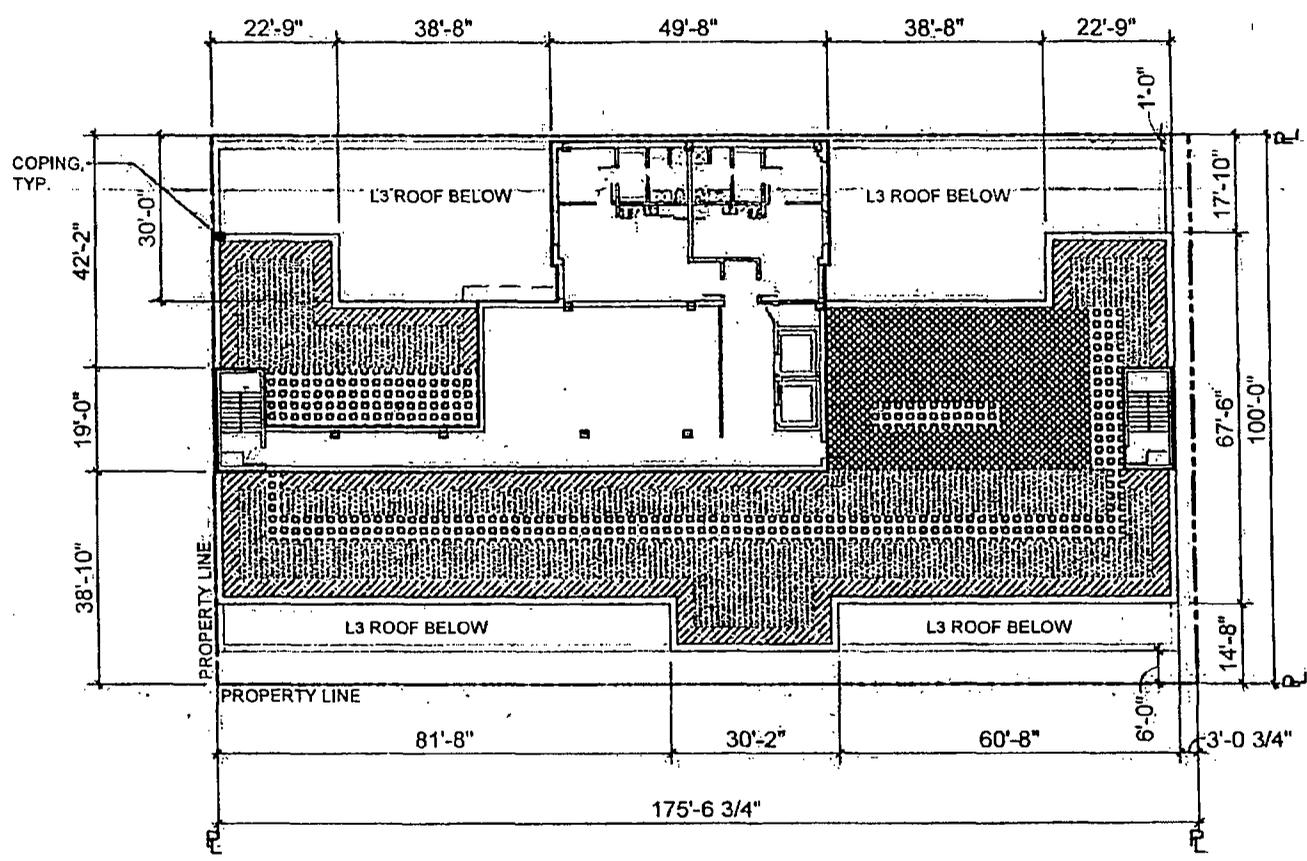
	GREEN ROOF TRAYS	= 1,340 SF
	ROOF MECHANICAL AREA	= 483 SF
	ROOF OUTDOOR DECK	= 0 SF
	REMAINING ROOF AREA	= 2,016 SF
ROOF AREA		= 3,839 SF
NET ROOF AREA		= (3,839 - 483) SF
		= 3,356 SF



Applicant: Chinese Consolidated Benevolent Association (CCBA) of Chicago
 Address: 246-262 West 22nd Place, Chicago, Illinois, 60616
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Planned Development No. Green Roof Plan - Level 8 Roof



LEGEND

L8 ROOF AREA SUMMARY

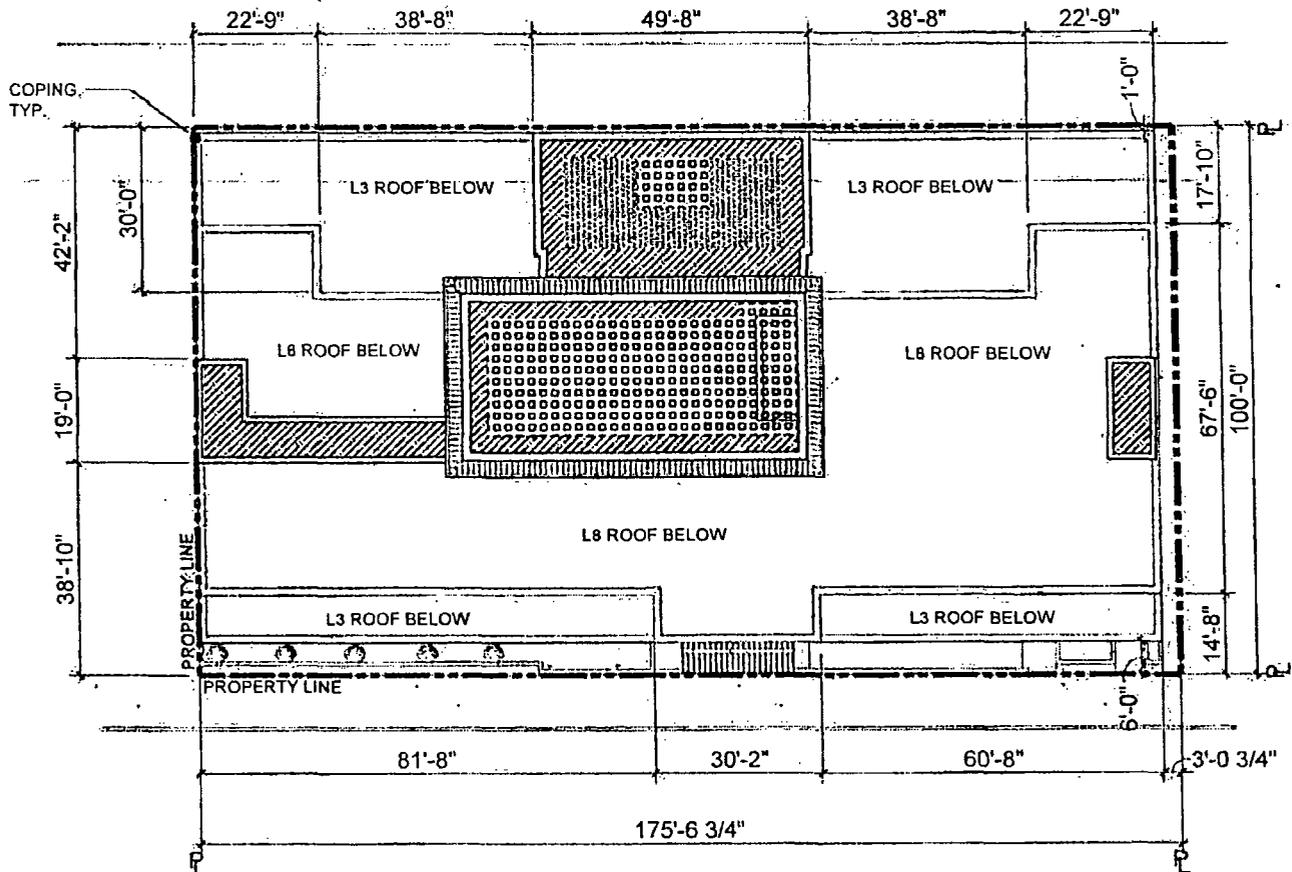
	GREEN ROOF TRAYS	= 2,987 SF
	ROOF MECHANICAL AREA	= 1,517 SF
	ROOF OUTDOOR DECK	= 1,274 SF (10% TOWARDS GREEN ROOF = 127 SF)
	REMAINING ROOF AREA	= 1,414 SF
ROOF AREA		= 7,192 SF
NET ROOF AREA		= (7,192 - 1,517) SF = 5,675 SF



Applicant: Chinese Consolidated Benevolent Association (CCBA) of Chicago
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Planned Development No. Green Roof Plan - Penthouse Roof Level



LEGEND

PENTHOUSE ROOF AREA SUMMARY	
	GREEN ROOF TRAYS = 535 SF
	ROOF MECHANICAL AREA = 1,359 SF
	ROOF OUTDOOR DECK = 0 SF
	REMAINING ROOF AREA = 1,339 SF
<hr/>	
	ROOF AREA = 3,233 SF
	NET ROOF AREA = (3,233 - 1,874) SF = 1,874 SF

TOTAL ROOF AREA SUMMARY

TOTAL ROOF AREA	= 14,264 SF
TOTAL MECHANICAL ROOF AREA (DEDUCTION)	= 3,359 SF
TOTAL NET ROOF AREA	= 10,905 SF
GREEN ROOF AREA REQUIREMENT (50%)	= 5,453 SF
HARDSCAPE DEDUCTION (10%)	= 545 SF
TOTAL GREEN ROOF REQUIREMENT	= 4,908 SF

TOTAL GREEN ROOF PROVIDED

= 4,989 SF

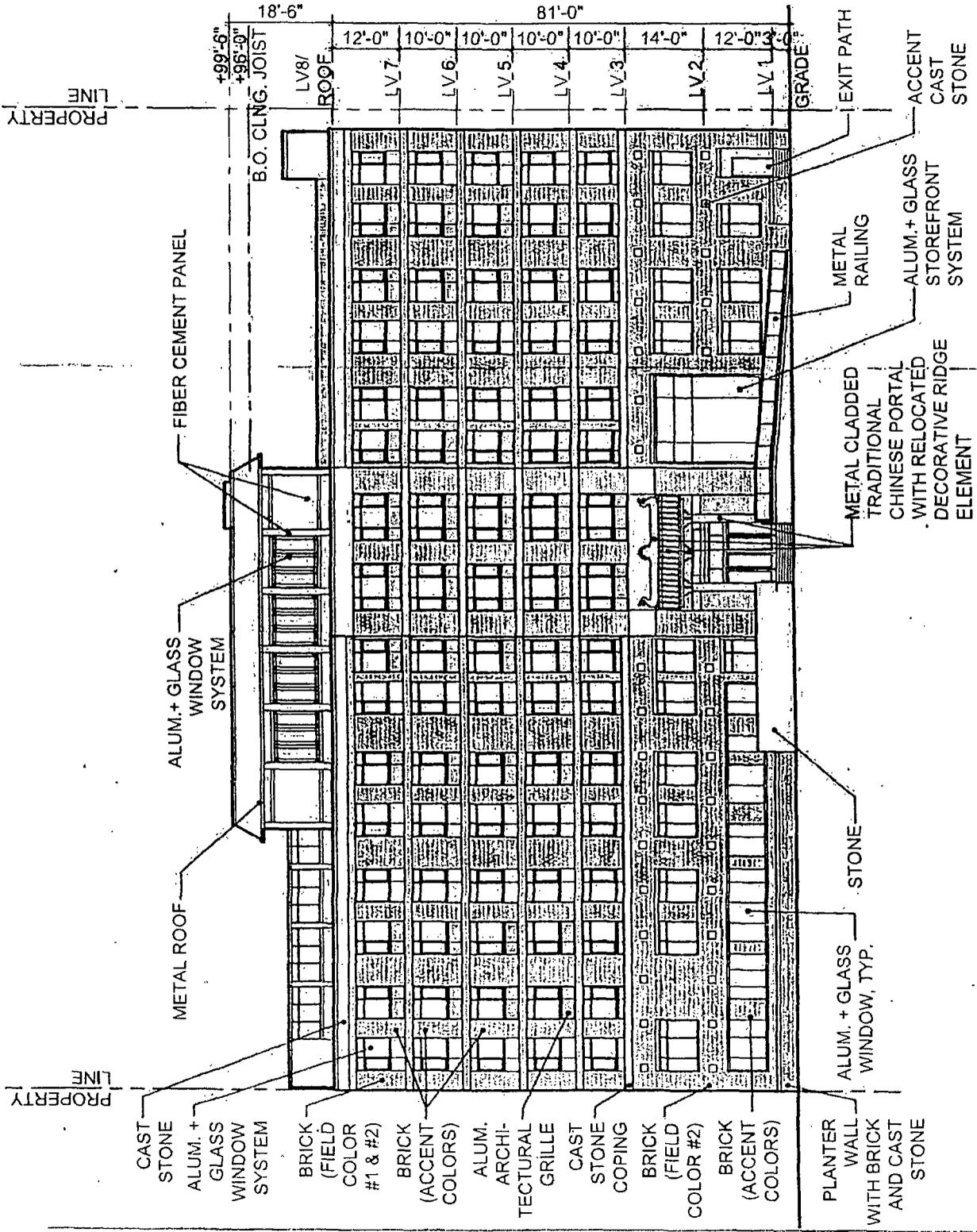


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PD-05C

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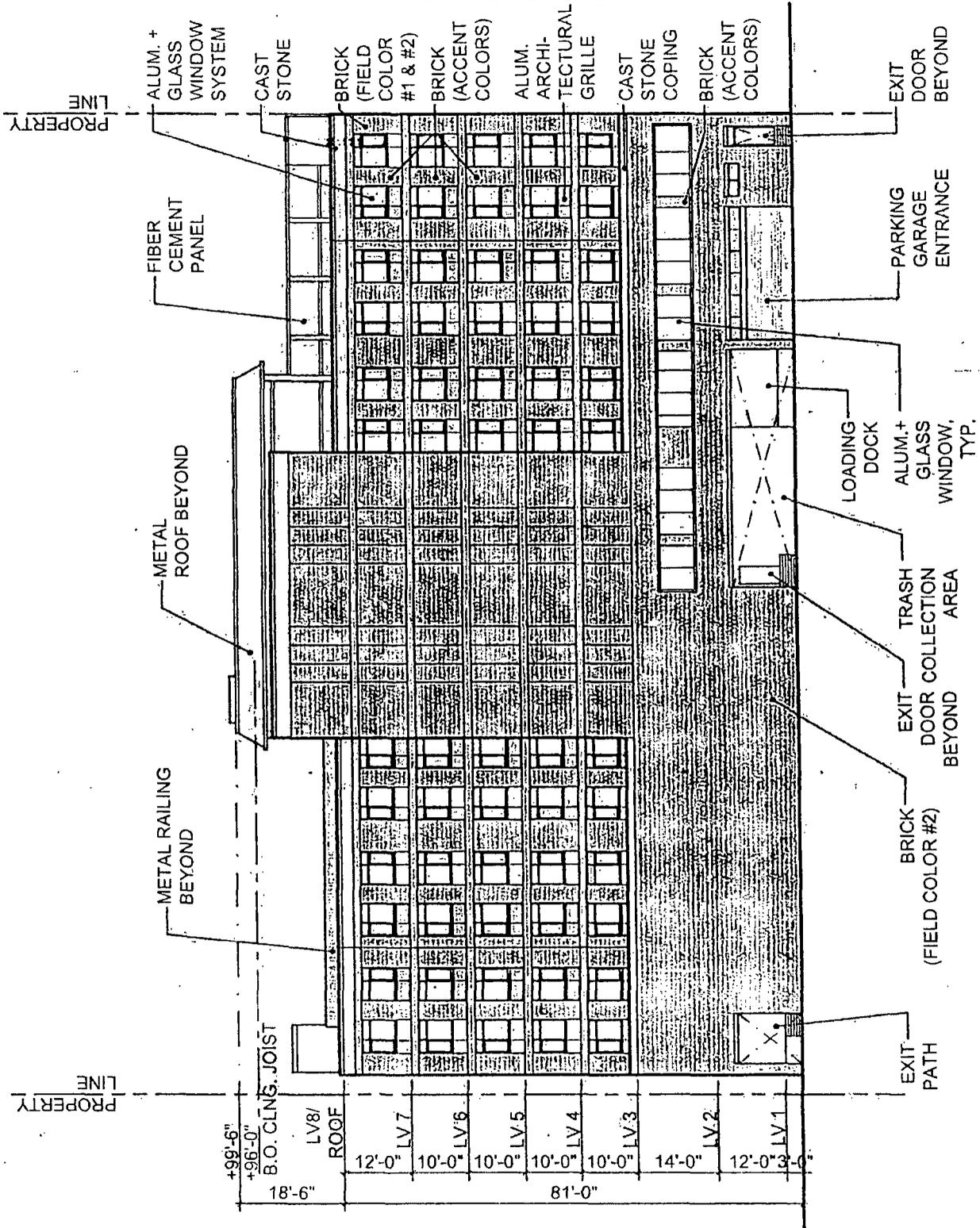
Planned Development No. South Elevation



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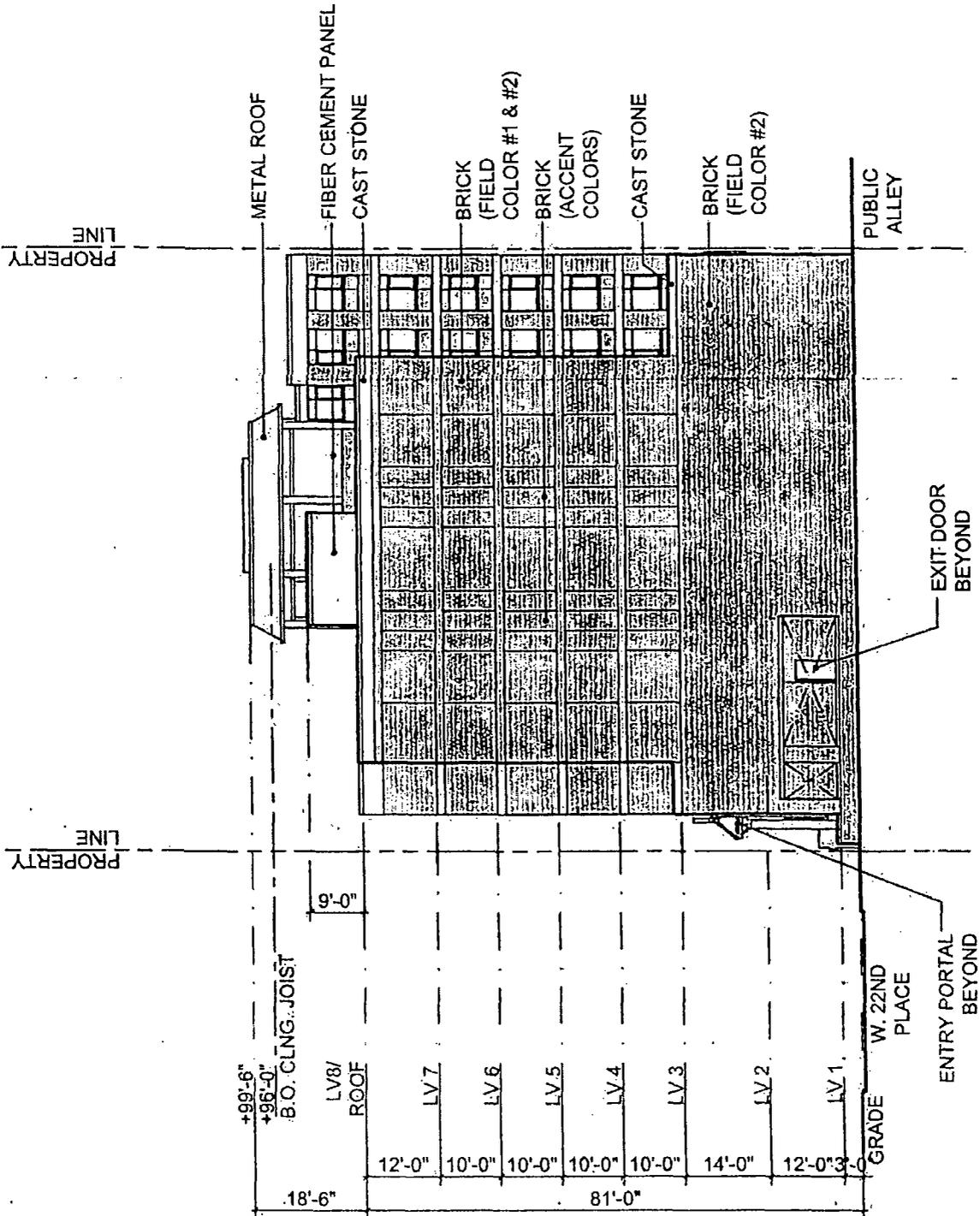
Planned Development No. North Elevation



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Planned Development No. East Elevation

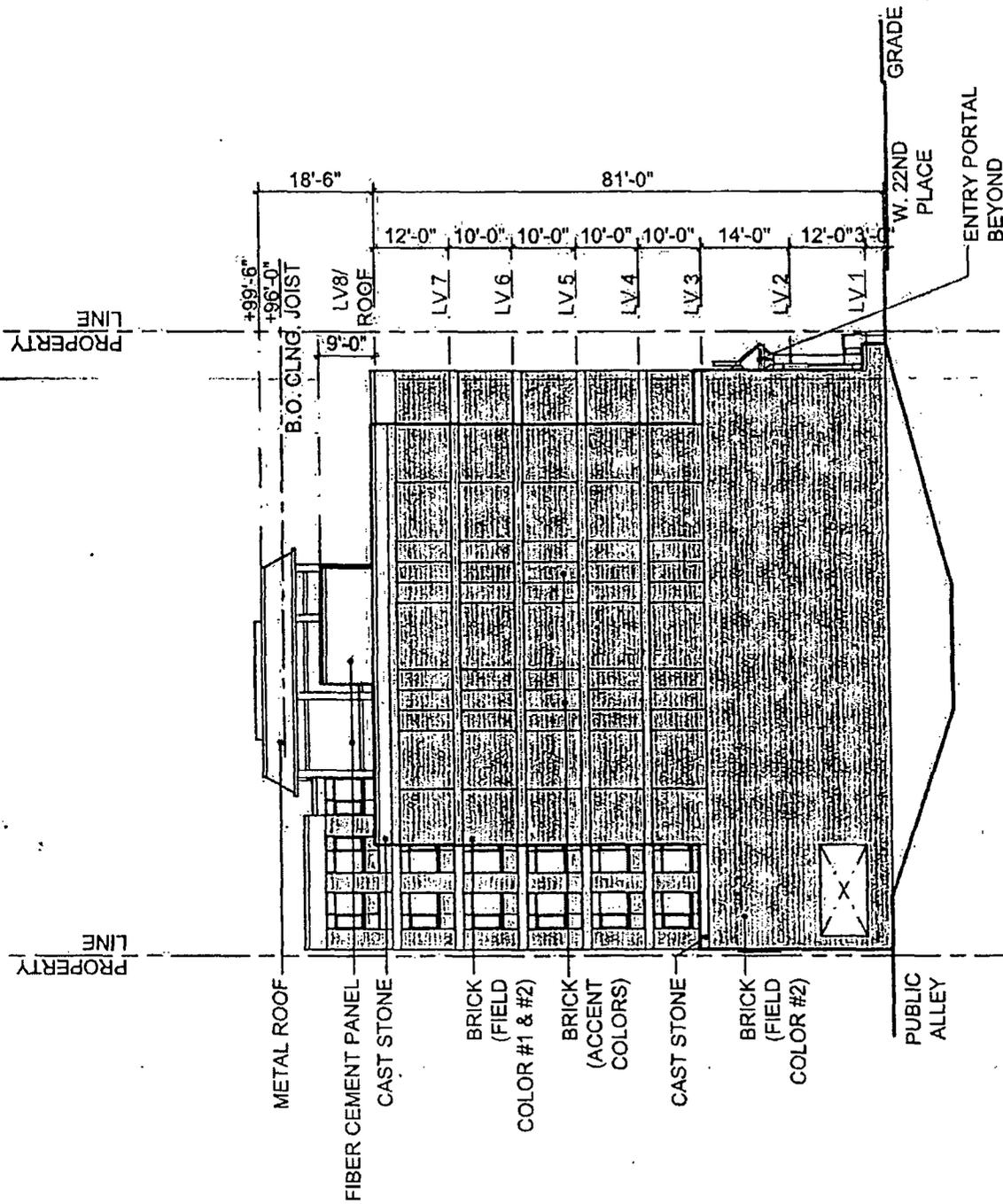
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Planned Development No. West Elevation

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