



City of Chicago



O2021-629

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 2/24/2021

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 7-K at 4173-4179 W
Belmont Ave - App No. 20625T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

Final for Publication

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map No. 7-K in the area bounded by

West Belmont Avenue; a line 108 feet east of and parallel to North Tripp Avenue; the alley next south of and parallel to West Belmont Avenue; and North Tripp Avenue,

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding uses district.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 4173-79 West Belmont Avenue

Final Publication

17-13-0303-C (1) Narrative Zoning Analysis

4173-79 West Belmont Avenue, Chicago, IL

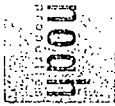
Proposed Zoning: B2-3 Neighborhood Mixed-Use District

Lot Area: 13,513.63 square feet

Proposed Land Use: The Applicant is seeking a zoning change to permit a new three-story, seventeen (17) dwelling unit residential building. The proposed building will be masonry in construction and will measure 38 feet-8 inches in height. Onsite surface and garage parking for seventeen (17) cars will be provided at the rear of the subject property.

- (A) The Project's Floor Area Ratio: 22,301 square feet (1.65 FAR)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 794.92 sq. ft. / D.U.
(17 total units proposed)
- (C) The amount of off-street parking: 17 vehicular parking spaces
- (D) Setbacks:
 - a. Front Setback: 1 foot-0 inches
 - b. Rear Setback: 30 feet-0 inches
 - c. Side Setbacks:
 - West: 0 feet-0 inches
 - East: 0 feet-0 inches
- (E) Building Height: 38 feet-7.875 inches

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158
 CONSULTING ENGINEERS LTD.
 1001 2010 WILSON AVENUE
 SUITE 201
 MISSISSAUGA, ONTARIO L4X 1L3
 TEL: 905.874.7733 FAX: 905.874.7734

4179 W BELMONT

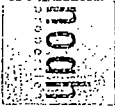
ZONING DATA

ADDRESS:	4175-79 WEST BELMONT AVENUE		
LOT SIZE:	126 00' x 125.37'		
LOT AREA:	15,814 SQ. FT.		
ZONING DISTRICT:	ML-1	PROPOSED ZONING	E2-3
F.A.S.:	1/2	3.0	1.65
MINIMUM LOT AREA:	N/A	400 S.F. / UNIT	744 S.F. / UNIT
MAXIMUM BUILDABLE AREA:	4,977 SQ. FT.	40,542 SQ. FT.	22,301 SQ. FT.
MAXIMUM NUMBER OF UNITS:	4 (4.5) UNITS	33 UNITS	17 UNITS
MAXIMUM BUILDING HEIGHT:	N/A	60'-0"	38'-7 7/8'
SETBACKS:	N/A	N/A	1'-0" MIN.
FRONT YARD:	30'-0"	30'-0" @ RESIDENTIAL FLOORS	30'-0" MIN.
REAR YARD:	N/A	N/A	N/A
SIDE YARDS:	N/A	N/A	N/A
MINIMUM PARKING:	1 SPACE / UNIT	1 SPACE / UNIT	17 PARKING SPACES (1 SPACE / UNIT)
REAR YARD OPEN SPACE:	N/A	N/A	N/A
LOADING BERTH:	1 @ 25,000 SQ. FT.	1 @ 25,000 SQ. FT.	0 SQ. FT. (NOT REQUIRED)
COMMERCIAL SPACE:	N/A	NOT REQUIRED	0 SQ. FT. (NOT REQUIRED)

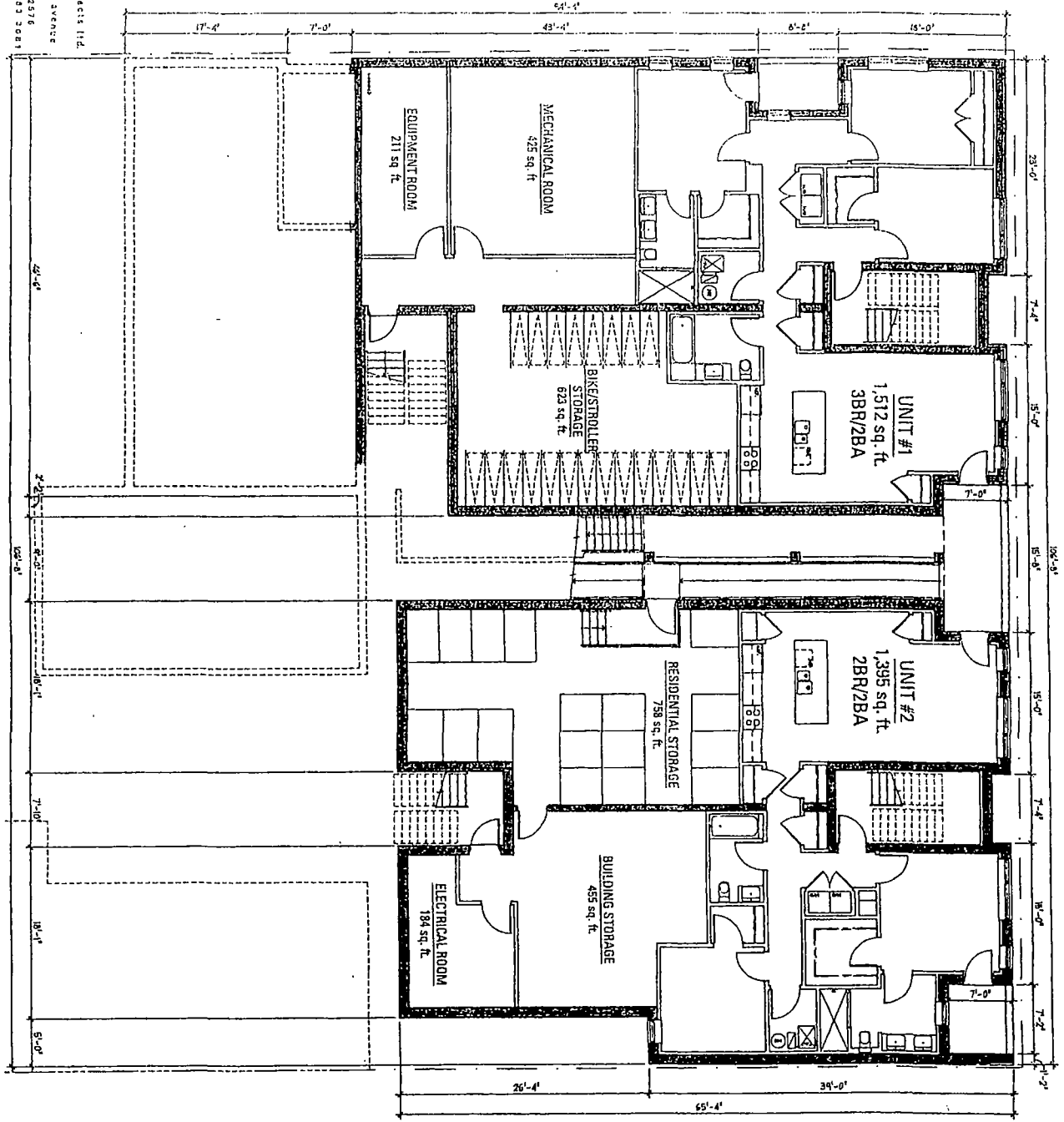
proj. # 2011
 proj. NAME PROPERTIES
 17 UNIT RESIDENTIAL DEVELOPMENT
 4179 W BELMONT AVE
 MISSISSAUGA, ONT.
 01052021: ISSUED FOR ZONING CHANGE



Final for Publication



S.S.
 ORTHOGON SPILLIT architects llc
 4021 NORTH FRENCHWOOD AVENUE
 SUITE 200 HUNTSVILLE, AL 35894
 772 583 1311 FAX 772 583 2081

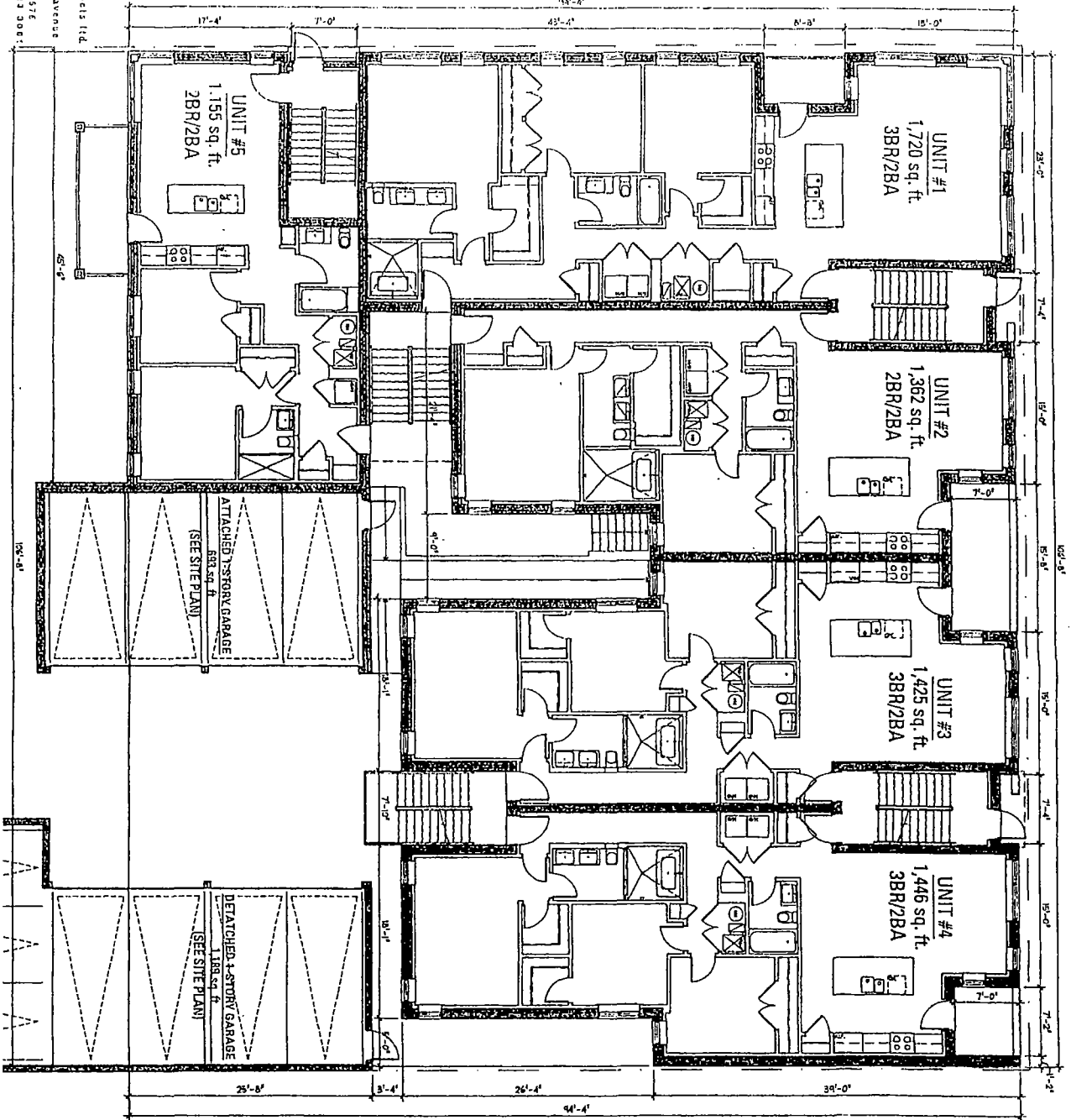


BASEMENT PLAN
 3/27' = 1'-0"
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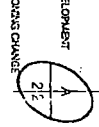


S.B.
 17-11th Street Split LLC
 4717 North Lawrence Avenue
 Suite 501
 Chicago, IL 60641
 Tel: 773.661.3257
 Fax: 773.661.3001



FIRST FLOOR PLAN
 3/8" = 1'-0"

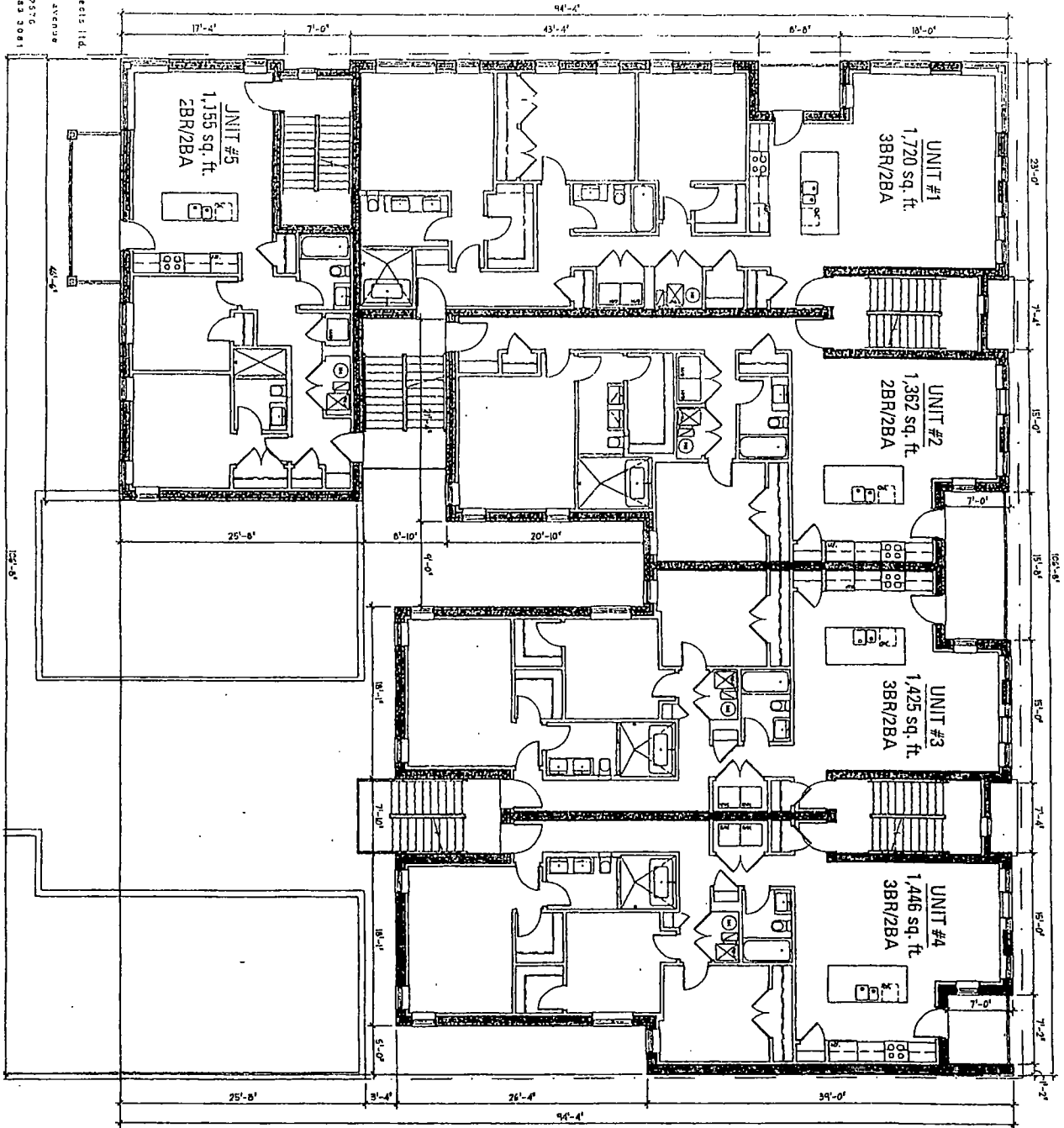
proj.# 2011
 17 UNIT RESIDENTIAL DEVELOPMENT
 4178 W BELMONT AVE
 CHICAGO, IL
 description: DISCRETIONARY ISSUED FOR ZONING CHANGE



Final for Publication



ISA
 International Split-Architects LLC
 4211 Cain Streetwood Avenue
 Suite 601
 Chicago, IL 60631
 773.833.1011 fax 773.833.3081



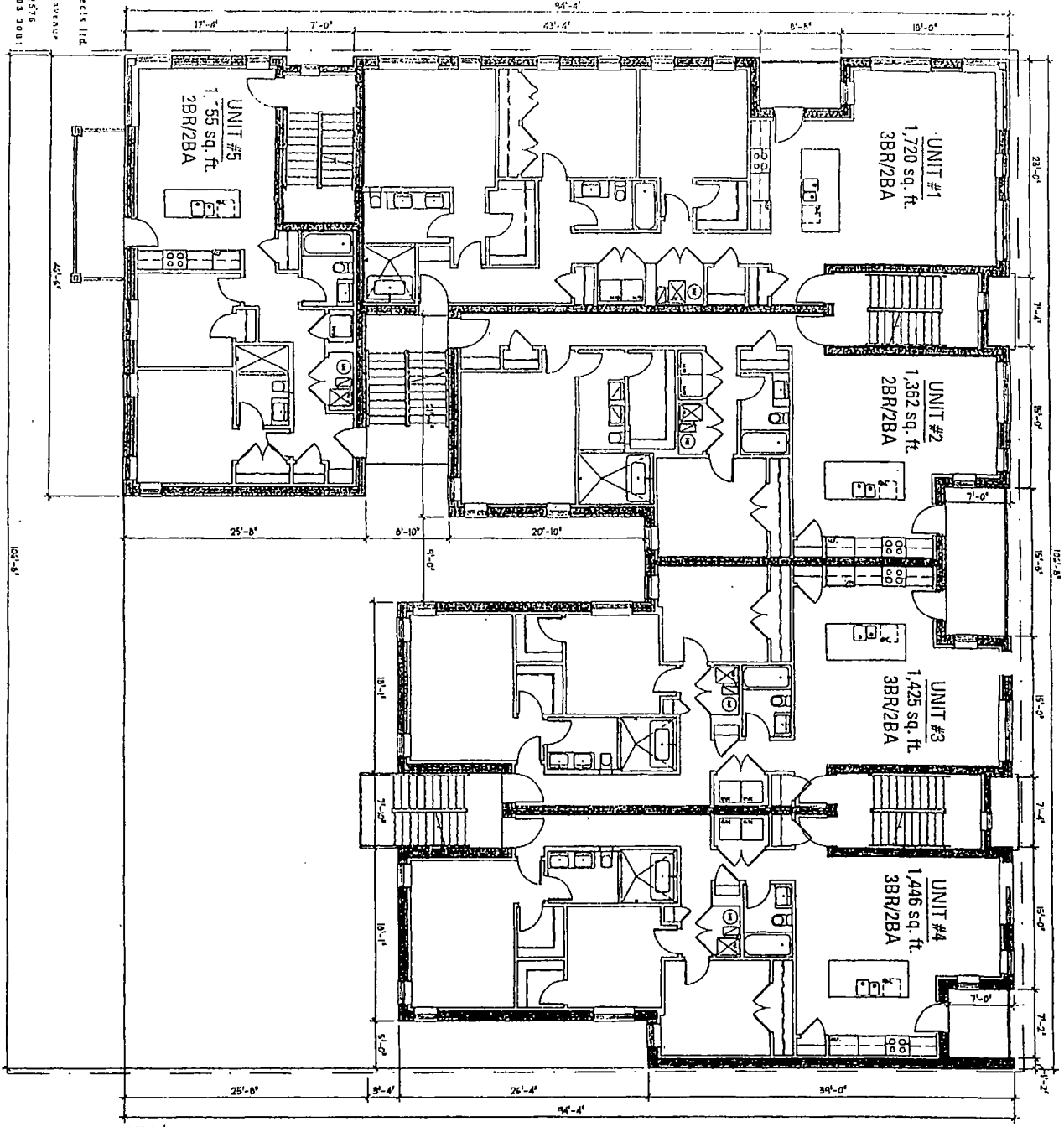
SECOND FLOOR PLAN
 3/22' = 1'-0"
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Proj. # 2011
 PROJ. NOUN PROPERTIES
 17 UNIT RESIDENTIAL DEVELOPMENT
 4179 W. BEAUCHAMP AVE
 CHICAGO, IL
 Description 01/28/2011 ISSUED FOR ZONING CHANGE

Drawn for Publication

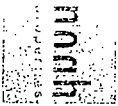
NOAH
RESIDENTIAL

152
LEFRANCOIS SPLITFLOOR ARCHITECTS LLC
4001 SOUTH JEWELWOOD AVENUE
SUITE 501
CHICAGO, ILLINOIS 60619-3576
773.883.6817 FAX 773.883.3001

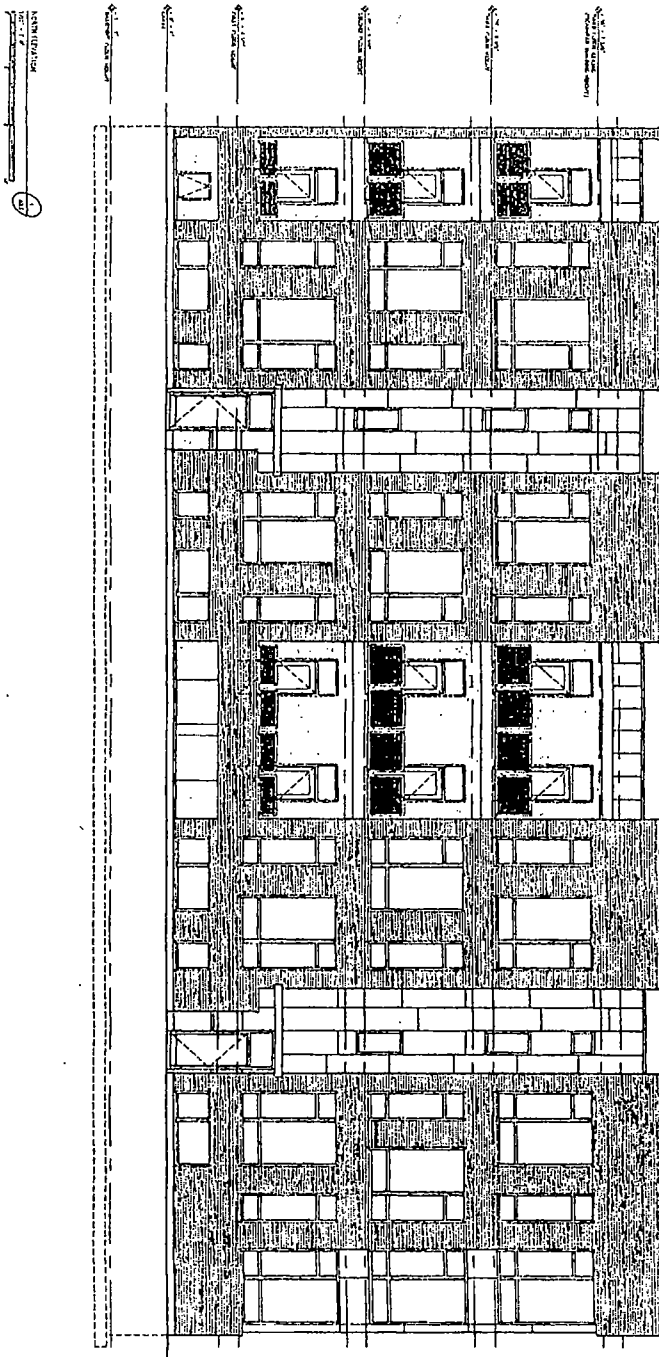


THIRD FLOOR PLAN
SCALE = 1/8" = 1'-0"
PROJ. # 2011
NOAH PROPERTIES
17 UNIT RESIDENTIAL DEVELOPMENT
4729 W. BROADWAY
CHICAGO, IL
DESCRIPTION: ISSUED FOR ZONING CHANGE
A
2/4

Final for Publication



J.S. Seaton
 J.S. Seaton Spillitt Architects Inc.
 421 North LaSalle Street
 Suite 601
 Chicago, Illinois 60610-3976
 Tel: 312.779.7733 Fax: 312.779.8001

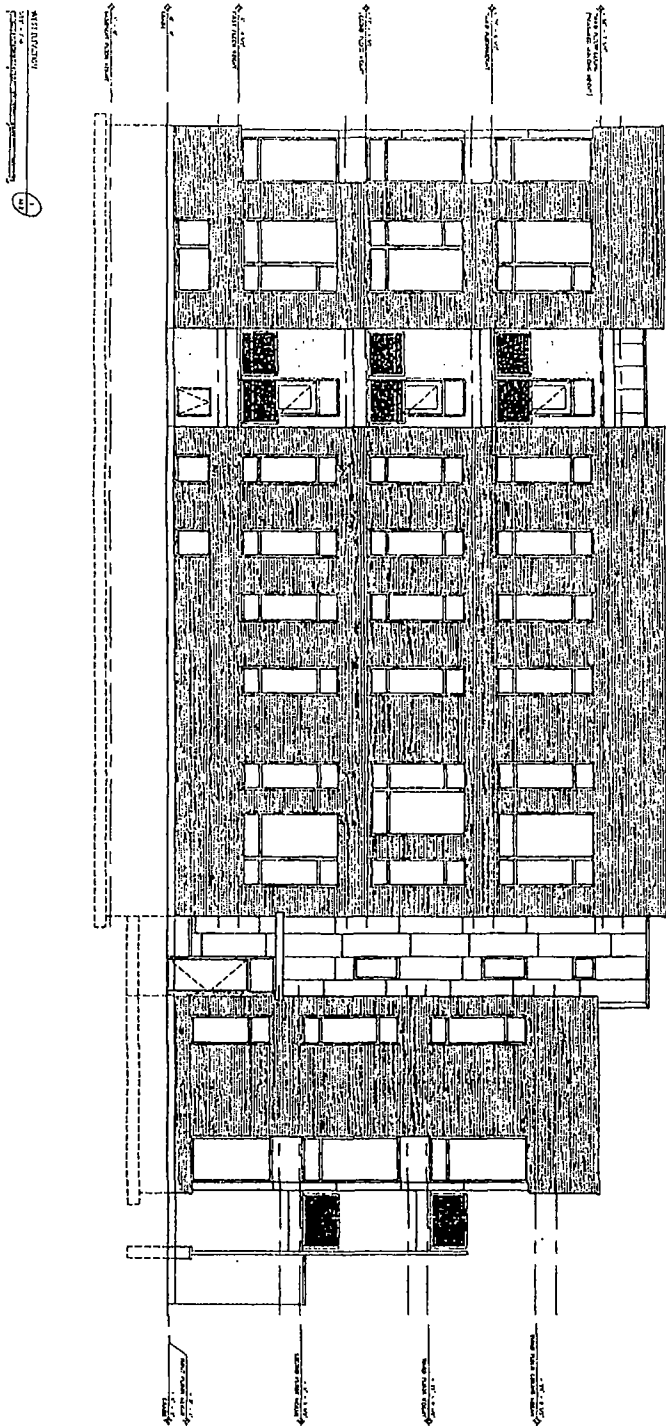


Proj. 211
 NON-RESIDENTIAL DEVELOPMENT
 4175 W. DELAWARE AVE
 CHICAGO, IL
 DESCRIPTION: ISSUED FOR ZONING CHANGE

Final for Publication

Modern
PROJECT

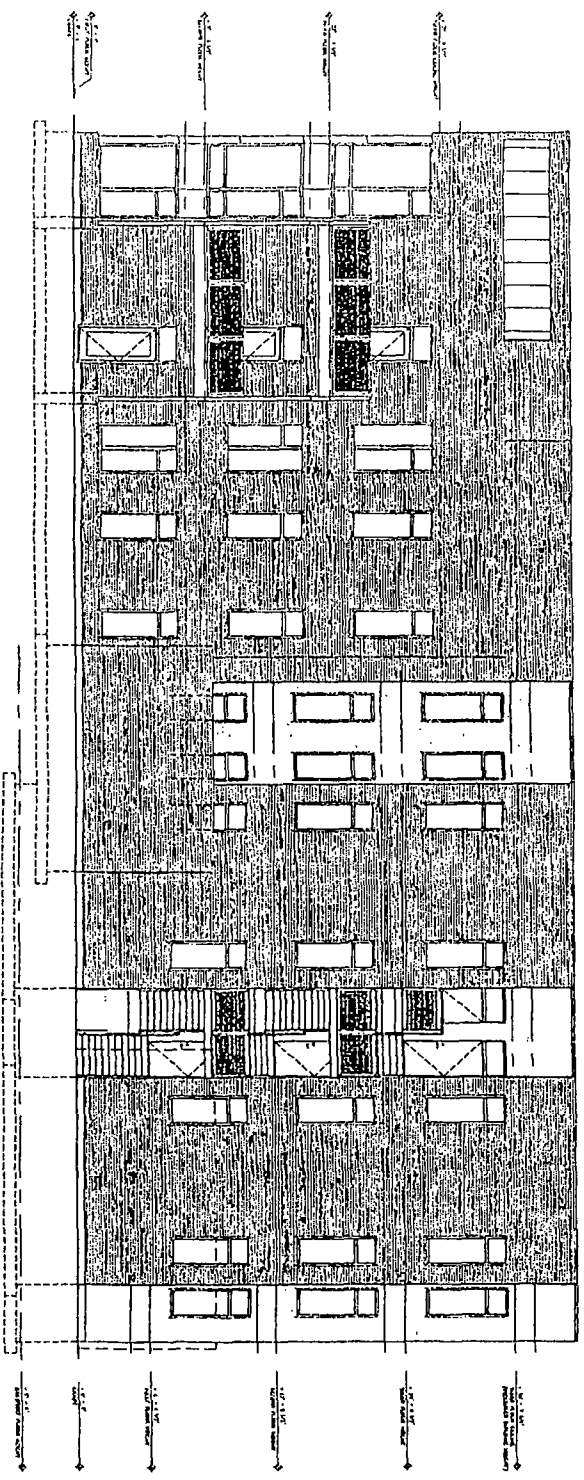
J.Sa
Jonathan Spurr Architects Ltd
4021 CASTLE AVENUE
CHICAGO, IL 60614
773 863 1017 FAX 773 863 3081



Proj. # 2011
Proj. MODERN APARTMENTS
17 UNIT RESIDENTIAL DEVELOPMENT
4179 W BELMONT AVE
CHICAGO, IL
Description ISSUED FOR ZONING CHANGE

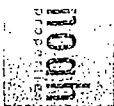
1100011
 Project

ISA
 Iwanston SPLIT architects LLC
 401 22nd Street
 Suite 201
 Chicago, Illinois 60619-5576
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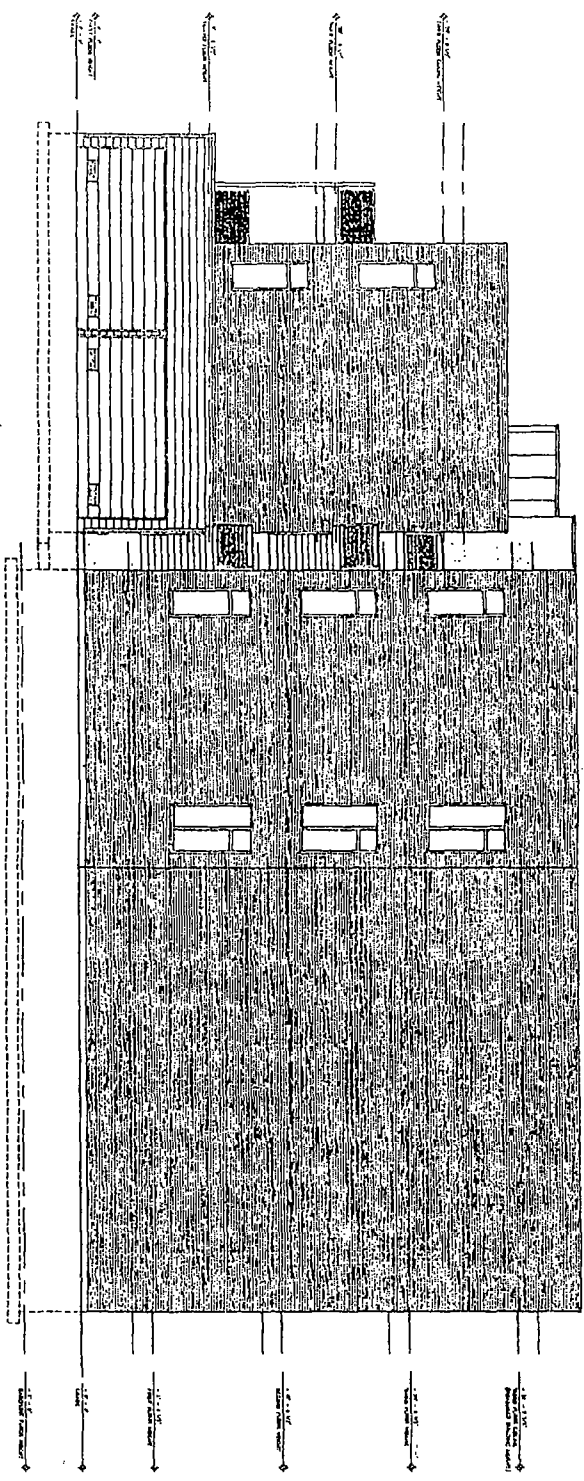


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 17 UNIT RESIDENTIAL DEVELOPMENT
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