



City of Chicago



SO2023-1183

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	3/15/2023
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 1-F at 314-332 N Clark St, 315-333 N LaSalle St and 101-131 W Carrol Ave - App No. 22102
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

FINAL FOR PUBLICATION

22102
INTRO DATE
MARCH 15, 2012

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1: Title 17 of the Municipal Code of Chicago, Chicago Zoning Ordinance, is amended by changing all the Waterway Business Planned Development 1342 symbols and indications as shown on Map No. 1-F in the area bounded by:

A line from the west line of North Clark Street 275.28 feet north of and parallel to the north bank of the Chicago River; North Clark Street; the north bank of the Chicago River; North LaSalle Street, a line from the east line of North LaSalle Street 211.92 feet north of and parallel to the north bank of the Chicago River; a line 149.82 west of and parallel to North Clark Street; a line 231.80 feet north of and parallel to the north bank of the Chicago River, a line 93.82 west of and parallel to North Clark Street; a line 251.74 feet north of and parallel to the north bank of the Chicago River; and a line 80.20 feet west of and parallel to North Clark Street,

to those of a Waterway Residential Business Planned Development 1342, as amended, which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development attached herewith and made a part thereof and to no others.

SECTION 2: This ordinance shall take effect upon its passage and due publication.

Address: 314-332 N. Clark St., 315-333 N. LaSalle; 101-131 W. Carrol Ave.

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WATERWAY RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. 1342 PLAN OF DEVELOPMENT STATEMENTS

1. The area delineated herein as Waterway Residential Business Planned Development No. 1342 consists of approximately 69,840 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, 322 North Clark LLC.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control is defined in Section 17-80400 of the Zoning Ordinance.
4. All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. The submitted plans must be approved by the Department of Transportation. Applicant shall make the following improvements:

To facilitate consistent and desirable street grade development and promote vehicular and public access, the applicant shall design and construct a structure to deck over lower Carroll Avenue to provide one-way vehicular access entering on Clark Street, exiting onto LaSalle Street. The City shall take into consideration the proposed deck structure over lower Carroll Avenue when planning or designing proposed improvements to LaSalle and Clark Streets at their intersections with Carroll Avenue. The area of the upper level of

APPLICANT:	322 NORTH CLARK LLC
ADDRESS:	314-332 NORTH CLARK STREET, 315-333 NORTH LASALLE STREET, 101-131 WEST CARROLL AVENUE, CHICAGO, ILLINOIS
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the deck that is not occupied by the vehicular access but is within the Public Way, including that portion outside the PD boundary, shall be, subject to CDOT review and site plan approval, improved, landscaped and maintained as a public plaza by the applicant, open to public access 6 AM - 11 PM (standard Chicago Park District hours), subject to reasonable regulations agreed to by the Applicant, DPD, CDOT, and the local Alderman. The lower level shall be repaved by the applicant and will maintain unobstructed vehicular access and the applicant shall provide lighting,

ventilation and other public improvements as needed. Long-term maintenance agreements shall be executed, and applicable permits issued before Part II approval is granted and, a final certificate of occupancy will not be issued for the project until the deck system outside the PD is complete.

Prior to issuance of Certificate of Occupancy, the Applicant agrees to remove the existing traffic signal at 320 North Clark Street and to perform a traffic signal warrant study to determine whether a new mid-block pedestrian traffic signal should be provided on Clark adjacent to the project's proposed entrance driveway. If warranted, the Applicant agrees to fully fund, install, and activate the traffic signal prior to issuance of the Certificate of Occupancy. The Applicant also agrees to install countdown pedestrian signals at the intersection of Clark Street and Kinzie Street prior to the issuance of the Certificate of Occupancy.

5. This Plan of Development consists of these eighteen (18) Statements; a Bulk Regulations and Data Table; an Existing Land Use Map; Existing Zoning Map; Property Line and Planned Development Boundary Map, Site Plan, Green Roof Plan, Riveredge Plan, Riveredge Section, and Building Elevations prepared by HKS Architects dated, April 20, 2023. Full size copies of the Site Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development and the Zoning Ordinance, this Planned Development Ordinance shall control.

6. The following uses shall be allowed within the area herein delineated as Waterway Residential Business Planned Development: Dwelling units located above the ground floor; Cultural Exhibits; Day Care; Lodge or Private Club; Artist Work or Sales Space; Building Maintenance Services; Business Equipment Sales and Service; Business Support Services; Communication

APPLICANT:
ADDRESS:

INTRODUCED:
PLAN COMMISSION
69584551.1

322 NORTH CLARK LLC
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101-131 WEST CARROLL AVENUE, CHICAGO, ILLINOIS
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Service Establishments; Eating , and Drinking Establishments (all); Entertainment and Spectator Sports, Small and Medium venue; Financial Services; Food and Beverage Retail Sales; Hotel; Medical Service; Office; Personal Service; Repair and Laundry Services, Consumer; Retail Sales, General; Indoor Participant Sports and Recreation; Children's Play Center; Valuable Objects Dealer; Light Equipment Sales/Rentals; Artisan Manufacturing, Production and Industrial Services; Wireless Communication Facilities; Riveredge Docking; Accessory Parking.

7. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs, shall be permitted subject to the review and approval of the Department of Planning and Development.
8. Any service drives or other ingress or egress (including ramps from Clark Street and/or LaSalle Street to Carroll Avenue) shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency area. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation.
9. In addition to the maximum height of the building and any appurtenance thereto prescribed in this Planned Development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 69,840 square feet and a base FAR of 12.0.
11. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan, the Riveredge Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. All physical improvements to the exterior of the designated historic Reid Murdoch Building including, but not limited to roof

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top additions, infill additions, signage, awnings, window replacement, cleaning and restoration, shall require approval of the Commission on Chicago Landmarks.

12. The Applicant acknowledges the importance of the Chicago River as a resource for both commerce and recreation and also acknowledges the City's goals of improving the appearance and quality of and accessibility to the Chicago River, as provided for in the Waterway Planned Development Guidelines set forth in Section 17-8-0509 of the Chicago Zoning Ordinance. To further these goals, the Applicant may pursue a permit from the Army Corps of Engineers to extend the existing deck running east to west along the property at the river level ("River Deck") in accordance with the plan attached hereto. Applicant's application for permit will provide for extending the River Deck southward to a point aligned with the south edge of the existing dolphins adjacent to the Clark and LaSalle Street bridge houses. Following its extension, the River Deck shall include a publicly accessible walkway ("Riveredge Walkway"). When completed, the Riveredge Walkway shall be open and available for use by the general public, free of charge, during normal Chicago Park District hours and such other hours as may be designated by Applicant; provided, however, Applicant may from time to time close off public access to the Riveredge Walkway for repairs and to prevent the establishment of any public, prescriptive or constructive easements to such area or portion thereof. Until such time as the Applicant secures the permit from the Army Corps of Engineers and the related approvals for the extension of the River Deck, Applicant shall continue to maintain the River Deck and provide a street level walkway connection between LaSalle and Clark Street ("Street Level Deck"). From the Street Level Deck Applicant also provides stairways to the River Deck, one on the west end (LaSalle Street) and one on the east end (Clark Street). Until such time as the Applicant secures the permit from the Army Corps of Engineers and the related approvals for the extension of the River Deck, the Street Level Deck and River Deck and at least one stairway shall be open, unobstructed, and available for use by the general public, free of charge, during normal Chicago Park District hours; provided, however, Applicant may from time to time close off public access to the Street Level Deck and the River Deck for repairs and to prevent establishment of any public, prescriptive or constructive easements. Notwithstanding the foregoing and provided the public ingress and egress is not blocked, the Applicant and any lessee, shall be permitted to operate outdoor dining areas on the River Deck and Street Level Deck.
13. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department

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of Planning and Development upon the application for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all new buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards. Applicant will achieve building certification for the new building area and will provide a 50% green roof on all new net roof area.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enable and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0611 until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the city in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The city encourages goals of 26% MBE and 6% WBE participation (measured against the total construction budget

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for the project or any phase thereof). and (ii) 50% city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II permit review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

17. The Applicant acknowledges and agrees that the rezoning of the Property from Waterway Business Planned Development No. 1342 to Waterway Residential Business Planned Development No. 1342, as amended, is an "entitlement" that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the "ARO"). The PD is located in a downtown district within the meaning of the ARO and is being amended to allow residential uses. Since this PD did not previously allow residential uses, any future ARO obligation will be based on the total number of dwelling units in the project.

18. Unless substantial construction of the new improvements contemplated in this Planned Development has commenced within six (6) years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the property shall automatically revert to Waterway Business Planned Development No. 1342 dated September 14, 2016.

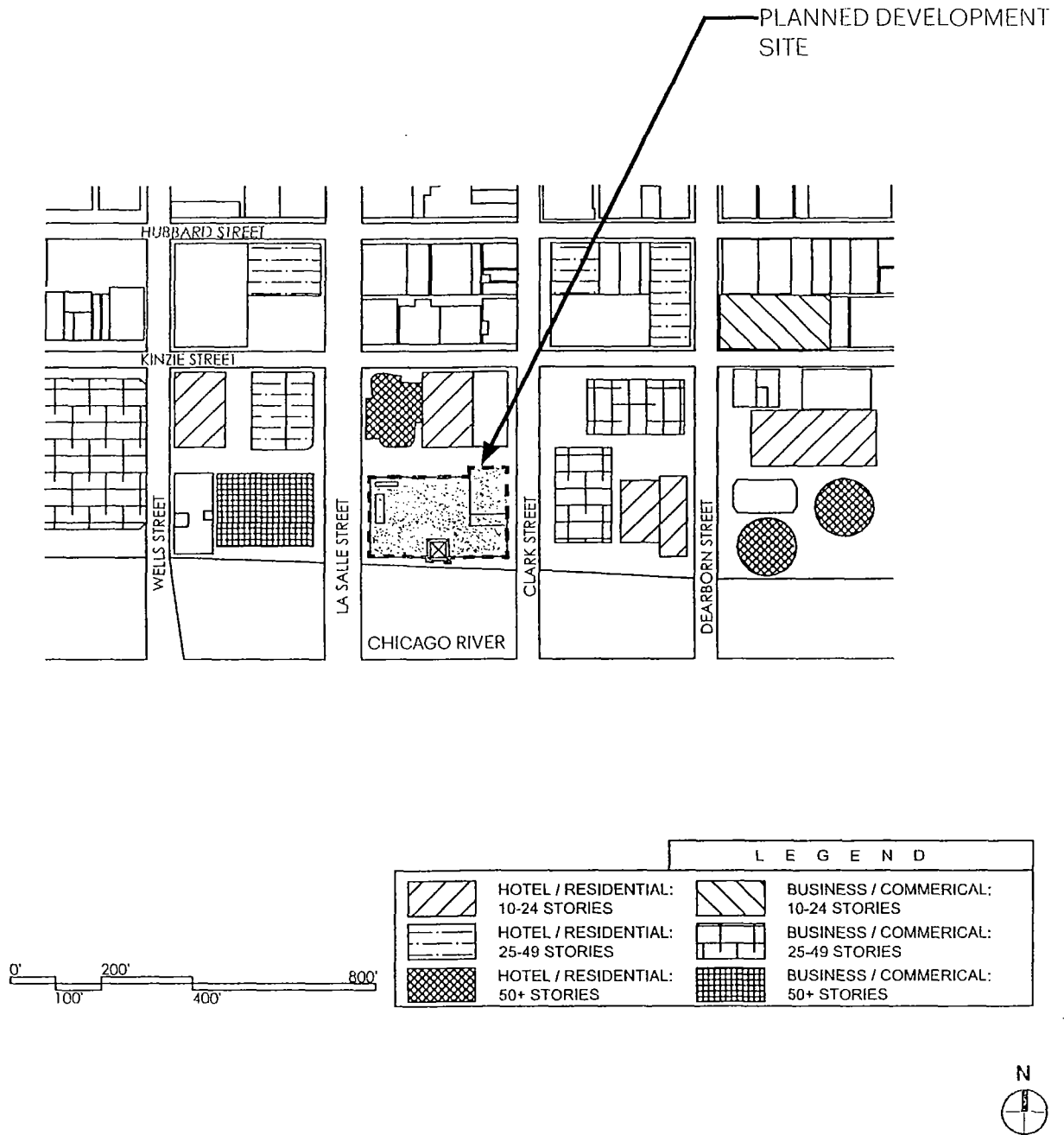
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A. BULK REGULATIONS TABLE

GROSS SITE AREA:	98,893 sf
AREA IN PUBLIC R.O.W.:	29,053 sf
NET SITE AREA:	69,840 sf
MAXIMUM ALLOWABLE FAR:	12.0
TOTAL FAR SQUARE FOOTAGE ALLOWED:	838,080 sf
EXISTING BUILDING AREA:	328,213 sf
LOADING BERTHS:	2 EXISTING 2 PROPOSED (12'-0" x 35'-0")
MAX BUILDING HEIGHT:	395' - 0"
MINIMUM NUMBER OF PARKING SPACES:	48
MAXIMUM NUMBER OF DWELLING UNITS:	0

B. EXISTING LAND-USE MAP



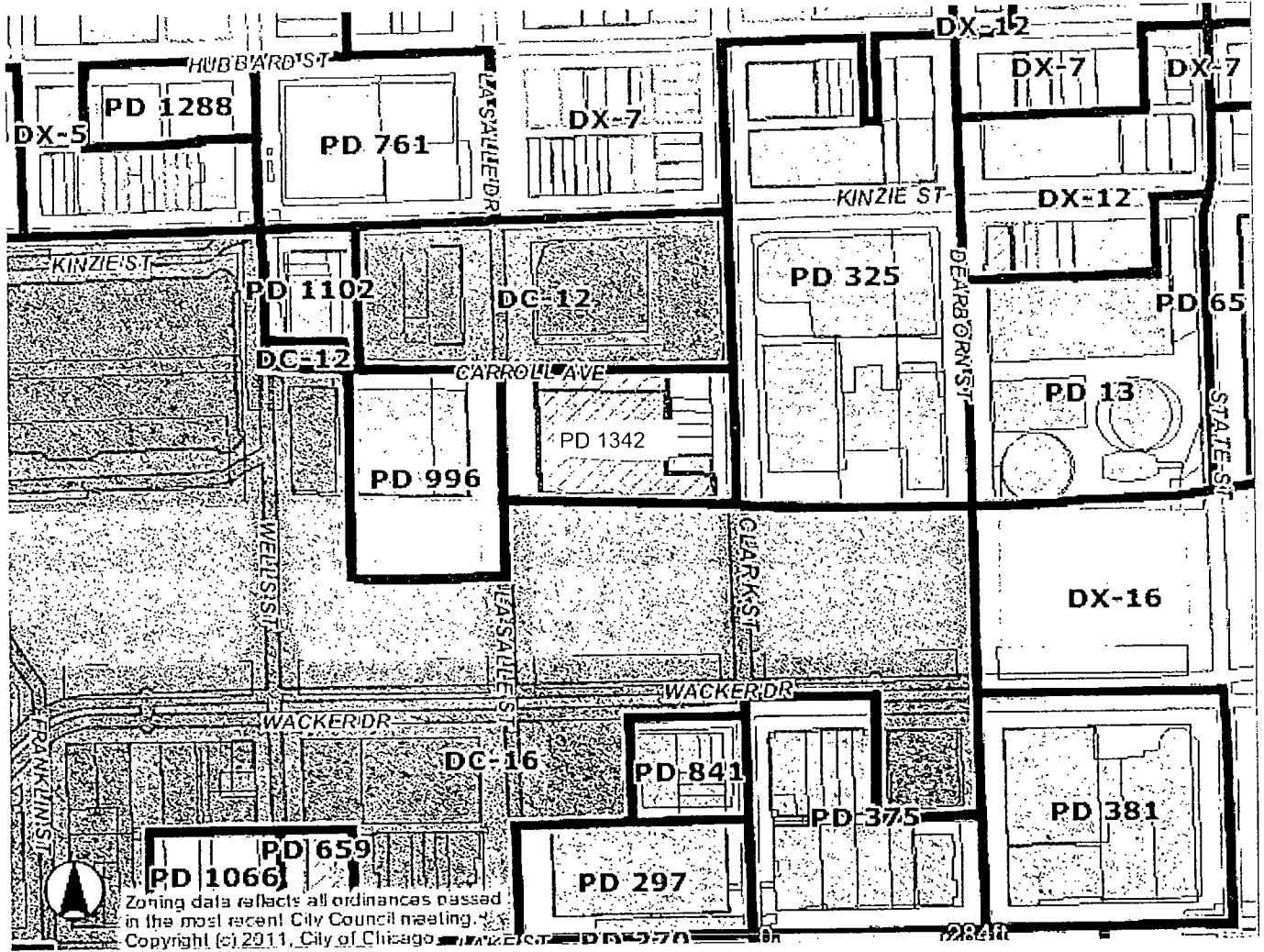
330 NORTH CLARK - Planned Development Exhibits

Applicant: 322 North Clark, LLC
Address: 350 N. Clark St, Chicago, IL

City Council Introduction Date: March 15, 2023
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C. EXISTING ZONING MAP



330 NORTH CLARK - Planned Development Exhibits

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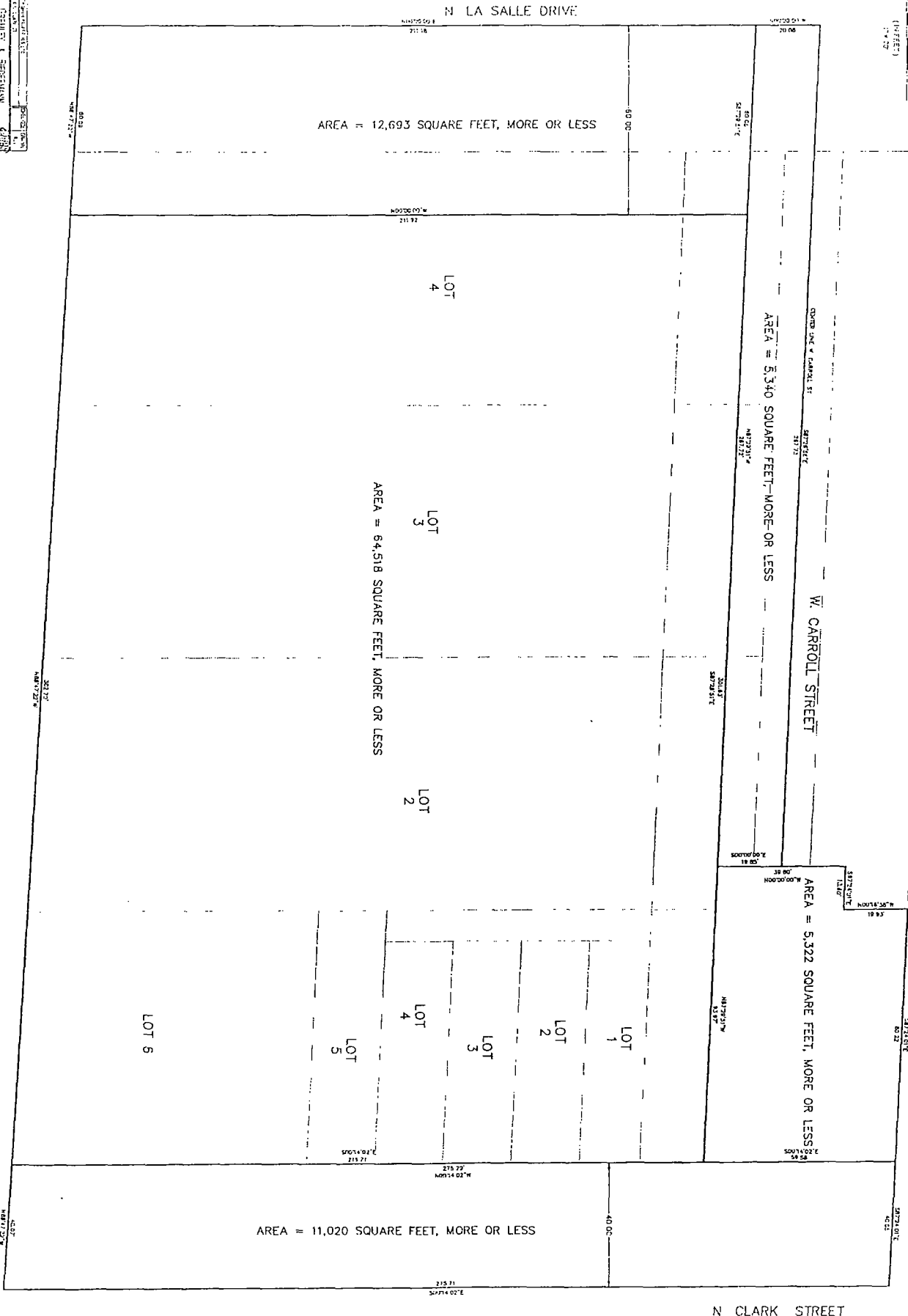
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GRAPHIC SCALE
 (IN FEET)
 1" = 20'



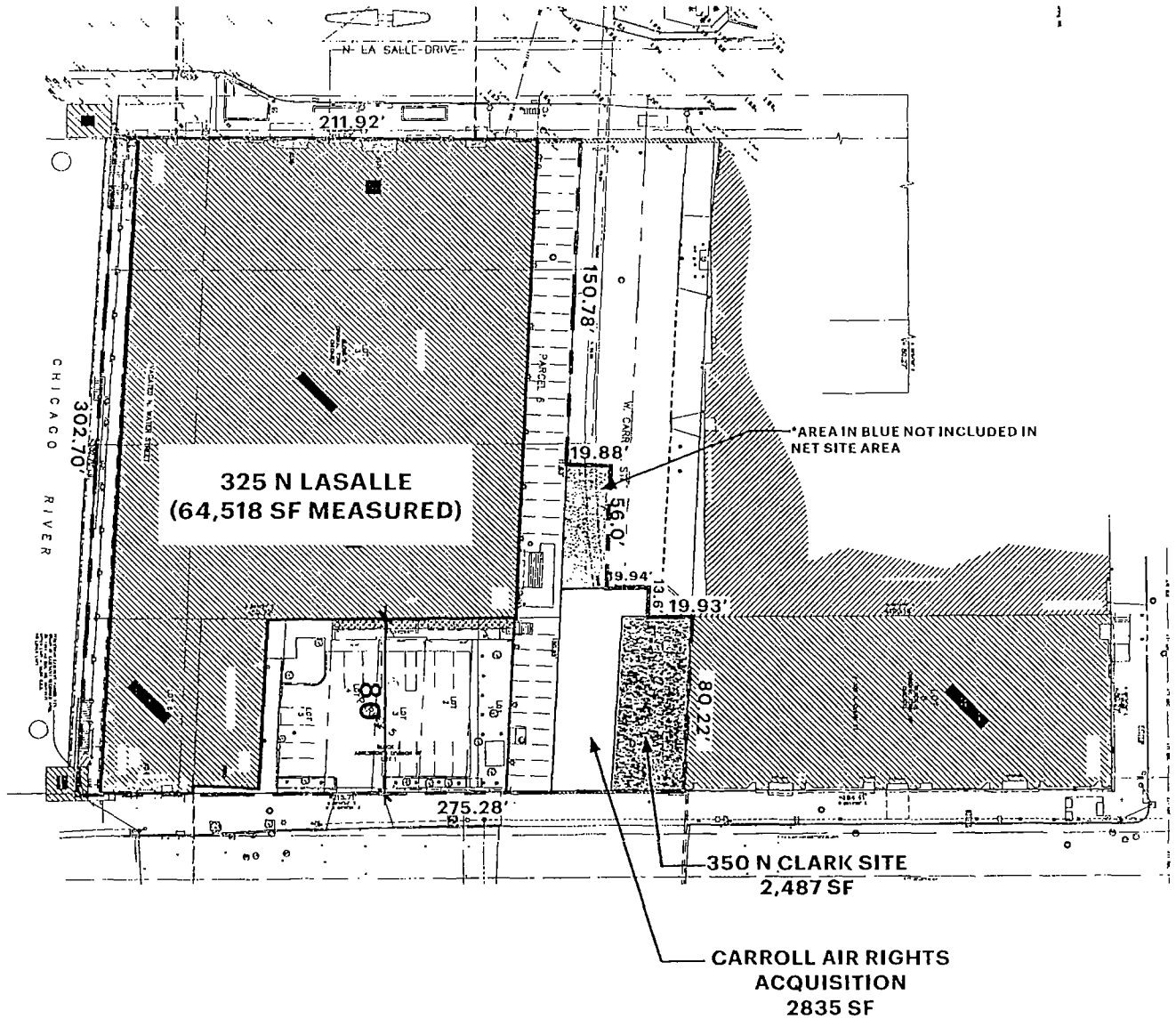
EXHIBIT



2013-27303-001
 PREPARED BY:
 ENGINEER & ARCHITECT
 1000 N. LA SALLE DRIVE
 CHICAGO, IL 60610
 TEL: 312.467.1234
 FAX: 312.467.1234
 WWW: WWW.EASONS.COM

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D. PROPERTY LINE AND PLANNED DEVELOPMENT BOUNDARY MAP

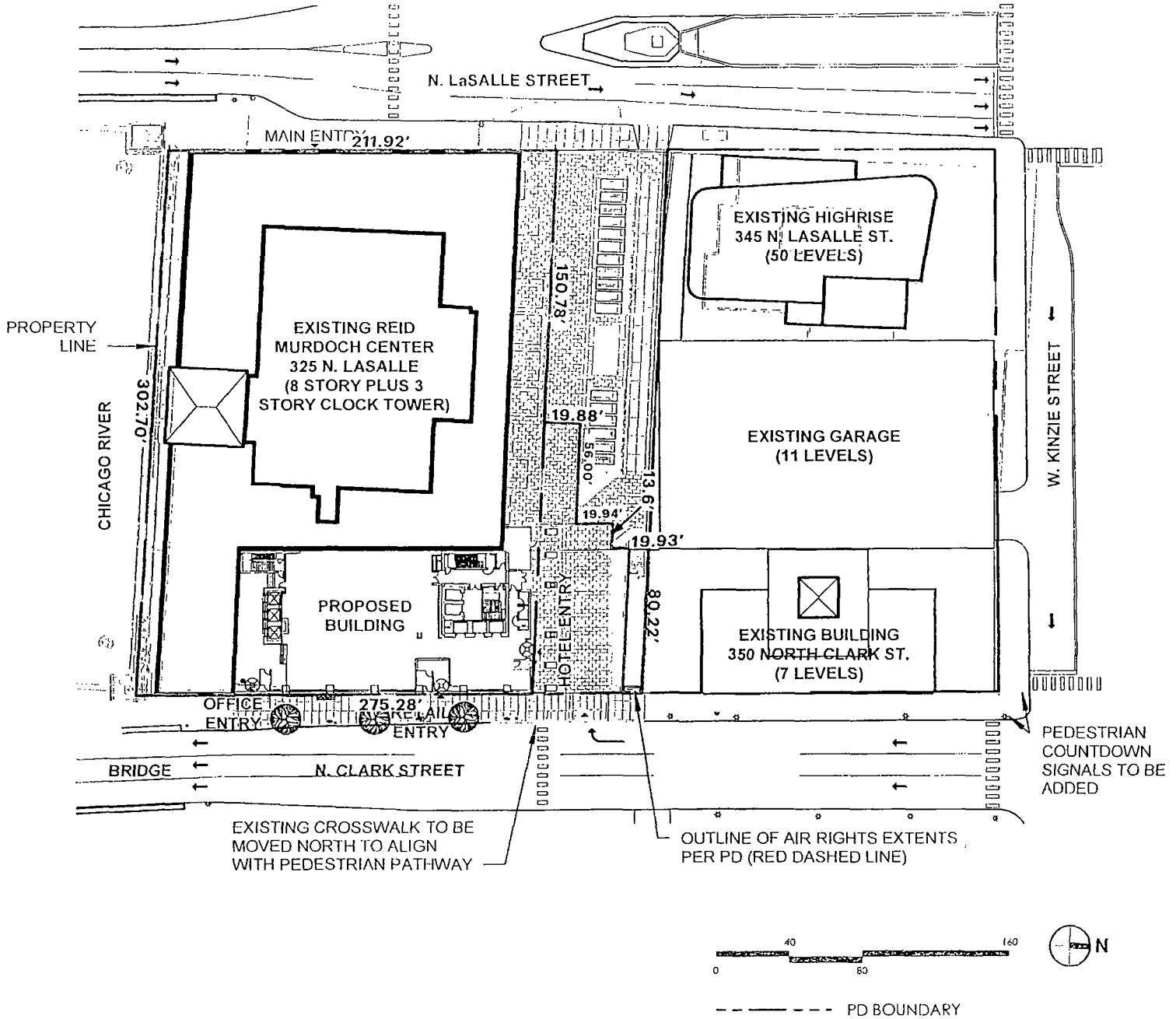


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E1. SITE PLAN

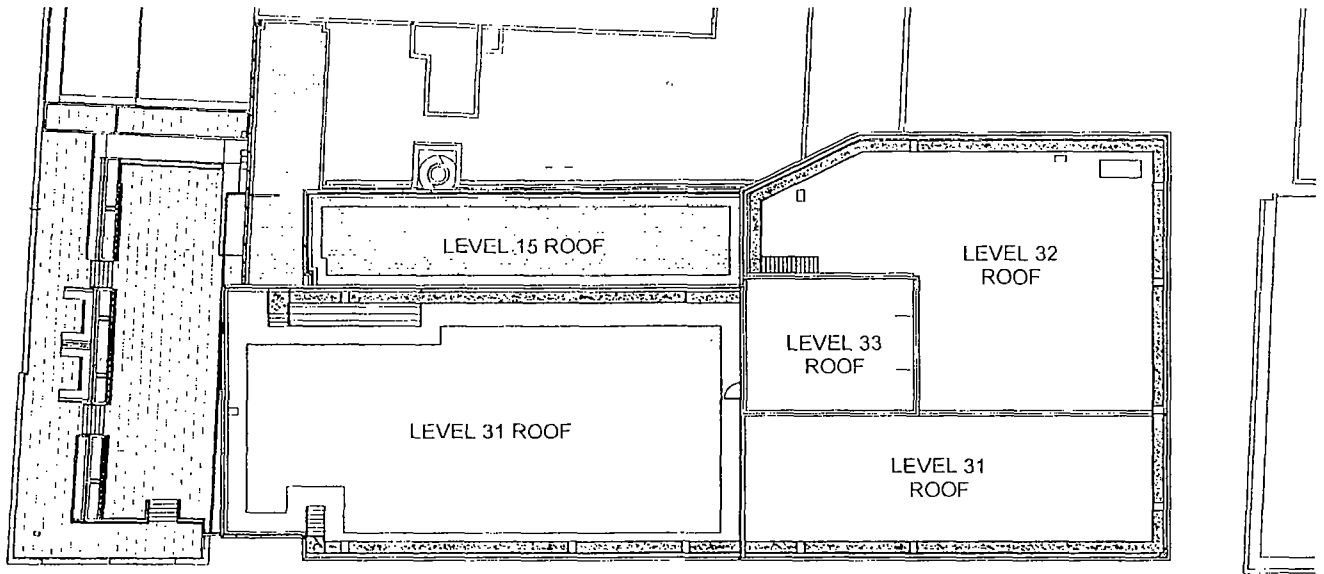


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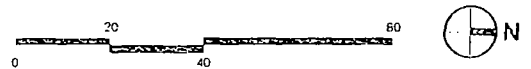
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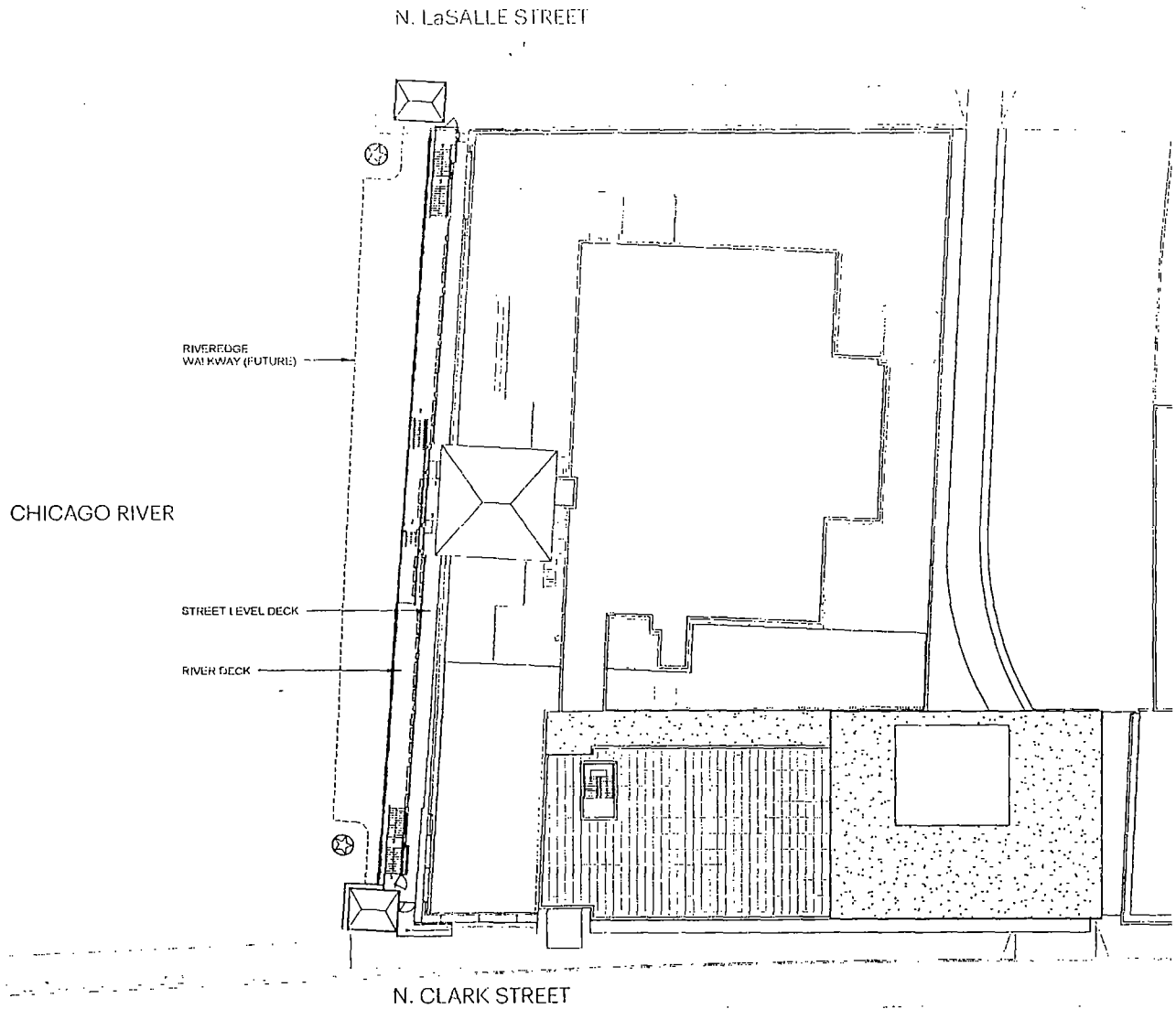
E2. GREEN ROOF PLAN



ESTIMATED ROOF AREA (NET): 12,290 SF
GREEN ROOF AREA (50%): 6,230 SF



E3. RIVEREDGE PLAN

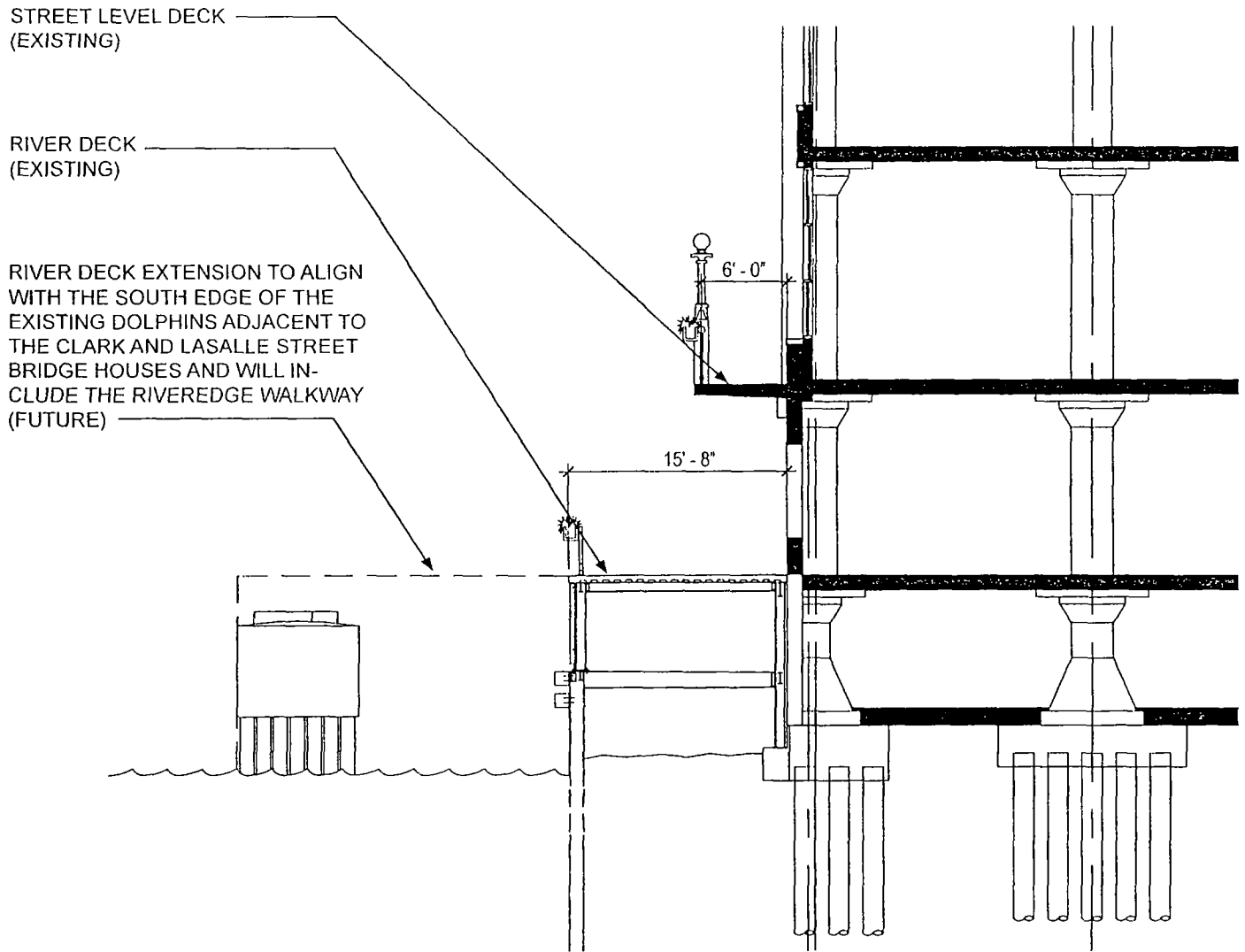


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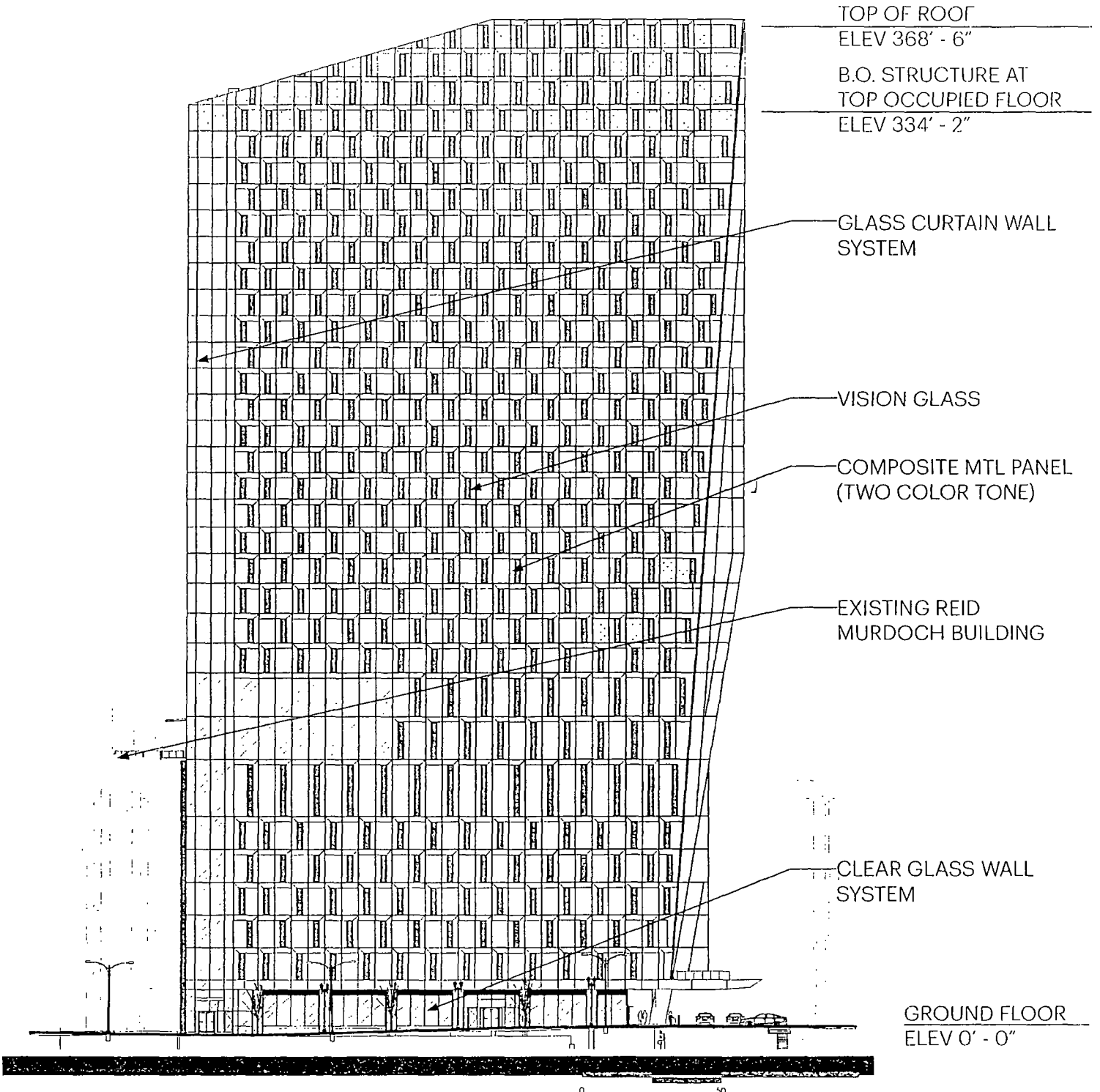
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E4. RIVEREDGE SECTION



F1. EAST ELEVATION ALONG NORTH CLARK ST



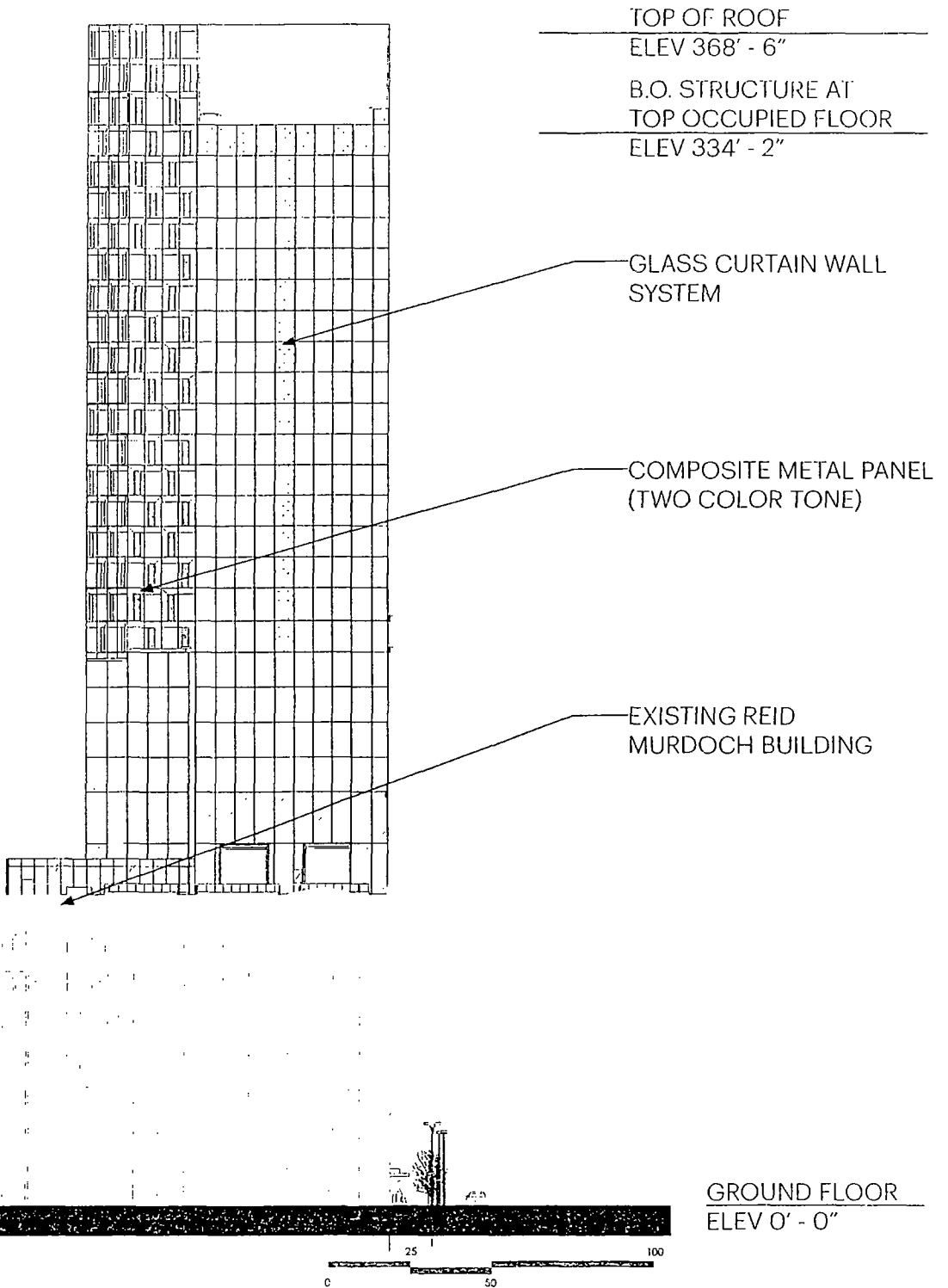
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F2. SOUTH ELEVATION ALONG CHICAGO RIVER

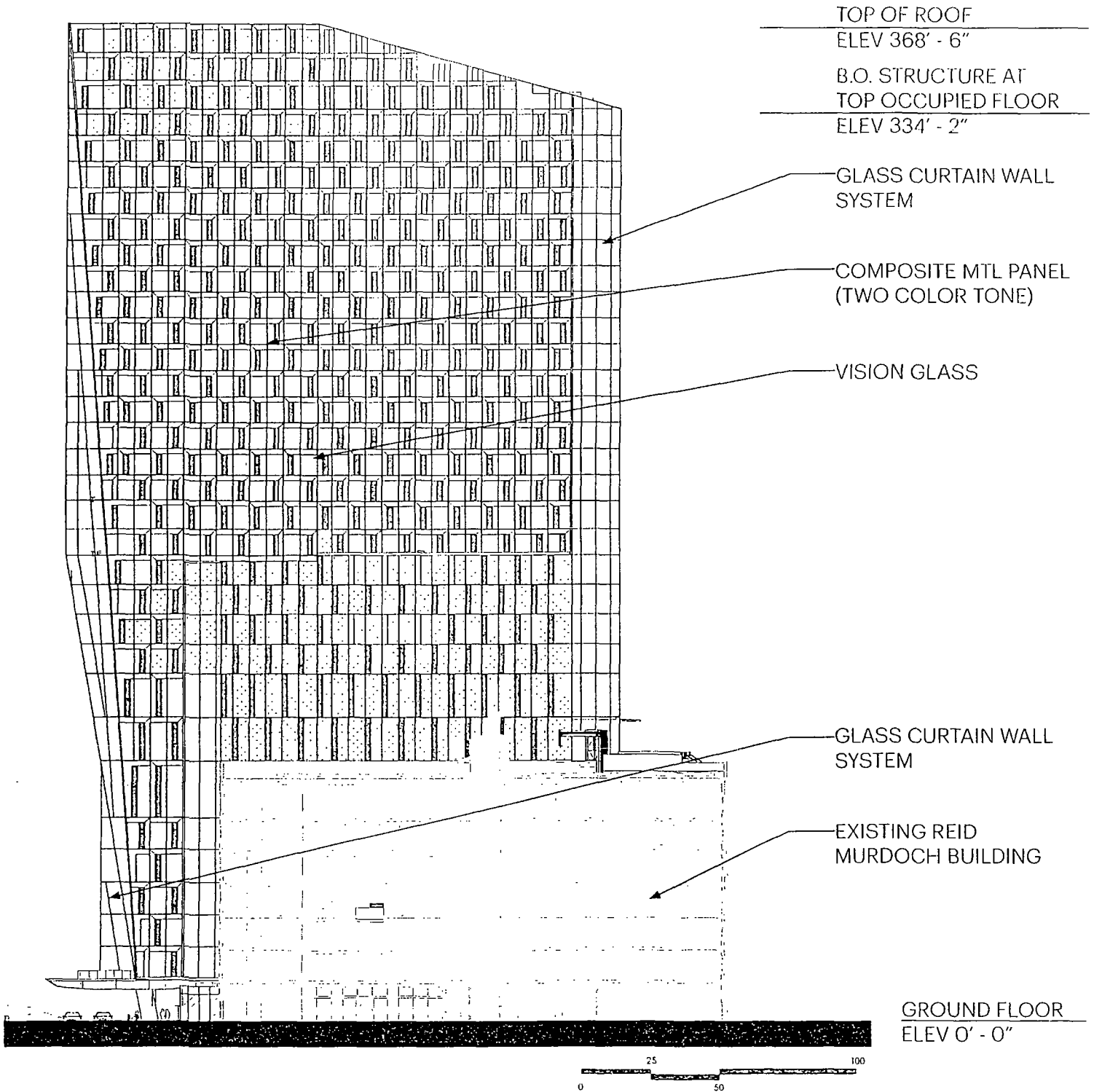


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F3. WEST ELEVATION

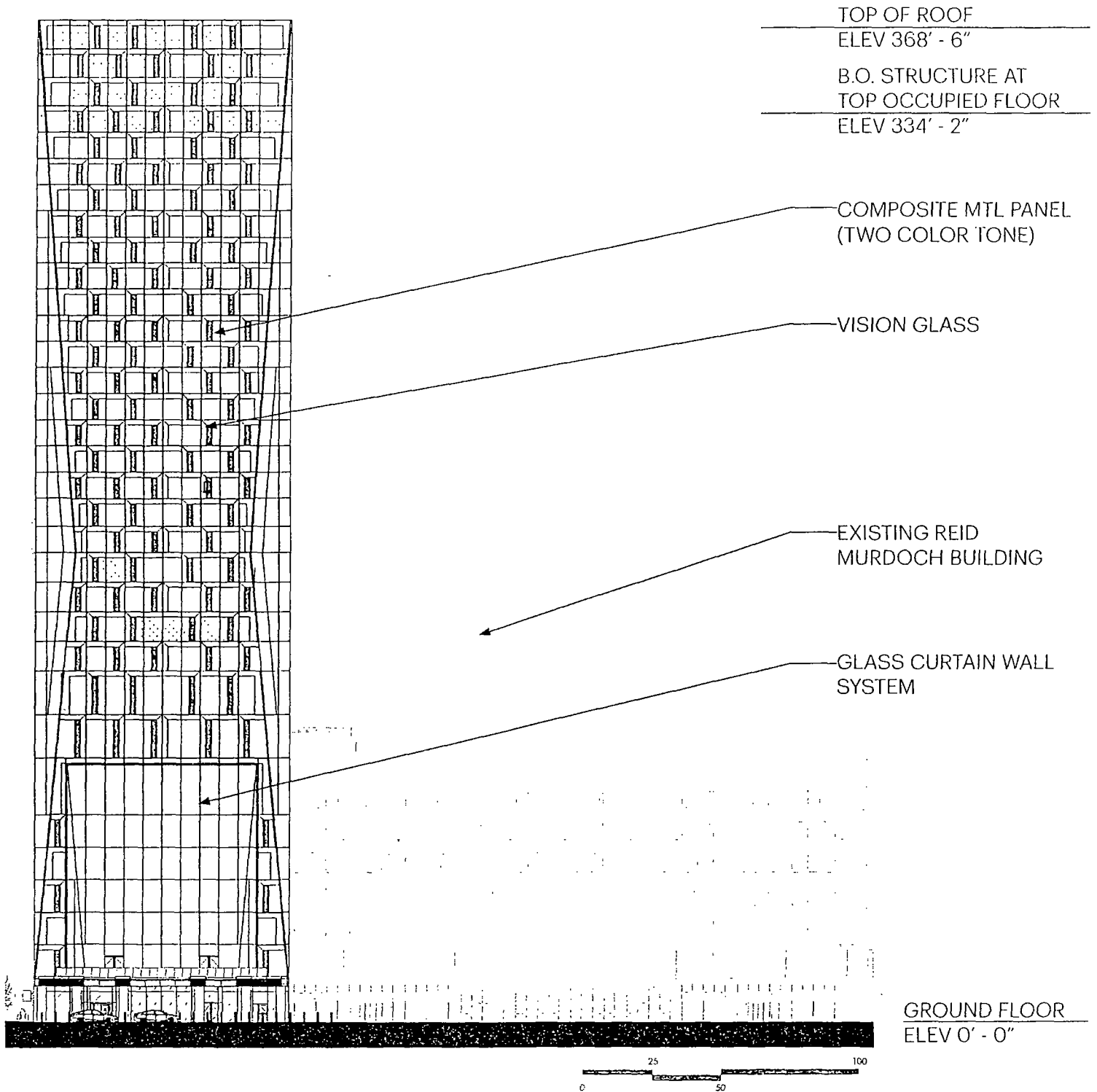


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F4. NORTH ELEVATION ALONG CARROLL AVE



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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

MEMORANDUM

(App. No. 22102)

To: Alderman Tom Tunney
Chairman,
City Council Committee on Zoning

From: 
Maurice D. Cox
Chicago Plan Commission

Date: April 20, 2023

Re: Technical Amendment to Planned Development No. 1342
314-322 N. CLARK ST., 315-333 N. LASALLE ST., 101-131 W. CRROLL AVE.

On Thursday, April 20, 2023, the Chicago Plan Commission recommended approval of the proposed amendment to Planned Development No. 1342, submitted by 322 N. CLARK, LLC. A copy of the proposed ordinance, planned development statements, bulk table and exhibits are attached. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development, Bureau of Zoning recommendation and a copy of the resolution. If you have any questions in this regard, please do not hesitate to contact Fernando Espinoza at 312-744-0755 or via email @ Fernando.espinoza@cityofchicago.org.

Cc: PD Master File (Original PD, copy of memo)