



City of Chicago



SO2022-1211

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	4/27/2022
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 13-G at 854 W Castlewood Ter - App No. 21024T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

FINAL FOR PUBLICATION

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the RS 1 Residential Single-Unit (Detached House) District symbols as shown on Map No. 13-G in the area bounded by:

A line 114.00 feet north of and parallel to West Castlewood Terrace; a line 650.00 feet east and parallel to North Sheridan Road; West Castlewood Terrace; and a line 600.00 feet east of and parallel to North Sheridan Road;

To those of a RT 4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This Ordinance takes effect after its passage and due publication.

Common address of property: 854 West Castlewood Terrace, Chicago

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Substitute Narrative And Plans
For A Type 1 Zoning Amendment
At 854 West Castlewood Terrace
From RS1 To RT4

Project Description: The subject property is presently improved with an old, vacant single-family home. The applicants have applied for a building permit for an interior renovation and a new addition which exceeds the floor area allowance.

The applicants seek a zoning change from an RS1 District to an RT4 district in order to meet the bulk and density requirements of the RT4 district to allow the increase of the FAR for a building addition to the existing single family residence building.

- A) Proposed land use: Single family home.
- B) The project's floorarea ratio: 1.18
- C) The project's density (lot area per dwelling unit): 5,700 square feet of lot area for one dwelling unit.
- D) The amount of off-street parking: 2 parking spaces.
- E) Setbacks:
 - Front setback: 25.5 feet.
 - Rear setback: 0.0 feet.
 - West side setback: 2.1 feet.
 - East side setback: 12.83 feet.
- F) Building height: 34 feet-4 inches (existing).

FINAL FOR PUBLICATION

INTERIOR RENOVATION
OF EXISTING 3 STORY SINGLE FAMILY MASONRY BUILDING

SELF CERTIFICATION

CODE MATRIX

Table with columns for Code Matrix, including sections like Structural, Mechanical, Electrical, and Plumbing. It contains detailed specifications and references for various building components.

NOTES: 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO BUILDING CODE AND ALL APPLICABLE ORDINANCES. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO DEPARTMENT OF BUILDING.

GENERAL NOTES: 1. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. 2. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

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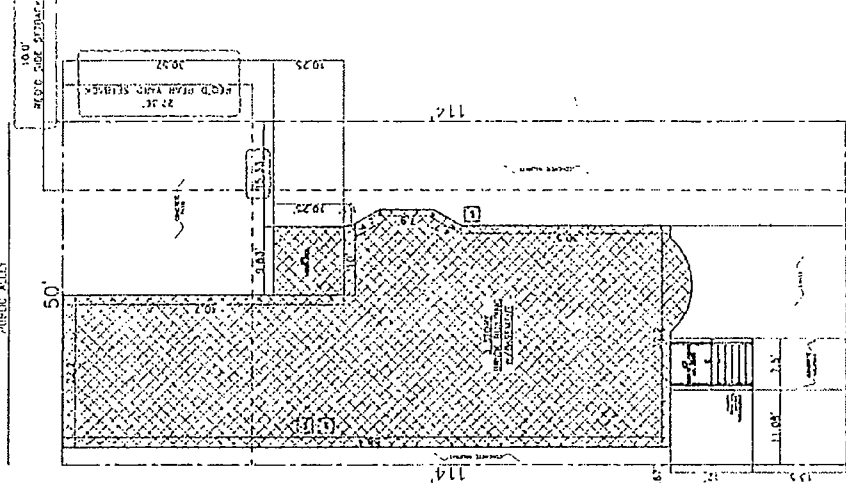
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CERTIFICATION STATEMENT
I, THE ARCHITECT, CERTIFY THAT THESE DRAWINGS ARE THE BEST OF MY PROFESSIONAL KNOWLEDGE AND SKILL IN ACCORDANCE WITH THE CITY OF CHICAGO BUILDING CODES.

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1219 CHICAGO ENERGY CONSERVATION CODE
Table with columns: COMPONENT, ENERGY CODE REF, and ENERGY CODE REF. Rows include ROOF, MASS WALL, FRAME WALL, GLAZED WINDOW WALL, WINDOW GLAZING, and DOOR GLAZING.

SITE PLAN
Scale: 1/8" = 1'-0"
W. CASTLEWOOD TERRACE
Includes a north arrow and a graphic scale bar.

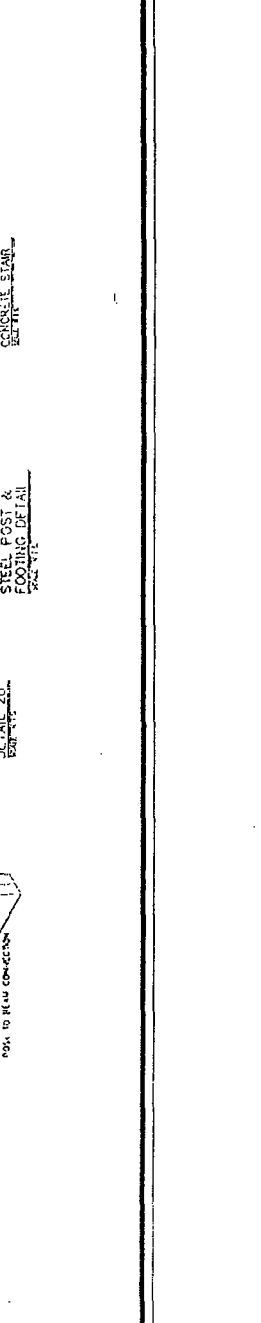
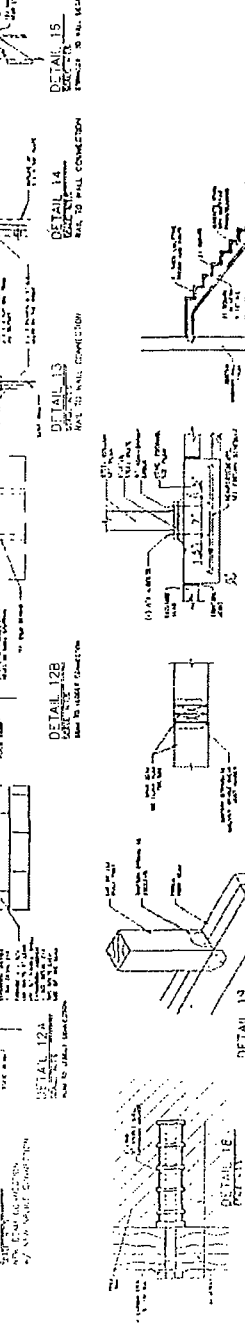
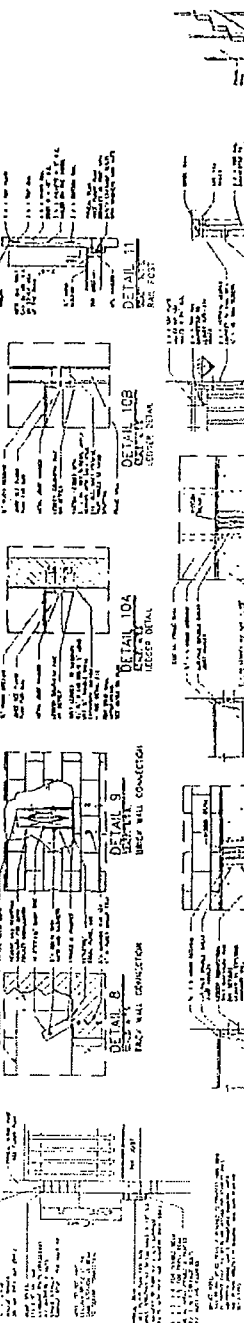
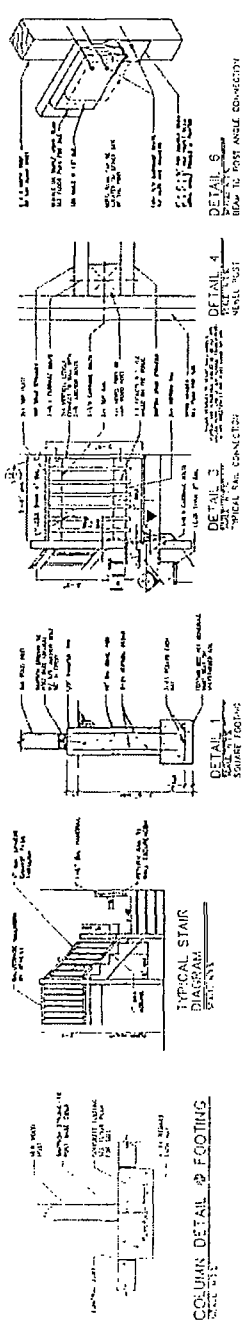
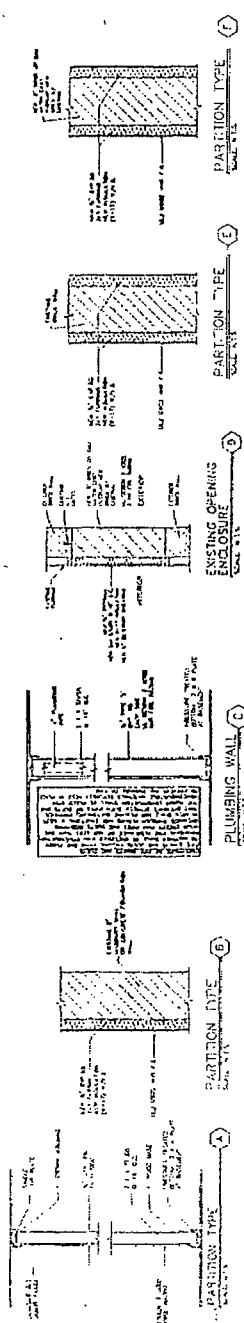
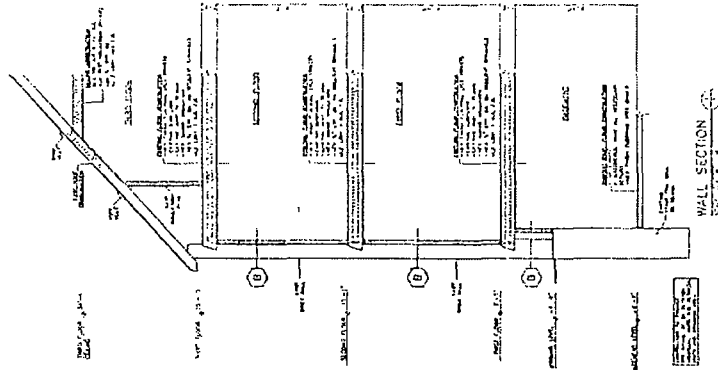


ARCHITECTS
W. CASTLEWOOD TERRACE
CHICAGO, IL
Includes the firm's logo and contact information.

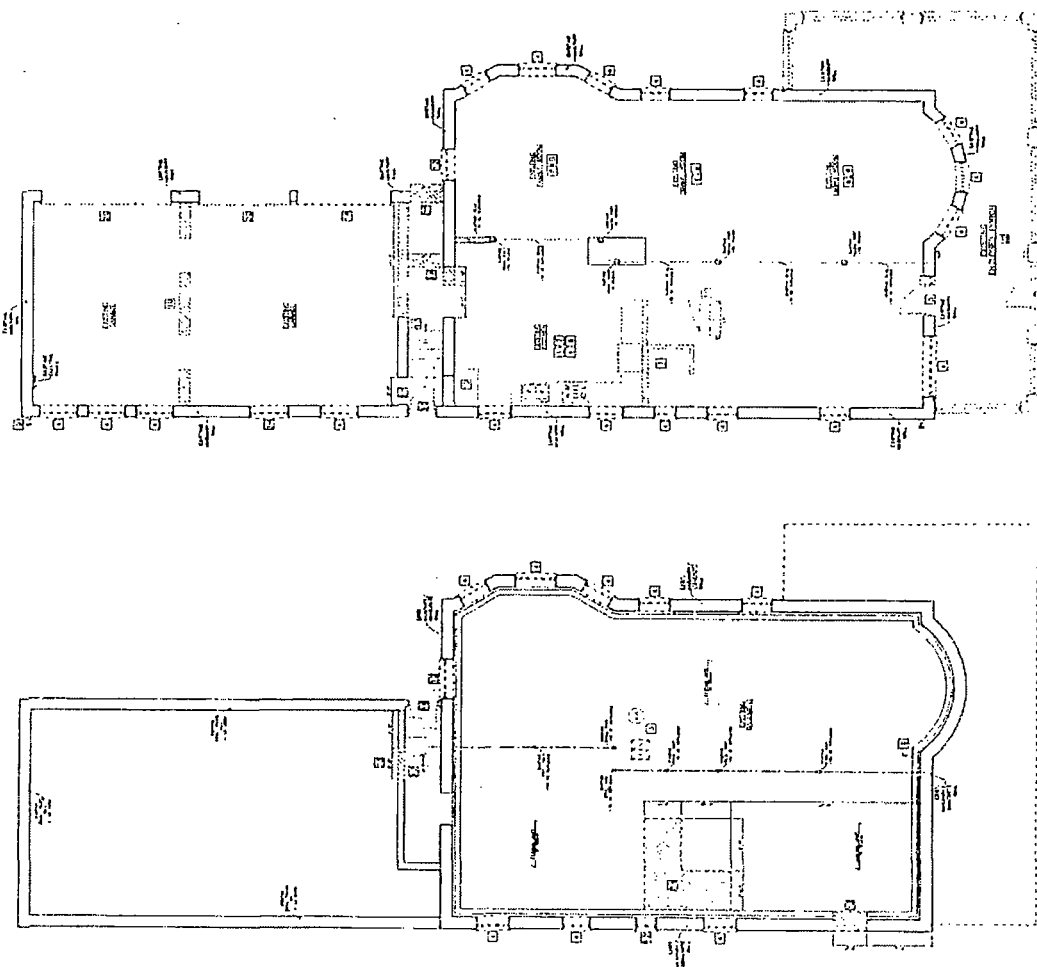
CODE MATRIX, NOTES, & SITE PLAN
854 W. CASTLEWOOD TERRACE
CHICAGO, IL
Includes project details, notes, and a table of contents.

WALL FOR FOUNDATION

LEGEND	
	MASONRY WALL
	CONCRETE WALL
	STEEL WALL
	BRICK WALL
	GLASS WALL
	PARTITION WALL
	EXISTING OPENING
	PLUMBING WALL
	TYPICAL STAIR DIAGRAM
	COLUMN DETAIL & FOOTING
	WALL SECTION



FINAL FOR PUBLICATION



NOTES

1. EXISTING AND PROPOSED AREAS SHOWN IN THIS DRAWING ARE TO BE DEMOLISHED.
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SITE CONDITIONS

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LEGEND

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2. EXISTING WINDOW
3. EXISTING DOOR
4. EXISTING FLOOR
5. EXISTING CEILING
6. EXISTING ROOF
7. EXISTING STRUCTURE
8. EXISTING UTILITIES
9. EXISTING MECHANICAL
10. EXISTING ELECTRICAL
11. EXISTING PIPING
12. EXISTING CONCRETE
13. EXISTING BRICK
14. EXISTING MASONRY
15. EXISTING METAL
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19. EXISTING TILE
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27. EXISTING PROFILE
28. EXISTING CHANNEL
29. EXISTING STRIP
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31. EXISTING PLANK
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33. EXISTING RAFTER
34. EXISTING TRUSS
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49. EXISTING JOIST HANGING
50. EXISTING BRACKET

DEMOLITION ABBREVIATIONS

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