



Office of the Chicago City
Clerk



O2012-4405

Office of the City Clerk

City Council Document Tracking Sheet

Meeting Date: 6/27/2012

Sponsor(s): Mendoza, Susana A. (Clerk)

Type: Ordinance

Title: Zoning Reclassification App No. 17514 - 3218 W Irving Park Rd

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map No. 11-J in area bound by

North Sawyer Avenue, the alley next North and parallel to West Irving Park Road, a line 96.10 feet East of and parallel to North Sawyer Avenue, West Irving Park Road.

to those of a C1-1 Neighborhood Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property: 3218 W Irving Park Road

#17514
INTRO DATE:
6-27-2012

CITY OF CHICAGO

APPLICATION FOR AN AMENDMENT TO
THE CHICAGO ZONING ORDINANCE

1. ADDRESS of the property Applicant is seeking to rezone:

3218 W Irving Park Road

2. Ward Number that property is located in: 33

3. APPLICANT Chicago Title Land Trust Company #1006000323

ADDRESS 4820 W Lawrence

CITY Chicago STATE Illinois ZIP CODE 60630

PHONE 312-656-2152 CONTACT PERSON Greg Mruk

4. Is the Applicant the owner of the property? YES NO If the Applicant is not the owner of the property, please provide the following information regarding the owner and attach written authorization from the owner allowing the applicant to proceed.

OWNER _____

ADDRESS _____

CITY _____ STATE _____ ZIP CODE _____

PHONE _____ CONTACT PERSON _____

5. If the Applicant/Owner of the property has obtained a lawyer as their representative for the rezoning, please provide the following information:

ATTORNEY Thomas S. Moore

ADDRESS 111 W Washington Suite 1100 CITY Chicago

CITY Chicago STATE IL ZIP CODE 60602

PHONE 312-251-1500 FAX 312-251-1500

6. If the applicant is a legal entity (Corporation, LLC, Partnership, Etc.) please provide the names of all owners as disclosed on the Economic Disclosure Statements.

Greg Mruk

Barbara Mruk

7. On what date did the owner acquire legal title to the subject property? 1984

8. Has the present owner previously rezoned this property? If Yes, when?

No

9. Present Zoning District B3-1 Proposed Zoning District C1-1

10. Lot size in square feet (or dimensions?) 96.11 x 125 = 12,013.75 sq. ft.

11. Current Use of the property Non-Conforming Car wash and Gas Station

12. Reason for rezoning the subject property: To rebuild a new 1 story 3,076 sf. ft.

car wash and include 11 self serve vacuum spaces (1 being handicapped).

13. Describe the proposed use of the property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building. (BE SPECIFIC)

To rebuild a new 1 story 3,076 sq. ft. car wash with 11 self serve vacuum spaces

(1 being handicapped).

14. On May 14th, 2007, the Chicago City Council passed the affordable Requirements Ordinance (ARO) that requires on-site affordable housing units or a financial contribution if residential housing projects receive a zoning change under certain circumstances. Based on the lot size of the project in question and the proposed zoning classification, is this project subject to the Affordable Requirements Ordinance? (See Fact Sheet for more information).

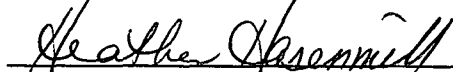
YES _____ NO X _____

COUNTY OF COOK
STATE OF ILLINOIS

Greg Mruk, being first duly sworn on oath, states that all of the above statements and the statements contained in the documents submitted herewith are true and correct.


Signature of Applicant

Subscribed and Sworn to before me this
15th day of June, 2012.


Notary Public



For Office Use Only

Date of Introduction: _____

File Number: _____

Ward: _____

"WRITTEN NOTICE"
FORM OF AFFIDAVIT
(Section 17-13-0107)

June 20, 2012

Honorable Daniel Solis
Chairman, Committee on Zoning
121 North LaSalle Street
Room 304, City Hall
Chicago, Illinois 60602

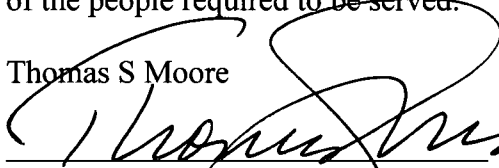
The undersigned, Thomas S. Moore, being first duly sworn on oath, deposes and says the following:

The undersigned certifies that he has complied with the requirements of Sec. 17-13-0107, of the Chicago Zoning Ordinance, by sending written notice to such owners who appear to be the owners of the property within the subject area not solely owned by the applicant, and to the owners of all property within 250 feet in each direction of the lot line of the subject property, exclusive of public roads, streets, alleys and other public ways, or a total distance limited to 400 feet. Said "written notice" was sent by First Class U.S. Mail, no more than 30 days before filing the application.


The undersigned certifies that the notice contained the address of the property sought to be rezoned; a statement of the intended use of the property; the name and address of the applicant; the name and address of the owner; and a statement that the applicant intends to file the application for a change in zoning on approximately June 20 2012.

The undersigned certifies that the applicant has made and bona fide effort to determine the addresses of the parties to be notified under Section 17-13-0107 of the Chicago Zoning Ordinance, and that the accompanying list of names and addresses of surrounding property owners within 250 feet of the subject site is a complete list containing the names and addresses of the people required to be served.

Thomas S Moore



Subscribed and Sworn to before me
this 20th day of June, 2012



Notary Public



ANDERSON & MOORE, P.C.

ATTORNEYS AT LAW

111 WEST WASHINGTON STREET, SUITE 1100

CHICAGO, ILLINOIS 60602

THOMAS S. MOORE
JANE F. ANDERSON

TELEPHONE (312) 251-1500
FACSIMILE (312) 251-1509

June 20, 2012

To Property Owner or Resident:

In accordance with requirements for an Amendment to the Chicago Zoning Ordinance, specifically Section 17-13-0107, please be informed that on or about June 20, 2012, the undersigned will file an application for a change in zoning from B3-1 to C1-1 on behalf the applicant, Chicago Title Land Trust Company #1006000323 for the property located at 3218 W Irving Park Road.

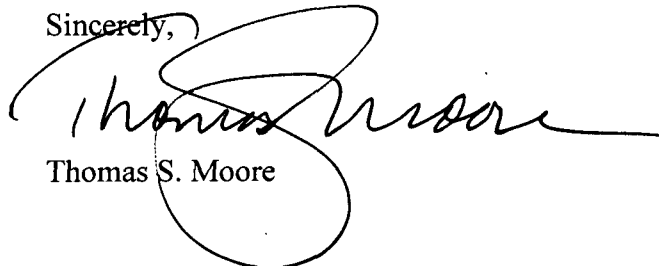
The applicant seeks to tear down the non-conforming gas station and car wash, rebuild the existing 1 story 3,076 sq. ft. car wash and add 11 self serve vacuum spaces (1 being handicapped).

The owner and applicant of the property is Chicago Title Land Trust Company #1006000323 whose business address is 4820 W Lawrence; Chicago, IL 60630. You can reach Greg Mruk at 312-656-2152 if you have any questions.

I am the attorney for the applicant and can be reached at the above number if you have any questions.

Please note the applicant is not seeking to rezone or purchase your property. The applicant is required by law to send this notice because you own property within 250 feet of the property to be rezoned.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas S. Moore", written over a large, stylized circular flourish.

Thomas S. Moore

TSM:hah

W:\FORMS\Zoning Forms\Zoning Change\NeighborLtr.wpd

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT
AND AFFIDAVIT**

SECTION I –GENERAL INFORMATION

A. Legal name of Disclosing Party submitting this EDS. Include d/b/a/ if applicable:

Chicago Title Land Trust Company #1006000323

Check ONE of the following three boxes:

Indicate whether Disclosing Party submitting this EDS is:

1. the Applicant

OR

2. a legal entity holding a direct or indirect interest in the Applicant. State the legal name of the Applicant in which Disclosing Party holds an interest: _____

OR

3. a specified legal entity with a right of control (see Section II.B.1.b) State the legal name of the entity in which Disclosing Party holds a right of control: _____

B. Business address of Disclosing Party: 4820 W Lawrence
Chicago, IL 60630

C. Telephone: 312-656-2152 Fax: _____ Email _____

D. Name of contact person: Greg Mruk

E. Federal Employer Identification No. (if you have one): _____

F. Brief description of contract, transition or other undertaking (referred to below as the “Matter”) to which this EDS pertains. (Include project number and location of property, if applicable):

Zoning Change-3218 W Irving Park Road

G. Which City agency or department is requesting this EDS? Dept of Housing & Economic Development
Bureau of Planning & Zoning

If the Matter is a contract being handled by the City’s Department of Procurement Services, please complete the following:

Specification # _____ and Contract # _____

SECTION II – DISCLOSURE OF OWNERSHIP INTERESTS

A. NATURE OF DISCLOSING PARTY

1. Indicate the nature of the Disclosing Party:

- | | |
|---|--|
| <input type="checkbox"/> Person | <input type="checkbox"/> Limited liability company* |
| <input type="checkbox"/> Publicly registered business corporation | <input type="checkbox"/> Limited liability partnership* |
| <input type="checkbox"/> Privately held business corporation | <input type="checkbox"/> Joint venture* |
| <input type="checkbox"/> Sole proprietorship | <input type="checkbox"/> Not-for-profit corporation |
| <input type="checkbox"/> General partnership* | (Is the not-for-profit corporation also a 501(c)(3))? |
| <input type="checkbox"/> Limited partnership* | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input checked="" type="checkbox"/> Trust | <input type="checkbox"/> Other (please specify) |

*Note B.1.b below

2. For legal entities, the state (or foreign country) of incorporation or organization, if applicable:

Illinois

3. For legal entities not organized in the State of Illinois: Has the organization registered to do business in the State of Illinois as a foreign entity?

- Yes No N/A

B. IF THE DISCLOSING PARTY IS A LEGAL ENTITY:

1. List below the full names and title of all executive officers and all directors of the entity.

NOTE: For not-for-profit corporations, also list below all members, if any, which are legal entities. If there are no such members, write “no members.” For trusts, estates or other similar entities, list below the legal titleholder(s).

If the entity is a general partnership, limited partnership, limited liability company, limited liability partnership or joint venture, list below the name and title of each general partner, managing member, manager or any other person or entity that controls the day-to-day management of the Disclosing Party.

NOTE: Each legal entity listed below must submit an EDS on its own behalf.

Name	Title
<u>Greg Mruk</u>	<u>Beneficiary</u>
<u>Barbara Mruk</u>	<u>Beneficiary</u>

2. Please provide the following information concerning each person or entity having a direct or indirect beneficial interest (including ownership) in excess of 7.5% of the Disclosing Party. Examples of such an interest include shares in a corporation, partnership interest in a partnership or joint venture,

Interest of a member or manager in a limited liability company, or interest of a beneficiary of a trust, estate or other similar entity. If none, state "None." **NOTE:** Pursuant to Section 2-154-030 of the Municipal Code of Chicago ("Municipal Code"), the City may require any such additional information from any applicant which is reasonably intended to achieve full disclosure.

Name	Business Address	Percentage Interest in the Disclosing party
Greg Mruk	4820 W Lawrence; Chicago, IL 60630	50%
Barbara Mruk	4820 W Lawrence; Chicago, IL 60630	50%

SECTION III – BUSINESS RELATIONSHIPS WITH CITY ELECTED OFFICIALS

Has the Disclosing Party has a "business relationship." as defined in Chapter 2-156 of the Municipal Code, with any City elected official in the 12 months before the date this EDS is signed?

Yes No

If yes, please identify below the name(s) of such City elected official(s) and describe such relationship(s):

SECTION IV – DISCLOSURE OF SUBCONTRACTORS & OTHER RETAINED PARTIES

The Disclosing Party must disclose the name and business address of each subcontractor, attorney, lobbyist, accountant, consultant and any other person or entity whom the Disclosing party has retained or expects to retain in connection with the Matter, as well as the nature of the relationship, and the total amount of the fees paid or estimated to be paid. The Disclosing Party is not required to disclose employees who are paid solely through the Disclosing Party's regular payroll.

"Lobbyist" means any person or entity who undertakes to influence any legislative or administrative action on behalf of any person or entity other than: (1) a not-for-profit entity, on an unpaid basis, or (2) himself. "Lobbyist" also means any person or entity any part of whose duties as an employee of another includes undertaking to influence any legislative or administrative action.

If the Disclosing Party is uncertain whether a disclosure is required under this Section, the Disclosing Party, must either ask the City whether disclosure is required or make the disclosure.

Name (indicate whether retained or anticipated to be retained)	Business Address	Relationship to Disclosing Party (subcontractor, attorney, lobbyist, etc)	Fees (indicate whether paid or estimated.) NOTE: "hourlyrate" or "t.b.d." is not an acceptable response.
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<u>Anderson & Moore-Attorney 111 W Washington Ste 1100; Chicago, IL 60602</u>	<u>Estimated to be</u>
	<u>\$5,000.00</u>

(Add sheets if necessary)

Check here if the Disclosing party has not retained, nor expects to retain, any such persons or entities.

SECTION V —CERTIFICATIONS

A. COURT-ORDERED CHILD SUPPORT COMPLIANCE

Under Municipal Code Section 2-92-415, substantial owners of business entities that contract with the City must remain in compliance with their child support obligations throughout the term of the contract.

Has any person who directly or indirectly owns 10% or more of the Disclosing Party been declared in arrearage on any child support obligations by any Illinois court of competent jurisdiction?

Yes No No person directly or indirectly owns 10% or more of the Disclosing Party.

If "Yes," has the person entered into a court-approved agreement for payment of all support owned and is the person in compliance with that agreement?

Yes No

B. FURTHER CERTIFICATIONS

1. Pursuant to Municipal Code Chapter 1-23, Article I ("Article I")(which the Applicant should consult for defined terms (e.g., "doing business") and legal requirements), if the Disclosing Party submitting the EDS is the Applicant and is doing business with the City, then the Disclosing Party certifies as follows: (i) neither the Applicant nor any controlling person is currently indicated or charged with, or has admitted guilt of, or has ever been convicted of, or placed under supervision for, any criminal offense involving actual, attempted, or conspiracy to commit bribery, theft, fraud, forgery, perjury, dishonesty or deceit against an officer or employee of the City or any sister agency; and (ii) the Applicant understands and acknowledges that compliance with Article I is a continuing requirement for doing business with the City. **NOTE:** If Article I applies to the Applicant, the permanent compliance timeframe in Article I supersedes some five-year compliance timeframes in certification 2 and 3 below.

2. The Disclosing Party and, if the Disclosing Party is a legal entity, all of those persons or entities identified in Section II.B.1. of this EDS:

- a. are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from any transactions by any federal, state or local unit of government;
- b. have not, within a five-year period preceding that date of this EDS, been convicted of a criminal offense, adjudged guilty, or had a civil judgment rendered against them in connection with: obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; a violation of federal or state antitrust statutes; fraud; embezzlement; theft; forgery; bribery; falsification or destruction of records; making false statements; or receiving stolen property;
- c. are not presently indicted for or criminally or civilly charged by, a governmental entity (federal, state or local) with committing any of the offenses set forth in clause B.2.b. of this Section V;
- d. have not, within a five-year period preceding the date of this EDS, had one or more public transaction (federal, state or local) terminated for cause or default; and
- e. have not, within a five-year period preceding the date of this EDS, been convicted, adjudged guilty, or found liable in a civil proceeding, or in any criminal or civil action, including actions concerning environmental violations, instituted by the City or by the federal government, any state, or any other unit of local government.

3. The certifications in subparts 3, 4 and 5 concern:

- the Disclosing Party;
- any "Contractor" (meaning any contractor or subcontractor used by the Disclosing Party in connection with the Matter, including but not limited to any persons or legal entities disclosed under Section IV, "Disclosure of Subcontractors and Other Retained Parties");
- any "Affiliated Entity" (meaning a person or entity that, directly or indirectly: controls the Disclosing Party, is controlled by the Disclosing Party, or is, with the Disclosing Party, under common control of another person or entity. Indicia of control include, without limitation: interlocking management or ownership; identity of interests among family members, shared facilities and equipment; common use of employees; or organization of a business entity following the ineligibility of a business entity to do business with federal or state or local government, including the City, using substantially the same management, ownership, or principals as the ineligible entity) with respect to Contractors, the term Affiliated Entity means a person or entity that directly or indirectly controls the Contractor, is controlled by it, or, with the Contractor, is under common control of another person or entity;
- any responsible official of the Disclosing Party, any Contractor or any Affiliated Entity or any other official, agent or employee of the Disclosing Party, any Contractor or any Affiliated Entity, acting pursuant to the direction or authorization of a responsible official of the Disclosing Party, any Contractor or any Affiliated Entity (collectively "Agents").

Neither the Disclosing Party, nor any Contractor, nor any Affiliated Entity of either the Disclosing Party or any Contractor nor any Agents have, during the five years before the date this EDS is signed, or, with respect to a Contractor, an Affiliated Entity, or an Affiliated Entity of a Contractor during the five years before the date of such Contractor's or Affiliated Entity's contract or engagement in connection with the Matter:

- a. bribed or attempted to bribe, or been convicted or adjudged guilty of bribery or attempting to bribe, a public officer or employee of the City, the State of Illinois, or any agency of the federal government or of any state or local government in the United States of America, in that officer's or employee's official capacity;
- b. agreed or colluded with other bidders, or prospective bidders, or been a party to any such agreement; or been convicted or adjudged guilty of agreement or collusion among bidders or prospective bidders, in restraint of freedom of competition by agreement to bid a fixed price or otherwise; or
- c. made an admission of such conduct described in a. or b. above that is a matter of record, but have not been prosecuted for such conduct; or
- d. violated the provisions of Municipal Code Section 2-92-610 (Living Wage Ordinance).

4. Neither the Disclosing Party, Affiliated Entity or Contractor, or any of their employees, officials, agents or partners, is barred from contracting with any unit of state or local government as a result of engaging in or being convicted of (1) bid-rigging in violation of 720 ILCS 5/33E-3; (2) bid-rotating in violation of 720 ILCS 5/33E-4; or (3) any similar offense of any state or of the United States of America that contains the same elements as the offense of bid-rigging or bid-rotating.

5. Neither the Disclosing Party nor any Affiliated Entity is listed on any of the following lists maintained by the Office of Foreign Assets Control of the U.S. Department of the Treasury or the Bureau of Industry and Security of the U.S. Department of Commerce or their successors: the Specially Designated Nationals List, the Denied Persons Lists, the Unverified List, the Entity List and the Debarred List.

6. The Disclosing Party understands and shall comply with the applicable requirements of Chapters 2-55 (Legislative Inspector General), 2-56 (Inspector General) and 2-156 (Governmental Ethics) of the Municipal Code.

7. If the Disclosing Party is unable to certify to any of the above statements in this Part B (Further Certifications), the Disclosing Party must explain below:

N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

8. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all current employees of the Disclosing Party who were, at any time during the 12-month period preceding the execution date of this EDS, an employee, or elected or appointed official, of the City of Chicago (if none, indicate with "N/A" or "none").

N/A

9. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all gifts that the Disclosing Party has given or caused to be given, at any time during the 12-month period preceding the execution date of this EDS, to an employee, or elected or appointed official, of the City of Chicago. For purposes of this statement, a "gift" does not include: (i) anything made generally available to City employees or to the general public, or (ii) food or drink provided in the course of official City business and having a retail value of less than \$20 per recipient (if non, indicate with a "N/A" or "none"). As to any gift listed below, please also list the name of the City recipient.

N/A

C. CERTIFICATION OF STATUS AS FINANCIAL INSTITUTION

1. The Disclosing Party certifies that the Disclosing Party (check one)

is is not

a "financial institution" as defined in Section 2-32-455(b) of the Municipal Code.

2. If the Disclosing Party IS a financial institution, then the Disclosing party pledges:

"We are not and will not become a predatory lender as defined in Chapter 2-32 of the Municipal Code. We further pledge that none of our affiliates is, and none of them will become, a predatory lender as defined in Chapter 2-32 of the Municipal Code. We understand that becoming a predatory lender or becoming an affiliate of a predatory lender may result in the loss of the privilege of doing business with the City."

If the Disclosing Party is unable to make this pledge because it or any of its affiliates (as defined in Section 2-32-455(b) of the Municipal Code) is a predatory lender within the meaning of Chapter 2-32 of the Municipal Code, explain here (attach additional pages of necessary):

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

D. CERTIFICATION REGARDING INTEREST IN CITY BUSINESS

Any words or terms that are defined in Chapter 2-156 of the Municipal Code have the same meanings when used in this Part D.

1. In accordance with Section 2-156-110 of the Municipal Code: Does any official or employee of the City have a financial interest in his or her own name or in the name of any other person or entity in the Matter?

Yes No

NOTE: If you checked "Yes" to Item D.1., proceed to Items D.2. and D.3. If you checked "No" to Item D.1., proceed to Part E.

2. Unless sold pursuant to a process of competitive bidding, or otherwise permitted, no City elected official or employee shall have a financial interest in his or her own name or in the name of any other person or entity in the purchase of any property that (i) belongs to the City, or (ii) is sold for taxes or assessments, or (iii) is sold by virtue of legal process at the suit of the City (collectively, "City Property Sale"). Compensation for property taken pursuant to the City's eminent domain power does not constitute a financial interest within the meaning of this Part D.

Does the Matter involve a City Property Sale?

Yes No

3. If you checked "Yes" to Item D.1., provide the names and business addresses of the City officials or employees having such interest and identify the nature of such interest:

Name	Business Address	Nature of Interest

4. The Disclosing Party further certifies that no prohibited financial interest in the Matter will be acquired by any City official or employee.

E. CERTIFICATION REGARDING SLAVERY ERA BUSINESS

Please check either 1. or 2. below. If the Disclosing Party checks 2., the Disclosing Party must disclose below or in an attachment to this EDS all information required by paragraph 2. Failure to

comply with these disclosure requirements may make any contract entered into with the City in connection with the Matter voidable by the City.

 X 1. The Disclosing Party verifies that the Disclosing Party has searched any and all records of the Disclosing Party and any and all predecessor entities regarding records of investments or profits from slavery, or slaveholder insurance policies during the slavery era (including insurance policies issued to slaveholders that provide coverage for damage to or injury or death of their slaves), and the Disclosing Party has found no such records.

 2. The Disclosing Party verifies that, as a result of conducting the search in step 1 above, the Disclosing Party has found records of investments or profits from slavery or slaveholder insurance policies. The Disclosing Party verifies that the following constitutes full disclosure of all such records, including the names of any and all slaves or slaveholders described in those records:

SECTION VI -- CERTIFICATIONS FOR FEDERALLY-FUNDED MATTERS

NOTE: If the Matter is federally funded, complete this Section VI. If the Matter is not federally funded, proceed to Section VII. For purposes of this Section VI, tax credits allowed by the City and proceeds of debt obligations of the City are not federal funding.

A. CERTIFICATION REGARDING LOBBYING

1. List below the names of all persons or entities registered under the federal Lobbying Disclosure Act of 1995 who have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter: (Add sheets as necessary):

(If no explanation appears or begins on the lines above, or if the letters "NA" or if the work "None" appear, it will be conclusively presumed that the Disclosing Party means that NO persons or entities registered under the Lobbying Disclosure Act of 1995 have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter.)

2. The Disclosing Party has not spent and will not expend any federally appropriated funds to pay any person or entity listed in Paragraph A.1. above for his or her lobbying activities or to pay any person or entity to influence or attempt to influence an officer or employee of any agency, as defined by applicable federal law, a member of Congress, an officer or employee of Congress, or an employee of a member of Congress, in connection with the award of any federally funded contract, making any federally funded grant or loan, entering into any cooperative agreement, or to extend, continue, renew, amend, or modify and federally funded contract, grant, loan, or cooperative agreement.

3. The Disclosing Party will submit an updated certification at the end of each calendar quarter in which there occurs any event that materially affects the accuracy of the statements and information set forth in paragraphs A.1. and A.2. above.

4. The Disclosing Party certifies that either: (i) it is not an organization described in section 501(c)(4) of the Internal Revenue code of 1986; or (ii) it is an organization described in section 501(c)(4) of the Internal Revenue Code of 1986 but has not engaged and will not engage in "Lobbying Activities".

5. If the Disclosing Party is the applicant, the Disclosing Party must obtain certifications equal in form and substance to paragraphs A.1. through A.4. above from all subcontractors before it awards any subcontract and the Disclosing Party must maintain all such subcontractors' certifications for the duration of the Matter and must make such certifications promptly available to the City upon request.

B. CERTIFICATION REGARDING EQUAL EMPLOYMENT OPPORTUNITY

If the Matter is federally funded, federal regulations require the Applicant and all proposed subcontractors to submit the following information with their bids or in writing at the outset of negotiations.

Is the Disclosing Party the Applicant?

Yes No

If "Yes," answer the three questions below:

1. Have you developed and do you have on file affirmative action programs pursuant to applicable federal regulations? (See 41 CFR Part 60-2).

Yes No

2. Have you filed with the Joint Reporting Committee, the Director of the Office of Federal contract Compliance Programs, or the Equal Employment Opportunity Commission all reports due under the applicable filing requirements?

Yes No

3. Have you participated in any previous contracts or subcontracts subject to the equal opportunity clause?

Yes No

If you checked "No" to question 1. or 2. above, please provide an explanation:

SECTION VII -- ACKNOWLEDGMENTS, CONTRACT INCORPORATION, COMPLIANCE, PENALTIES, DISCLOSURE

The Disclosing Party understand and agrees that:

A. The certifications, disclosures, and acknowledgments contained in this EDS will become part of any contract or other agreement between the Applicant and the City in connection with the Matter, whether procurement, City assistance, or other City action, and are material inducements to the City's execution of any contract or taking other action with respect to the Matter. The Disclosing Party understands that it must comply with all statutes, ordinances, and regulations on which this EDS is based.

B. The City's Governmental Ethics and Campaign Financing Ordinances, Chapters 2-156 and 2-164 of the Municipal Code, impose certain duties and obligations on persons or entities seeking City contracts, work, business, or transactions. The full text of these ordinances and a training program is available on line at www.cityofchicago.org/Ethics, and may also be obtained from the City's Board of Ethics, 740 N.

Sedgwick St., Suite 500, Chicago, IL 60610, (312) 744-9660. The Disclosing Party must comply fully with the applicable ordinances.

C. If the City determines that any information provided in this EDS is false, incomplete or inaccurate, any contract or other agreement in connection with which it is submitted may be rescinded or be void or voidable, and the City may pursue any remedies under the contract or agreement (if not rescinded or void), at law, or in equity, including terminating the Disclosing Party's participation in the Matter and/or declining to allow the Disclosing Party to participate in other transactions with the City. Remedies at law for a false statement of material fact may include incarceration and an award to the City of treble damages.

D. It is the City's policy to make this document available to the public on its Internet site and/or upon request. Some or all of the information provided on this EDS and any attachments to this EDS may be made available to the public on the Internet, in response to a Freedom of Information Act request, or otherwise. By completing and signing this EDS, the Disclosing Party waives and releases any possible rights or claims which it may have against the City in connection with the public release of information contained in this EDS and also authorizes the City to verify the accuracy of any information submitted in this EDS.

E. The information provided in this EDS must be kept current. In the event of changes, the Disclosing Party must supplement this EDS up to the time the City takes action on the Matter. If the Matter is a contract being handled by the City's Department of Procurement Services, the Disclosing Party must update this EDS as the contract requires. **NOTE:** With respect to Matters subject to Article I of Chapter 1-23 of the Municipal Code (imposing **PERMANENT INTELIGIBILITY** for certain specified offenses), the information provided herein regarding eligibility must be kept current for a longer period, as required by Chapter 1-23 and Section 2-154-020 of the Municipal Code.

The Disclosing Party represents and warrants that:

F.1. The Disclosing Party is not delinquent in the payment of any tax administered by the Illinois Department of Revenue, nor are the Disclosing Party or its Affiliated Entities delinquent in paying any fine, fee, tax or other charge owed to the City. This includes, but is not limited to, all water charges, sewer charges, license fees, parking tickets, property taxes or sales taxes.

F.2. If the Disclosing Party is the Applicant, the Disclosing Party and its Affiliated Entities will not use, nor permit their subcontractors to use, any facility on the U. S. E.P.A. on the federal Excluded Parties List System ("EPLS) maintained by the U.S. General Services Administration.

F.3. If the Disclosing Party is the Applicant, the Disclosing Party will obtain from any contractors/subcontractors hired or to be hired in connection with the Matter certifications equal in form and substance to those in F.1. and F.2. above and will not, without the prior written consent of the City, use any such contractor/subcontractor that does not provide such certifications or that the Disclosing Party has reason to believe has not provided or cannot provide truthful certifications.

NOTE: If the Disclosing Party cannot certify as to any of the items in F.1., F.2. or F.3. above, an explanatory statement must be attached to this EDS.

CERTIFICATION

Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS and Appendix A (if applicable) on behalf of the Disclosing Party, and (2) warrants that all certifications and statements contained in this EDS and Appendix A (if applicable) are true, accurate and complete as of the date furnished to the City.

Chicago Title Trust Company # 100600333
(Print or type name of Disclosing Party)

By: [Signature]
(Sign here)

Greg Mruk

(Print or type name of person signing)

Beneficiary

(Print or type title of person signing)

By: [Signature]
(Sign here)

Barbara Mruk

(Print or type name of person signing)

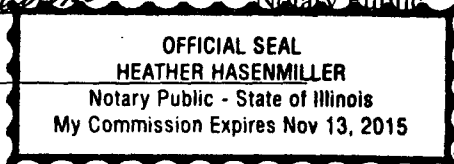
Beneficiary

(Print or type title of person signing)

Signed and sworn to before me on (date) 6-15-12
at Cook County, Illinois.

[Signature] Notary Public

Commission expires:



**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX A**

FAMILIAL RELATIONSHIPS WITH ELECTED CITY OFFICIALS AND DEPARTMENT HEADS

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5 percent. It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

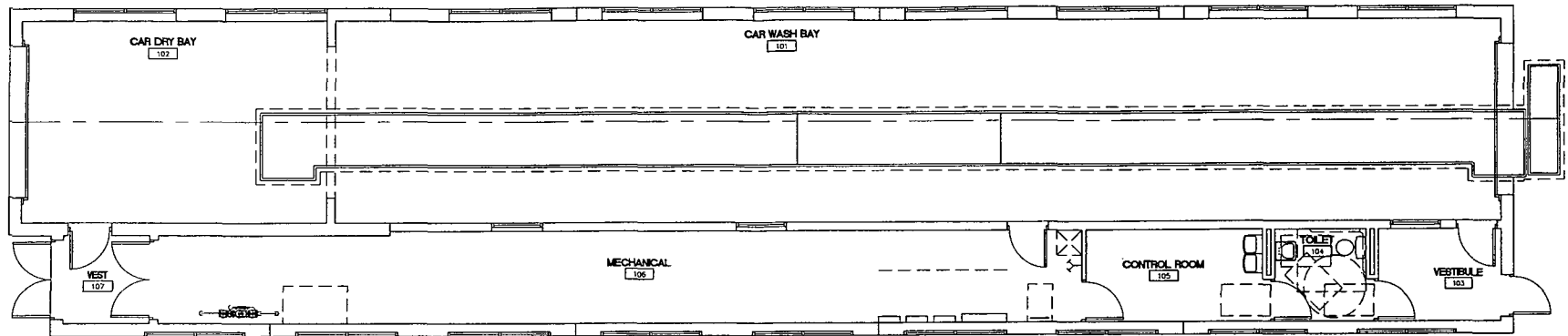
Under Municipal Code Section 2-154-015, the Disclosing Party must disclose whether such Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently has a "familial relationship" with any elected city official or department head. A "familial relationship" exists if, as of the date this EDS is signed, the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof is related, by blood or adoption, to the mayor, any alderman, the city clerk, the city treasurer, or any city department head as parent, child, brother or sister, aunt or uncle, niece or nephew, grandparent, grandchild, father-in-law, mother-in-law, son-in-law, daughter-in-law, stepfather or stepmother, stepson or stepdaughter, stepbrother or stepsister or half-brother or half-sister.

"Applicable Part" means (1) all corporate officers of the Disclosing Party, if the Disclosing Party is a corporation; all partners of the Disclosing party, if the Disclosing Party is a general partnership; all general partners and limited partners of the Disclosing Party, if the Disclosing Party is a limited partnership; all managers, managing members and member of the Disclosing Party, if the Disclosing Party is a limited liability company; (2) all principal officers of the Disclosing Party; and (3) any person having more than a 7.5 percent ownership interest in the Disclosing Party. "Principal officers" means the president, chief operating officer, executive director, chief financial officer, treasurer or secretary of a legal entity or any person exercising similar authority.

Does the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently have a "familial relationship" with an elected city official or department head?

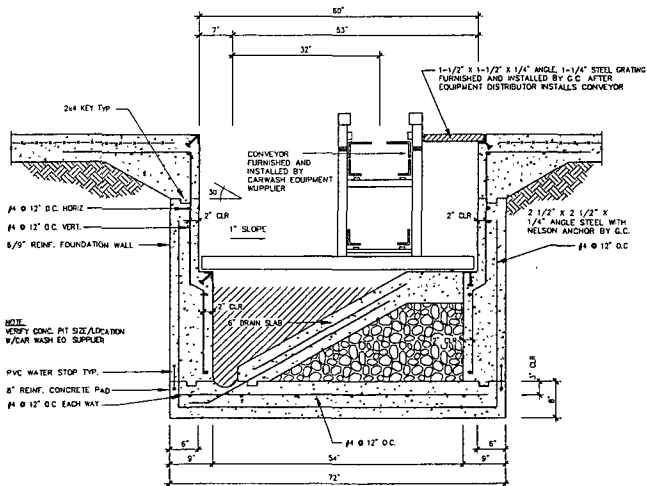
[] Yes [X] No

If yes, please identify below (1) the name and title of such person, (2) the name of the legal entity to which such person is connected; (3) the name and title of the elected city official or department head to whom such person has a familial relationship, and (4) the precise nature of such familial relationship.

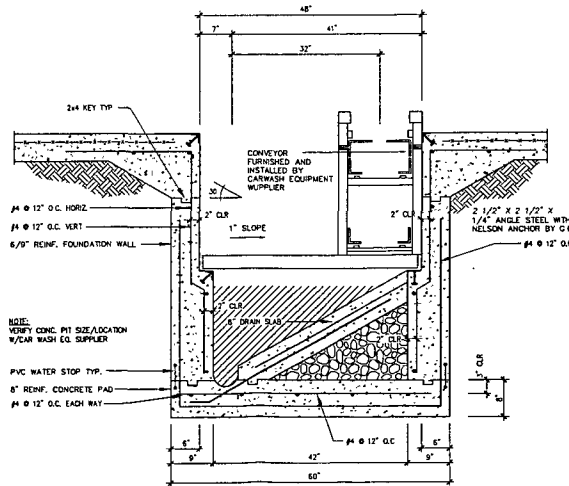


THIS PLAN HAS BEEN PROVIDED FOR REFERENCE ONLY. SEE CONSTRUCTION DOCUMENTS PROVIDED BY CARWASH EQUIPMENT SUPPLIER FOR ALL INFORMATION REGARDING SPECIFICATIONS, INSTALLATION, ETC. OF CARWASH EQUIPMENT

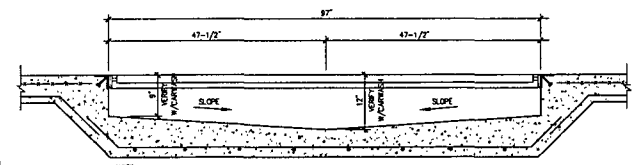
EQUIPMENT FLOOR PLAN
SCALE 1/4" = 1'-0"



DIAGRAMMATIC ENTRANCE/EXIT CONVEYOR TRENCH SECTION
SCALE: 1" = 1'-0"



DIAGRAMMATIC CENTER CONVEYOR TRENCH SECTION
SCALE: 1" = 1'-0"



DIAGRAMMATIC INGROUND CORRELATOR CONCRETE PIT SECTION
SCALE: 1" = 1'-0"

ISSUED FOR CONSTRUCTION: 04-24-2012
ISSUED FOR BID: 04-24-2012
ISSUED FOR PRELIM: 04-19-2012

JOB# 1203
REPAIR EXISTING CAR WASH CLEAN MACHINE CAR WASH
3310 WEST IRVING PARK ROAD
CHICAGO, ILLINOIS 60618

F.11

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
111 WEST PETERSON AVENUE, SUITE 803
PARK RIDGE, ILLINOIS 60068
TEL: 847-686-4400 FAX: 847-686-4883
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**CITY OF CHICAGO DEPARTMENT OF BUILDINGS
GENERAL BUILDING REQUIREMENTS PER CHICAGO ZONING ORDINANCE
(CZO) AND CHICAGO BUILDING CODE (CBC) 2008 EDITION**

ITEM	ISSUE	CHAPTER/ARTICLE	ORDINANCE ALLOWABLE	ACTUAL	REQUIREMENT N/A	LOCATION/SHEET NO.	AGENCY/TEST NO.	REMARKS
ZONING REQUIREMENTS								
NEW BUILDING								
01	ZONING DISTRICT	CZO TITLE 17		SOUTH 03'-1, NORTH RS-3	N/A	A1.0 MATRIX		PER 17-10-0207-N
02	LOT AREA			SOUTH 12.803, NORTH 2.955	A1.0 MATRIX			
03	MINIMUM FLOOR AREA RATIO	17-3-0403	SOUTH 1.2, NORTH 0.8	SOUTH 0.28, NORTH 0.0	A1.0 MATRIX			
04	TOTAL BUILDING AREA			SOUTH 3,076 SQ. FT, NORTH 0	A1.0 MATRIX			
05	TOTAL BUILDING VOLUME		N/A	SOUTH 43,064 CU. FT, NORTH 0	A1.0 MATRIX			
06	BUILDING HEIGHT-NO. OF FLOORS	17-3-0406	SOUTH 38, NORTH 20'	SOUTH 25', NORTH 0'	A1.0 MATRIX			
07	MINIMUM YARDS							
	a) NORTH YARD	17-3-0405-B	SOUTH 2', NORTH 12'	SOUTH 5.7', NORTH 23.53'	A1.1			
	b) SOUTH YARD	17-3-0404	SOUTH 0', NORTH 17'	SOUTH 0.0', NORTH 23.53'	A1.1			
	c) EAST YARD	17-3-0408	SOUTH 0', NORTH 20'	SOUTH 0.25', NORTH 125.6'	A1.1			
	d) WEST YARD	17-3-0406	SOUTH 0', NORTH 20'	SOUTH 0.25', NORTH 125.6'	A1.1			
08	GRADE ELEVATION (CDD)						SEE CIVIL ENGINEERING	
09	OFF STREET LEVADING	17-10-1100			NA			
10	OFF STREET PARKING	17-10-0207-N	D SPACES	14 TOTAL SPACES (1 HC SPACE)	A1.1			NO OFF-STREET PARKING SPACES OR BIKES, BIKING SPACES NOT REQUIRED
11	BICYCLE PARKING	17-10-0207	D SPACES	0				
12	LANDSCAPING	17-11-0100				SEE SHEET L11		
13	TOWNHOUSE COMMONS				NA			
BUILDING REQUIREMENTS								
NEW BUILDING								
01	OCCUPANCY CLASSIFICATION(S)	3 (13-56-200)		SOUTH H3, NORTH PARKING	A1.0 MATRIX		CARWASH	
02	HEIGHT LIMITATIONS	5 (13-48-030)	30'-0"/2 STY	26'-0"/1 STORY	A1.0 MATRIX			
	a) EXCEPTIONS TO HEIGHT LIMITATIONS	5 (13-48-040)			NA			
	b) AREA LIMITATIONS, BASE SQ FT	5 (13-48-050)	15,000 SQ FT	3,076 SQ FT	A1.0 MATRIX			
	1) PERIMETER				NA			
	2) FIRE PROTECTION				NA			
	3) UNLIMITED				NA			
	4) MIXED OCCUPANCY BUILDINGS				NA			
03	TYPES OF CONSTRUCTION	6 (13-60-100)		II-B	A1.0 MATRIX			
04	MIXED OCCUPANCY SEPARATIONS	3 (13-56-250)			NA			
05	REQ. HRS OF FIRE RESISTANCE	6 (13-60-100)						
	EXTERIOR BEARING WALLS	TABLE 6 (13-60-100)	3 HR	3 HR	A1.1 LEGEND	UL, URO1		
	EXTERIOR NONBEARING WALLS	TABLE 6 (13-60-100)	2 HR	3 HR	A1.1 LEGEND	UL, URO1		
	TYPE B SEPARATION	5 (13-116-050)			NA			
	INTERIOR BEARING WALLS	TABLE 6 (13-60-100)	1 HR	1 HR	A1.1 LEGEND	UL, URO1		
	INTERIOR NONBEARING WALLS	TABLE 6 (13-60-100)	0 HR	0 HR	A1.1 LEGEND			
	COLUMNS	TABLE 6 (13-60-100)			NA			
	COLUMNS SUPPORTING ROOF ONLY	TABLE 6 (13-60-100)			NA			
	BEAMS	TABLE 6 (13-60-100)			NA			
	BEAMS SUPPORTING ROOF ONLY	TABLE 6 (13-60-100)			NA			
	FLOOR CONSTRUCTION	TABLE 6 (13-60-100)			CLAB ON GRADE			
	UPPER LEVEL FLOOR CONSTRUCTION				NA			
	ROOF CONSTRUCTION	TABLE 6 (13-60-100)	0 HR	0 HR	A1.1 LEGEND		PER 6 (13-60-100)	
06	ELEVATOR FRAMING	6 (13-60-130)			NA			
07	A) MEZZANINE FLOORS (10X)	6 (13-60-160)			NA			
07	B) UNLIMITED BUILDING MEZZANINE	5 (13-48-070)(2)			NA			
08	BASEMENT CONSTRUCTION	6 (13-60-170)			NA			
09	DRIVEWAYS AND LOADING SPACES	6 (13-60-210)			NA			
210	FIRE RESISTIVE REQUIREMENTS	7 (15-8)						
	a) FIRE BARRIER CONSTRUCTION	7 (15-8-010)			NA			
	b) PARAPETS	7 (15-8-100)	YES	YES	A1.1 LEGEND	UL, URO1	ALL EXTERIOR WALLS	
	c) STAIRWAY ENCLOSURE	7 (15-8-140)			NA			
	d) ELEVATOR ENCLOSURES	7 (15-8-150)			NA			
	e) ENCLOSURES OF HEATING ROOMS	7 (15-8-180)			NA			
	f) ENCLOSURES OF WELLS & CHUTES	7 (15-8-170)			NA			
	g) OTHER ENCLOSURES	7 (15-8-240)			NA			
	h) INTERIOR WALL AND CEILING FINISHES	7 (15-8-380)			NA			
	i) STORAGE ROOMS OVER 100 SQ FT.	7 (15-8-240)(b)			NA			
	j) CLASS 5 ENGINE ROOM				NA			
211	FIRE - RESISTIVE WALL & CONST	7 (15-12)			NA			
	a) IRON PLASTICS	7 (15-12-350)			NA			
212	ACCEPTED ENGINEERING PRACTICE, RECOGNIZED AGENCIES	7 (15-12-050)			NA			
213	FIRE PROTECTION EQUIPMENT	8 (15-16)						
	a) SPRINKLER SYSTEM	8 (15-16-010)			NA			
	b) SPECIAL REQUIREMENTS	8 (15-16-030)			NA			
EGC REQUIREMENTS								
301	TYPES OF EXITS	10 (13-160-040)	SWING	SWING		A2.1 PLAN		
302	MINIMUM NUMBER OF EXITS	10 (13-160-050)(a)(1)	1	2		A2.1 PLAN		
303	TRAVEL DISTANCE TO EXITS	10 (13-160-110)	75'-0"	70'-0"		A2.1 PLAN		
	a) INCREASES PERMITTED (SPRINKLED)	10 (13-160-150)			NA			
	b) DEAD END CORRIDOR	10 (13-160-160)			NA			
304	CAPACITY OF EXITS	10 (13-160-210)	BUILDING AREA 3,076/100 = 31	2 * 36 = 72		A1.0 MATRIX	3 (13-56-320)	
305	MINIMUM WIDTH OF EXITS	10 (13-160-230)	5'-0" PER DR	3'-0" PER DR				
306	SWING OF EXIT DOORS	10 (13-160-250)	OUT	OUT		A2.1 PLAN		
307	HARDWARE	10 (13-160-260)	LEVER	LEVER		SHEET A2.1		HARDWARE SCHEDULE SHEET A2.1
308	REVOLVING DOORS	10 (13-160-270)			NA			
309	LANDINGS	10 (13-160-310)			NA			
310	HANDRAILS	10 (13-160-320)			NA			
311	CONSTRUCTION	10 (13-160-330)			NA			
312	ENCLOSURES	7 (15-8-140)			NA			
313	HEAD ROOM	10 (13-160-350)			NA			

ITEM	DESCRIPTION	CODE	SECTION	ORDINANCE REQUIREMENTS	ACTUAL	REQUIREMENT N/A	LOCATION/SHEET NO.	AGENCY/TEST NO.	REMARKS
ACCESSIBILITY									
	AUTO LAUNDRY	ILLINOIS ACCESSIBILITY CODE (IAC) - PUBLIC FACILITIES NEW CONSTRUCTION	400.310				A2.1 NOTES		A2.1 PLAN
	IAC	IAC - MULTI STORY HOUSING, NEW CONSTRUCTION	400.350-360				NA		A2.1 NOTES
	IAC PUBLIC FACILITIES, ADDITIONS		400.410				NA		
	IAC PUBLIC FACILITIES, ALTERATIONS		400.510				NA		
	IAC HISTORIC PRESERVATION		400.610				NA		
PRIVATELY AND GOVERNMENT FUNDED FACILITIES, PRIVATELY FUNDED HOUSING, GOVERNMENT FUNDED HOUSING									
	FACILITIES NEW CONSTRUCTION AND ADDITIONS						NA		
	EXISTING BEING ALTERED						NA		
PRIVATELY FUNDED HOUSING, GOVERNMENT FUNDED HOUSING									

ITEM	ISSUE	CHAPTER/ARTICLE	ORDINANCE REQUIREMENTS	ACTUAL	REQUIREMENT N/A	LOCATION/SHEET NO.	AGENCY/TEST NO.	REMARKS
VERTICAL CIRCULATION								
	N/A							
DEMOLITION								
	N/A							
STRUCTURAL								
	SEE STRUCTURAL DRAWINGS					S-1, S-2, S-3		1 STORY MASONRY BUILDING FOR CARWASH USE
	STRUCTURAL CALCULATIONS					CALCS		
AIR / VENTILATION								
	VENTILATION	28 (18-28-403.1)		YES		SEE HVAC		VENT SCHEDULE, EXH
	FAJ LOCATION	28 (18-28-401.5.2)		N/A		N/A		
	COOLERS, FREEZERS	28 (18-28-403.3.2)		N/A		N/A		
	UNIT HEATERS	28 (18-28-920.4)		YES		SEE HVAC		10' CLEAR ABOVE FIN. FLOOR
REFRIGERATION								
	N/A							
PLUMBING								
	NEW TOILETS	29(18-29)	YES	YES		SEE PLUMBING		(1) NEW TOILET
	NEW FLOOR DRAINS	29(18-29-412)	YES	YES		SEE PLUMBING		
	HAND SINK	29(18-29-418)	YES	YES		SEE PLUMBING		
	OIL SEPARATOR	29(18-29-1002)	YES	YES		SEE PLUMBING		
	HOT WATER HEATER	29(18-29-501)	YES	YES		SEE PLUMBING		
	CAR WASH EQUIPMENT		YES	YES		SEE CARWASH		SEE CARWASH EQUIPMENT DRAWINGS
ELECTRICAL								
	SERVICE	18-27-230	YES	YES		SEE ELECTRICAL		NEW 800 AMP 3M 480/277V
	CONDUCTORS	18-27-348	YES	YES		SEE ELECTRICAL		NEED CONDUIT FOR WASHBAY & ROOF
	STARTERS AND DISCONNECTS	18-27-380	YES	YES		SEE ELECTRICAL		NEEA 4 FOR WASHBAY & ROOF
	FLEXIBLE CORDS	18-27-400	YES	N/A		N/A		
	LIGHTING	18-27-410	YES	YES		SEE ELECTRICAL		
	APPLIANCES	18-27-422	N/A	N/A		N/A		
	MECHANICAL	18-27-424	YES	YES		SEE ELECTRICAL		
	HEAT TRACE	18-27-427	N/A	N/A		N/A		
	MOTORS	18-27-430	YES	YES		SEE ELECTRICAL		
	AIR CONDITIONING & REFRIGERATION	18-27-440	N/A	N/A		N/A		
	HAZARDOUS	18-27-424	N/A	N/A		N/A		
	ELEVATORS	18-27-620	N/A	N/A		N/A		
	BATTERY CHARGERS	18-27-625	N/A	N/A		N/A		
	EMERGENCY SYSTEMS	18-27-700	YES	YES		SEE ELECTRICAL		CLASS 3 BATTERY PACKS

REQUIREMENT FOR ALL CONTRACTORS

ALL CONTRACTORS SHALL COMPLY WITH THE CITY OF CHICAGO ENERGY CODE AND ALL OF ITS REQUIREMENTS INCLUDING BUT NOT LIMITED TO:

- PRODUCT IDENTIFICATION
- PRODUCT INSTALLATION
- EQUIPMENT EFFICIENCY
- SYSTEM MAINTENANCE
- SYSTEM CONTROLS
- SYSTEM PERFORMANCE
- PRODUCT AND SYSTEM CERTIFICATION

ALL CONTRACTORS SHALL SUBMIT ALL INFORMATION AS REQUIRED FOR THEIR APPROVAL BY CITY OF CHICAGO BUILDING DEPARTMENT INSPECTORS.

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR A ONE STORY MASONRY CARWASH BUILDINGS ARE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO. BUILDINGS EXCEPT WATER HEATER, DAMPERS AND LIGHTING ARE EXEMPT AS NON-OCCUPIED SPACES.

I HAVE PREPARED OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS. I STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATIONS, THEY ARE IN COMPLIANCE WITH THE LOCAL ORDINANCES OF CHICAGO, ILLINOIS, ENVIRONMENTAL QUALITY ACT, THE STATE OF ILLINOIS ACCESSIBILITY CODE, AND ANSI A 117.1-1986.

SIGNED: _____ DATED: _____ SIGNED: _____ DATED: _____
 ALAN R. SCHNEIDER, ILLINOIS REG # 7829 ALAN R. SCHNEIDER, ILLINOIS REG # 7829
 LICENSE EXPIRES 11-30-2013 LICENSE EXPIRES 11-30-2013
 PROFESSIONAL DESIGN LICENSE # 184-002957 (1-007829) PROFESSIONAL DESIGN LICENSE # 184-002957 (1-007829)

BUILDING OWNER
 GREGORY URUK
 CLEAN MACHINE CAR WASH
 3218 WEST IRVING PARK ROAD
 CHICAGO, ILLINOIS 60618
 PHONE 312-856-2152
 FAX 847-823-6991

CIVIL ENGINEERING
 BERNARD BOND, P.E.
 BOND CONSULTING, INC.
 1018 BUSSE HIGHWAY
 PARK RIDGE, ILLINOIS 60018
 PHONE 847-823-3300
 FAX 847-823-3303

STRUCTURE ENGINEERING
 NATHAN SCHUETTE, P.E.
 ROBERT L. MILLER ASSOCIATES LTD.
 1835 SOMERVING ROAD, SUITE C
 ROLLING MEADOWS, ILLINOIS 60008
 PHONE 847-748-0923
 FAX 847-748-0923

MECHANICAL ENGINEERING
ELECTRICAL ENGINEERING
PLUMBING ENGINEERING

NOVA ENGINEERING, PC
 3548 RIDGE ROAD
 LAUNING, ILLINOIS 60438
 PHONE 708-889-0885
 FAX 708-889-0204

CAR WASH EQUIPMENT
 DAVID EVANOR
 CARWASH SERVICES, INC.
 1338 ENTERPRISE DRIVE
 ROMEOVILLE, ILLINOIS 60448
 PHONE 708-417-0005

DRAWING SHEET INDEX

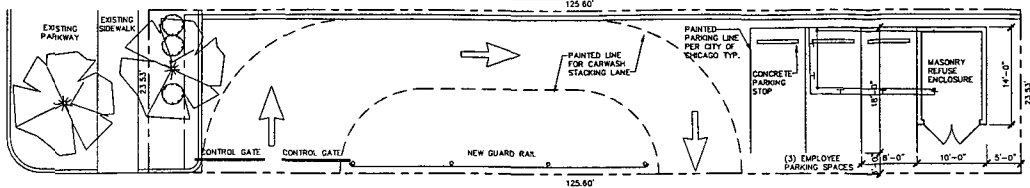
- CIVIL ENGINEERING
- SEE CIVL DWGS BY BOND ENGINEERING
- ARCHITECTURAL
- A1.1 - SITE PLAN, ROOF PLANS & DETAILS
- A2.1 - FLOOR PLAN, SCHEDULES, TOILETS
- A3.1 - BUILDING ELEVATIONS
- A4.1 - BUILDING SECTIONS
- A5.1 - BUILDING DETAILS
- A5.2 - BUILDING DETAILS
- A6.1 - SPECIFICATION
- LANDSCAPE
- L1.0 - LANDSCAPE PLAN & DETAILS
- STRUCTURAL
- S1.0 - SPECIFICATION & DETAILS
- S2.0 - FOUNDATION AND FRAMING PLANS
- S3.0 - STRUCTURAL DETAILS
- MECHANICAL
- M1.0 - MECHANICAL FLOOR PLAN
- M2.0 - MECHANICAL SPECIFICATION, NOTES, SCHEDULES
- ELECTRICAL
- E1.0 - ELECTRICAL LIGHTING PLAN
- E2.0 - ELECTRICAL POWER PLAN
- E3.0 - ELECTRICAL SPECIFICATION, NOTES, SCHEDULES & RISERS
- EMERGENCY LIGHTING PLAN
- EQUIPMENT
- P1.0 - PLUMBING FLOOR PLAN & RISERS
- P2.0 - PLUMBING SPECIFICATION, NOTES, & SCHEDULES
- ELECTRICAL
- E1.0 - ELECTRICAL LIGHTING PLAN
- E2.0 - ELECTRICAL POWER PLAN
- E3.0 - ELECTRICAL SPECIFICATION, NOTES, SCHEDULES & RISERS
- EMERGENCY LIGHTING PLAN
- EQUIPMENT
- F1.1 - DIAGRAMMATIC EQUIPMENT PLAN

ISSUED FOR CONSTRUCTION: 04-24-2012
 ISSUED FOR PERMIT: 04-24-2012
 ISSUED FOR BID: 04-24-2012
 ISSUED FOR PRELIM: 04-18-2012

JOB# 12C1
 REBUILD EXISTING CAR WASH
 CLEAN MACHINE CAR WASH
 3218 WEST IRVING PARK ROAD
 CHICAGO, ILLINOIS 60618

arsa associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1411 WEST PETERSON AVENUE, SUITE 203
 ELSTON, ILLINOIS 60630
 TEL. 847-888-4838 FAX 847-888-8889
 ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

A1.0

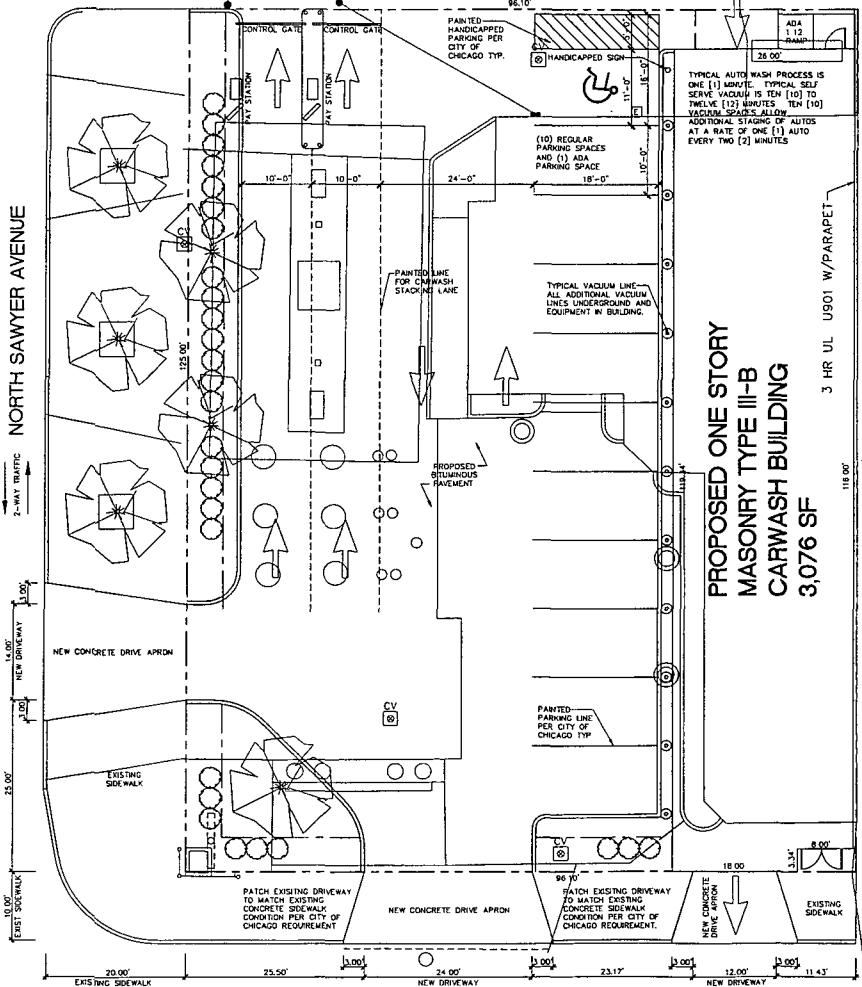


EXISTING ALLEY ACCESS

TWO (2) AUTO STAGING LINES CONTROLLED BY AUTOMATIC GATE SYSTEM INTERCONNECTED WITH CARWASH EQUIPMENT. AUTO ALLOWED TO PROCEED TO CARWASH ENTRY STAGING SPACE WHEN AVAILABLE.

EXISTING 16' ALLEY

TYPICAL AUTO ACCESS THRU ALLEY TO CARWASH ENTRY ALDERMAN'S ALLEY ACCESS VARIANCE REQUEST BY PROCESS.



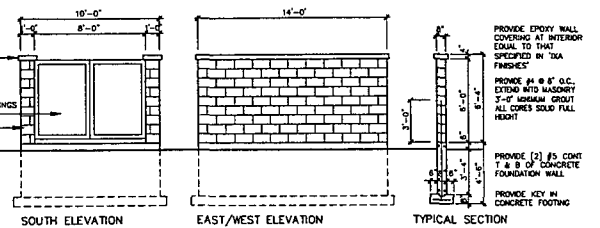
**PROPOSED ONE STORY
MASONRY TYPE III-B
CARWASH BUILDING
3,076 SF**

GENERAL SITE NOTES

- NOTE: THIS PLAN DRAWING IS TO BE USED FOR GENERAL BUILDING CONSTRUCTION ONLY. DO NOT USE THIS DRAWING FOR SITE WORK.
- NOTE: SEE CIVIL ENGINEERING DOCUMENTS FOR ALL SITE DEVELOPMENT ISSUES INCLUDING BUT NOT LIMITED TO SITE UTILITIES, ROOF AND SITE DRAINAGE, DRIVEWAYS, PAVEMENT, SIDEWALKS, SITE LIGHTING, ETC.
- NOTE: SEE CIVIL ENGINEERING DOCUMENTS FOR ALL SITE ACCESSIBILITY ISSUES INCLUDING BUT NOT LIMITED TO ADA COMPLIANT PARKING, RAMP, WALKWAYS, SIGNAGE, COMPLETE ACCESSIBLE ROUTE, ETC.
- NOTE: GENERAL CONTRACTOR SHALL BE IN FULL CHARGE OF THE CONSTRUCTION SITE. ALL CONSTRUCTION ACTIVITIES, MEANS AND METHODS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH ALL LOCAL OPTICAL REQUIREMENTS. ALL CONSTRUCTION ACTIVITY SHALL MEET ALL LOCAL CODE REQUIREMENTS.
- NOTE: GENERAL CONTRACTOR SHALL CONFORM WITH LOCAL CODE REQUIREMENTS FOR CONSTRUCTION HOURS, DEMOLITION, PARKING, LOADING, DELIVERIES, SPOOLS, MATERIAL STORAGE, EXCAVATION, ETC. AS REQUIRED.
- NOTE: GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FENCING AROUND SITE DURING CONSTRUCTION TO MEET LOCAL CODE REQUIREMENTS. PROVIDE LOCKABLE GATE AT TEMPORARY CONSTRUCTION ACCESS. PROVIDE "NO TRESPASSING" SIGNS AS REQUIRED.
- NOTE: GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY TOILET DURING CONSTRUCTION AND MAINTAIN PER LOCAL CODE REQUIREMENTS.
- NOTE: GENERAL CONTRACTOR SHALL COORDINATE WITH STATE OF ILLINOIS LICENSED SURVEYOR FOR SITE CONSTRUCTION STAKING AND "AS BUILT" FOUNDATION SURVEY WITH REQUIRED ZONING SETBACKS TO MEET ALL LOCAL CODE REQUIREMENTS.
- NOTE: GENERAL CONTRACTOR SHALL COORDINATE WITH EXCAVATION, CONCRETE, ELECTRICAL AND EQUIPMENT CONTRACTORS FOR COMPLETE INSTALLATION OF EQUIPMENT SYSTEM.
- NOTE: SEE SEPARATE LANDSCAPE DOCUMENTS FOR ALL SITE LANDSCAPE ISSUES.
- NOTE: SEE SEPARATE CARWASH DOCUMENTS FOR ALL CARWASH ISSUES.

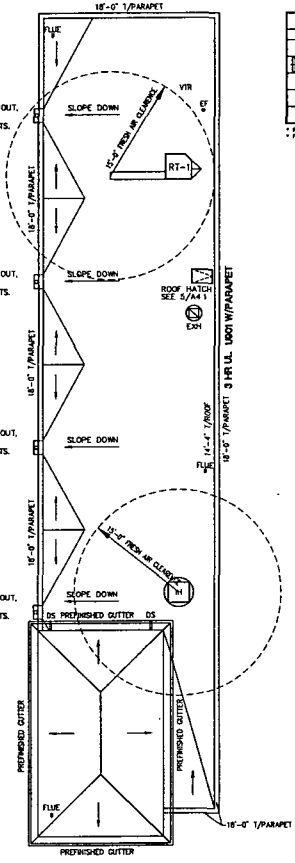
**DRIVEWAY PLAN/
LANDSCAPE PLAN/SITE PLAN**

WEST IRVING PARK ROAD 2-WAY TRAFFIC



TRASH ENCLOSURE

SCALE: 1/2" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

SYMBOL	DESCRIPTION	REQ. SIZE	GRADE BY
②	ROOF CLIMB FOR EXHAUST	2'x4"	EX-8
○	PIPE SUPPORT	3'x4"	EX-8
○	ROOF STAIR	4'x4"	EX-4
○	FLUE	4'x4"	EX-4
⑤	ROOF HATCH	5'x4"	EX-4

* ROOF DECK PROVIDED AND SET BY MECHANICAL CONTRACTOR
* FLASHED BY ROOFER

ISSUED FOR CONSTRUCTION

ISSUED FOR PERMIT 04-24-2012

ISSUED FOR BID 04-24-2012

ISSUED FOR PRELIM: 04-18-2012

JOB# 12C3

RENAISSANCE CAR WASH
CLEAN MACHINE CAR WASH
3216 WEST IRVING PARK ROAD
CHICAGO, ILLINOIS 60616

A11

arsa associates

ALAN R. SCHNEIDER ARCHITECTS P.C.
1111 WEST PULASKI AVENUE, SUITE 800
PULASKI BUILDING 60607
TEL: 312-488-4438 FAX: 312-488-8853

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**ENERGY STATEMENT
SELF-SERVICE AND AUTOMATIC CARWASH**

101 COMPLIANCE

**18-13-101.4b
EXEMPTION - CARWASH**
The space is used for self-service, mechanical and automated car wash

**18-13-101.4.2.6
COMMERCIAL BUILDING APPLICABILITY**

**411
NEW BUILDING**
New buildings shall comply with Sections 7 or 8.

301 THERMAL DESIGN PARAMETERS

**18-13-301.1
EXTERIOR DESIGN CONDITIONS**

The following design criteria shall be used:
Winter, Design Dry-bulb -10 deg F
Summer, Design Dry-bulb 92 deg F
Summer, Design Wet-bulb 74 deg F
Degree days heating 6151 HDD
Degree days cooling 1015 HDD

303 URBAN HEAT ISLANDS

**18-13-303.1
ROOF REFLECTANCE**
Grey Ballasted EPDM Corkite, Firestone, Conlmark, Genflex Reqd=0.25, actual=0.34

**304 MATERIALS, SYSTEMS
AND EQUIPMENT**

All insulation materials, caulking and weatherstripping, fenestration assemblies, mechanical equipment and system components, water heating equipment and system components, and lighting fixtures shall be installed in accordance with the manufacturer's installation instructions as well as the documentation requirements of this code.

Sealed and dated certifications by the installer shall be provided for: "R" value of wall, roof, subfloor and perimeter insulation, "U" factor + "SHGC" coefficient and air leakage for fenestration, "R" value of duct insulation, efficiency of boilers + unit heaters, EER of HVAC units, lighting fixtures + ASHRAE 90.1 compliance, water heater energy efficiency. Certifications must be provided to the architect prior to final payments.

**18-13-304.5(2)
EXTERIOR NON-GLAZED DOOR**

HD door & frame	Ceco Innersat-SOI Frame	System U' Value
Insulated Overhead Door	Overhead Door 426 w/stryme	Reqd = 0.35, actual door = 07 Reqd = 0.35, actual door = .14

**802 BUILDING ENVELOPE
REQUIREMENTS**

FOR BUILDINGS WITH LESS THAN
50% GLAZED AREA OF WALLS
FENESTRATION (384)/WALL (3800)-10X

**802.12
MOISTURE CONTROL**

Vapor retarder shall have a maximum perm rating of 1.0.
Caulk and freeze vapor barriers are required and shall be installed for appropriate design criteria.

**802.2(1)
WINDOW AND GLAZED DOOR AREA 10% - 25%
OF ABOVE GRADE WALL AREA**

Perimeter insulation 4"x2" Rigid Insul	Reqd R = 8, actual = 13
Concrete roof w/ 4" Iso Insul	Reqd R = 19, actual = 27
Masonry @ Carwash	Reqd R = 0, non occupied, 0.24[U] + 50[TD] = 12 btuh per IEC

**18-13-802.3.2
SEALING OF BUILDING ENVELOPE**

Seams, openings and penetrations in the building envelope shall be sealed with caulking materials or closed with gasketing systems compatible with construction materials and locations.

**18-13-802.3.3
DAMPERS**

Dampers shall be equipped with motorized dampers with a minimum leakage rate of 3 cm³/sq ft at 1-0 in w.g.

**803 BUILDING MECHANICAL
SYSTEMS**

**18-13-803.2(4)
GAS WARM AIR FURNACES AND UNIT HEATERS**

2225MBH Furnace	Reqd AFUE = 80%, actual E = 80%
Unit Heater	Reqd AFUE = 80%, actual E = 80%

**18-13-803.2.11
EQUIPMENT SIZING**

The design professional shall endeavor to design the systems as close to the design load calculations as practical.

**803.3.4.1
TEMPERATURE RESET FOR AIR SYSTEMS**

Economizers when required shall have controls capable of being reset by at least 25% of the design supply air to room or temperature difference.

**803.3.7
PIPING INSULATION**

Hot Water <1.5" = 1.0" insul, >1.5" = 2.0" insul
Liquid lines for process/storage facility refrigeration shall not be insulated.

**18-13-803.3.8.1
AIR SYSTEM BALANCING**

See HVAC Spec, Sheet A6.1

**18-13-803.8.3
MANUALS AND OPERATION INSTRUCTION**

See Specification - General Conditions Sheet A6

804 SERVICE WATER HEATING

**18-13-804.2
WATER HEATER PERFORMANCE**

4.5 kw Electric Water Heater c2kW reqd. energy factor >93--00132V, actual factor unit complex w/ASHRAE, IEC per manufacturer.

**18-13-804.3
HWH TEMPERATURE CONTROLS**

Water heater shall be provided with a low limiting public restroom and handwash water temperature to 110 d.f., per Illinois Plumbing Code

**18-13-804.4
HWH HEAT TRAPS**

HWH shall be installed with heat traps on supply and discharge piping.

**18-13-804.5
HWH PIPE INSULATION**

Return system piping shall be insulated with minimum of 1" insulation. In non-evacuating systems provide a minimum 1/2" of insulation within eight foot of the heater.

**18-13-804.6
HWH CONTROLS**

If heater is electrically activated, a time clock capable of turning off system during inactive hours will be provided.

805 LIGHTING SYSTEM

**18-13-805.2
INTERIOR LIGHTING CONTROLS**

Each space shall be equipped with a switch for that space. Each area smaller than 250 sq ft shall be equipped with a dimmer or alternate switching.

**18-13-805.2.2
EXTERIOR LIGHTING CONTROLS**

Photo cells shall be provided for exterior lighting.

**18-13-805.3
TANDEM WIRING**

Three lamp fluorescent fixtures shall be tandem wired when in continuous rows.

**18-13-805.4.2.2
PORTION OF BUILDING METHOD**

Car Wash + Mechanical Exempt

**806 TOTAL BUILDING
PERFORMANCE**

**18-13-806.4
STANDARD DESIGN**

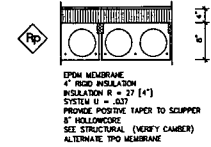
The actual performance of components listed above meet the energy requirements for a standard design.

ITEMS NOT REQUIRED

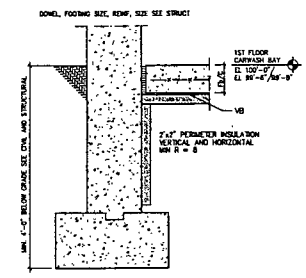
The following Sections do not apply to this project:
18-13-802.2.6 Floors over unconditioned space, 18-13-802.2.8 Below grade walls, 18-13-803.2.4 Hydraulic system controls, 18-13-803.3 Complete HVAC systems (except as noted above), 18-13-804 Service Water Heating.

CITY OF CHICAGO ENERGY CONSERVATION CODE

PREScriptive PACKAGE	
GROSS FLOOR EXTERIOR ENVELOPE	4,074 SQ. FT.
GLAZING AREA [ROUGH OPENING]	563 SQ. FT.
GLAZING AREA %	13.82%
PREScriptive BUILDING ENVELOPE REQUIREMENTS	
GLAZING MAXIMUM U-FACTOR	0.35
ROOF MINIMUM R-VALUE	R-20
EXTERIOR WALL MINIMUM R-VALUE	R-5
SLAB MINIMUM R-VALUE	R-12
GAS FIRED FORCED AIR FURNACE	78% AFUE
7.0 D MBH	
ELECTRIC AIR COOLED AIR CONDITIONING	10.3 EER
78.5 MBH	
ELECTRIC WATER HEATER	



**TYP. HOLLOWCORE
ROOF**
NOT TO SCALE

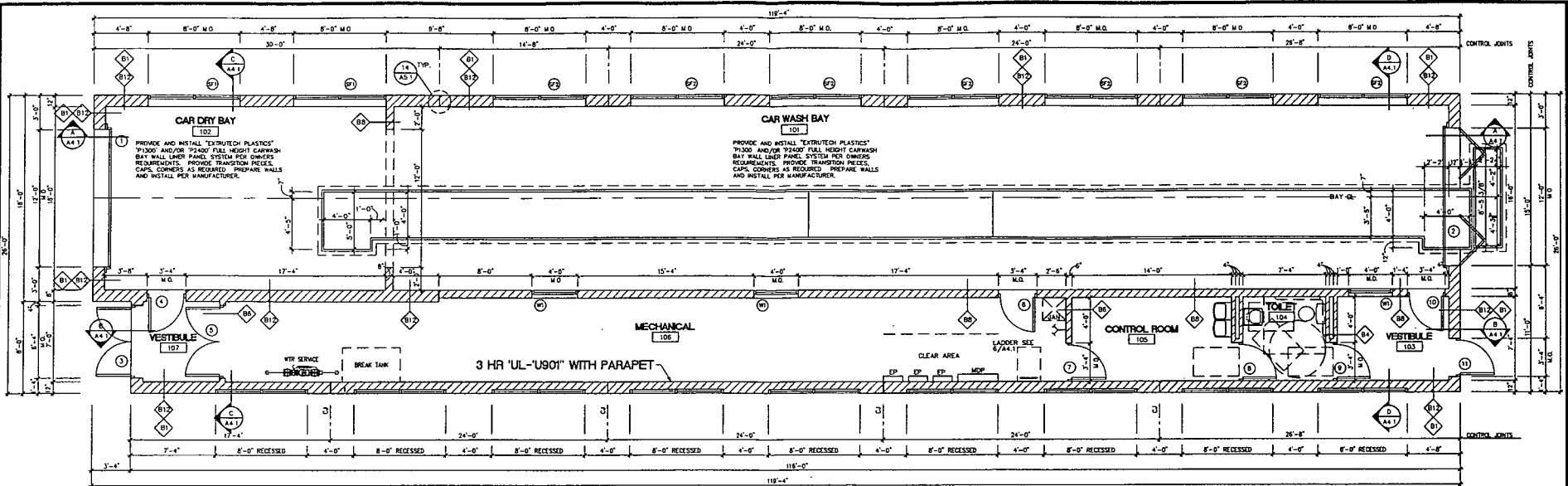


TYP. FOOTING
NOT TO SCALE

ISSUED FOR CONSTRUCTION	04-24-2012
ISSUED FOR PERMIT	04-24-2012
ISSUED FOR BID	04-24-2012
ISSUED FOR PRELIM.	04-19-2012

JOB# 1203
RENAUD EXISTING CAR WASH
CLEAN MADROSE CAR WASH
3318 WEST IRVING PARK ROAD
CHICAGO, ILLINOIS 60618

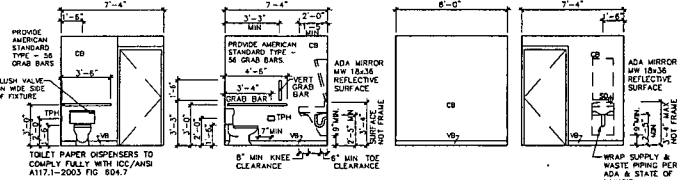
arsa associates
ALAN R. BOCHNEIDER ARCHITECTS P.C.
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PALE ALICE, ILLINOIS 60667
TEL: 847-69-4428 FAX: 847-69-8883
ALAN R. BOCHNEIDER ARCHITECTS P.C. 2012



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: GENERAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR SHALL PROVIDE AT LEAST TWO (2) PORTABLE FIRE EXTINGUISHERS, ONE IN THE CONTROL ROOM AND ONE IN THE EQUIPMENT ROOM PER LOCAL FIRE OFFICIALS REQUIREMENTS.

NOTE: GENERAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR SHALL PROVIDE KEY BOX PER LOCAL FIRE OFFICIALS REQUIREMENTS.



HANDICAPPED TOILET ROOM A104 ELEVATION
SCALE: 1/4" = 1'-0" (PER ANSI A117.1)

CITY OF CHICAGO CODE REQUIREMENTS

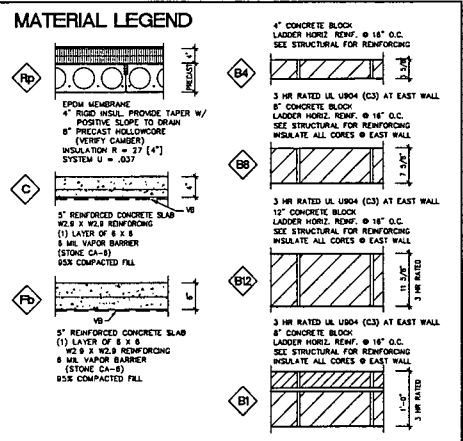
- ALL EXITS SHALL BE RECESS IN DIRECTION OF TRAVEL
- INTERIOR FINISHES SHALL BE CLASS A FLAME SPREAD SHALL BE LESS THAN 75
- ALL LINTELS SHALL BE ENCASED IN MASONRY
- THIS FACILITY WILL COMPLY TO ALL ACCESSIBILITY REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE 400.310 NEW CONSTRUCTION
- THIS FACILITY WILL COMPLY TO ALL ACCESSIBILITY REQUIREMENTS OF ADAAG 4.1.3 NEW CONSTRUCTION

ROOM FINISH SCHEDULE										
NO.	ROOM	FLOOR	WALLS	BASE				CLING	HT	REMARKS
				NORTH	EAST	SOUTH	WEST			
101	CAR WASH BAY	CONC. SEALED	-	MAS/P/MAS/P/MAS/P/MAS/P/MAS/P	STRUCT	VARIABLES			EXTRUDED PLASTICS	
102	CAR DRY BAY	CONC. SEALED	-	MAS/P/MAS/P/MAS/P/MAS/P/MAS/P	STRUCT	VARIABLES			EXTRUDED PLASTICS	
103	VESTIBULE	CONC. TILE	TILE	MAS/P	MAS/P	MAS/P	MAS/P	ACT	8'-0"	
104	TOILET	CONC. TILE	TILE	MAS/P	MAS/P	MAS/P	MAS/P	ACT	8'-0"	
105	CONTROL ROOM	CONC. TILE	TILE	MAS/P	MAS/P	MAS/P	MAS/P	ACT	8'-0"	
106	MECHANICAL RM	CONC. SEALED	-	MAS/P	MAS/P	MAS/P	MAS/P	STRUCT	VARIABLES	
107	VESTIBULE	CONC. SEALED	-	MAS/P	MAS/P	MAS/P	MAS/P	STRUCT	VARIABLES	

DOORS + FRAMES											
OPENINGS											
NO.	FROM	TO	WIDTH	HIGHT	DOOR	FRAME	JAMB	HEAD	HOOR	LINTEL	REMARKS
1	102	EXT	12-0	10-0	ALUMI	MC	MC	S/A31	2/A31		SEE STRUCT
2	101	EXT	12-0	10-0	ALUMI	MC	MC	S/A31	2/A31		SEE STRUCT
3	107	EXT	PR3-0	7-0	HM	P	HM	S/A31	S/A31	SM	E2 SEE STRUCT
4	102	107	3-0	7-0	EPH	EPH	EPH	S/A31	S/A31	SM	C SEE STRUCT
5	108	107	PR3-0	7-0	HM	P	HM	S/A31	S/A31	SM	A2 SEE STRUCT
6	101	106	3-0	7-0	EPH	EPH	EPH	S/A31	S/A31	SM	C SEE STRUCT
7	106	105	3-0	7-0	HM	P	HM	S/A31	S/A31	SM	A1 SEE STRUCT
8	105	104	3-0	7-0	HM	P	HM	S/A31	S/A31	SM	B SEE STRUCT
9	104	103	3-0	7-0	HM	P	HM	S/A31	S/A31	SM	B SEE STRUCT
10	103	103	3-0	7-0	EPH	EPH	EPH	S/A31	S/A31	SM	C SEE STRUCT
11	103	EXT	3-0	7-0	HM	P	HM	S/A31	S/A31	SM	E1 SEE STRUCT

NOTE: GENERAL CONTRACTOR SHALL COORDINATE WITH SUB CONTRACTOR AND PROVIDER THAT ALL DOOR HARDWARE CAN BE OPERATED BY A SINGLE HAND WITH OUT MEANS OF TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST. SEE SPECS FOR HARDWARE TYPE.

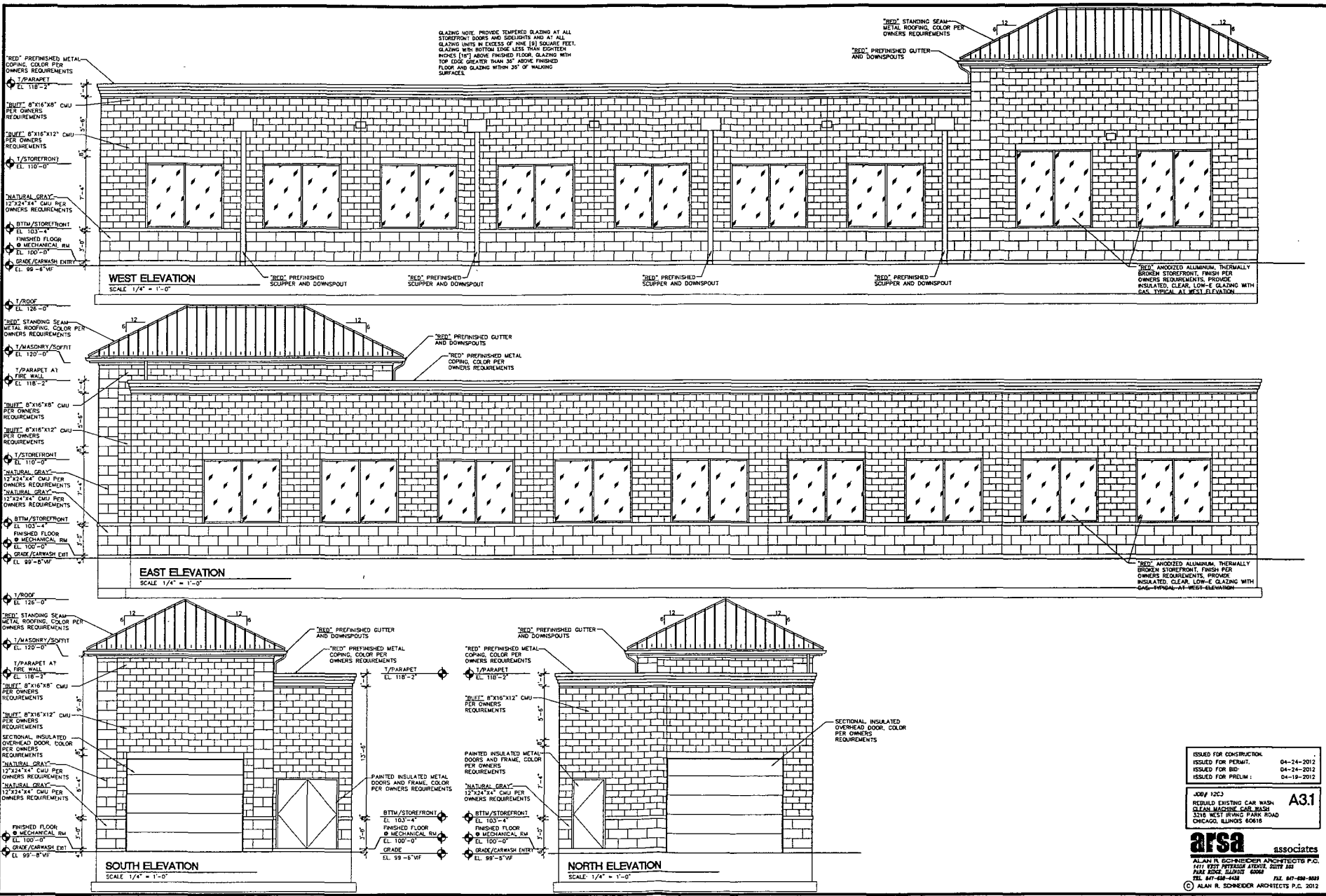
HARDWARE SCHEDULE										
A1	1.5 PR BR BUTTS, PASSAGE SET W/ KNURLED LEVER HANDLE, CLOSER, STOPS, KICKPLATES, SIGN									
A2	3 PR BR BUTTS, PASSAGE SET W/ KNURLED LEVER HANDLE, CLOSER, STOPS, KICKPLATES, SIGN									
B	1.5 PR BR BUTTS, PRIVACY SET, CLOSER, STOP, SIGN, KICKPLATE, CLOSER, STOPS, WEATHERSTRIP AND THRESHOLD									
C	1.5 PR HRP BUTTS, EXT DEVICE W/ PASSAGE LOCKSET, CLOSER, STOPS, WEATHERSTRIP AND THRESHOLD									
E1	1.5 PR HRP BUTTS, EXT DEVICE W/ MONISE LOCKSET, CLOSER, STOP, WEATHERSTRIP AND THRESHOLD									
E2	3 PR HRP BUTTS, EXT DEVICE W/ MONISE LOCKSET, ASTRAL, CLOSER, STOPS, WEATHERSTRIP AND THRESHOLD									



ISSUED FOR CONSTRUCTION 04-24-2012
ISSUED FOR PERMIT 04-24-2012
ISSUED FOR BID 04-19-2012
ISSUED FOR PRELIM. 04-19-2012

JOB# 1203 REBUILD EXISTING CAR WASH CLEAR MACHINE CAR WASH 2218 WEST DIVISION PARK ROAD CHICAGO, ILLINOIS 60618

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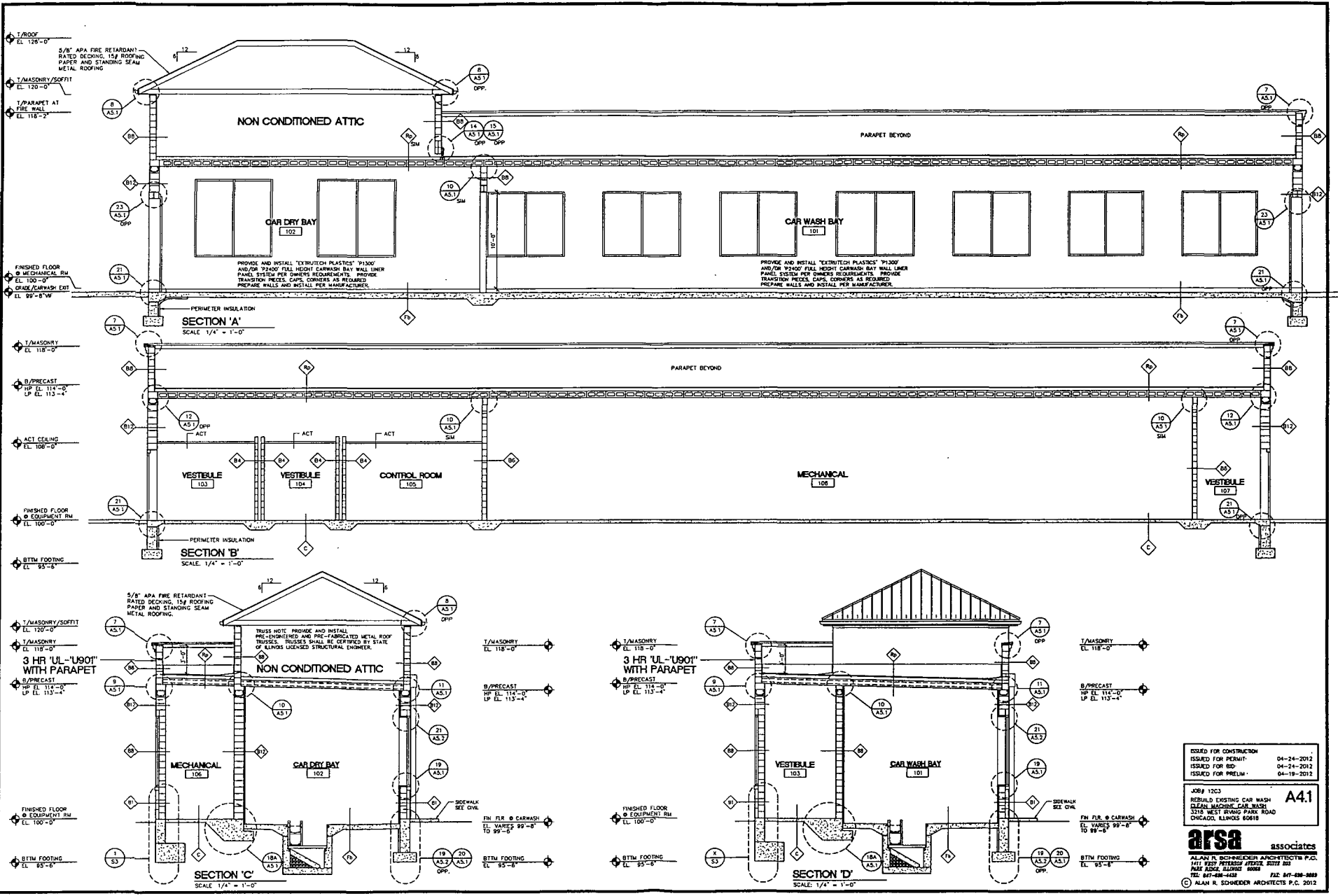


ISSUED FOR CONSTRUCTION 04-24-2012
 ISSUED FOR PERMIT 04-24-2012
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 ISSUED FOR PRELIM 04-19-2012

JOB# 1203
 REBUILD EXISTING CAR WASH
 CLEAN MEDICINE CAR WASH
 3316 WEST BRING PARK ROAD
 CHICAGO, ILLINOIS 60616

A3.1

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SECTION 'A'
SCALE 1/4" = 1'-0"

SECTION 'B'
SCALE 1/4" = 1'-0"

SECTION 'C'
SCALE 1/4" = 1'-0"

SECTION 'D'
SCALE 1/4" = 1'-0"

ISSUED FOR CONSTRUCTION 04-24-2012
 ISSUED FOR PERMIT 04-24-2012
 ISSUED FOR BCD 04-24-2012
 ISSUED FOR PRELIM 04-19-2012

JOB# 1203 **A4.1**
 REBUILD EXISTING CAR WASH
 CLEAN MADISON CAR WASH
 3210 WEST IRVING PARK ROAD
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EPDM MEMBRANE
4" RIGID POLYISOCYANURATE INSULATION
PROVIDE TAPER W/ POSITIVE
SLOPE TO DRAIN
8" HOLLOWCORE
(VERIFY CAMBER)

PROVIDE CLIP PER
MFR'S ATTACHMENT
TO NAHLER, TYP.
SET MEMB FLASH
IN SPLINGING CSM
SEAL WITH LAP
SEALANT, TYP.

NAHLER PROVIDED BY MECH.
INSTALLED BY ROOFER. STRIP-IN
WITH EPDM MEMB. FLASHING AND
BONDING ADHESIVE
SEE STRUCTURAL.

TYP. ROOF SEE 1/A4.1
SET COLLAR IN WATER CUT-OFF
WASTIC AND SECURE WITH SS CLAMP

SEE SPECIFICATION FOR ROOF HATCH
WITH INSUL. FLASHING COLLAR
PROVIDED AND INSTALLED BY
ROOFER. STRIP-IN W/ EPDM MEMB
< SEE STRUCTURAL
LADDER SEE 6/A4.1.

ALTERNATE COUNTER FLASHING

CUSTOM BENT PLATE
22 GA COPING CEDAR CANT
AND 2"x12" TREATED NAHLER
3/4" x 8" x 4'-0"
WRAP 15# FELT OVER
NAHLER AND SECURE

PROVIDE AND INSTALL PRE-ENGINEERED,
PRE-MANUFACTURED STEEL ROOF
TRUSSES BY CERTIFIED OTHERS.
3/8" APA FIRE RESISTANT RATED
DECKING, 1/2" ROOFING PAPER AND
STANDING SEAM METAL ROOFING. COLOR
TO BE SELECTED BY OWNER.

PROVIDE AND INSTALL TREATED
2"x4" NAHLER. SEE STRUCTURAL
FOR CONNECTION.

PROVIDE AND INSTALL
PRE-FINISHED ALUMINUM
GUTTER, 1/16" MAXIMUM
SLOPE.

TOP/MASONRY
CL. 130'-0"

PROVIDE AND INSTALL 1"x3-1/2"
EXTERIOR GRADE FASDA BOARD
WITH PRE-FINISHED ALUMINUM
FASDA. COLOR PER OWNER.

PROVIDE AND INSTALL 1/2"
EXTERIOR GRADE SOFFIT WITH
PRE-FINISHED ALUMINUM. COLOR
PER OWNER. PROVIDE 'AIRVENT'
'SVD01' CONTINUOUS VENTING
SYSTEM.

PROVIDE AND INSTALL 1"x4"
EXTERIOR GRADE FASDA BOARD
WITH PRE-FINISHED ALUMINUM.
COLOR PER OWNER.

ROOF/SOFFIT
1'-1"-0"

TYP ROOF
• CARWASH
1'-1"-0" ①

CURB
1'-1"-0" ②

RAIL
1'-1"-0" ③

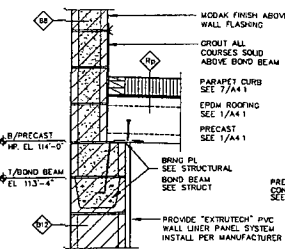
STACK
1'-6"-0" ④

ROOF HATCH
1'-1"-0" ⑤

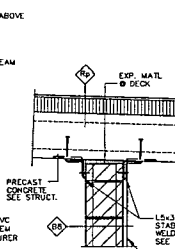
PARAPET CURB
3'-1"-0" ⑥

COPING
3'-1"-0" ⑦

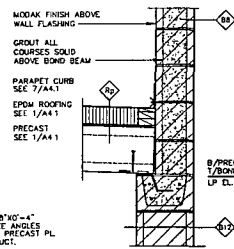
ROOF/SOFFIT
1'-1"-0" ⑧



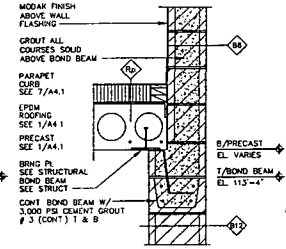
WEST WALL
• PARAPET
1'-1"-0" ⑨



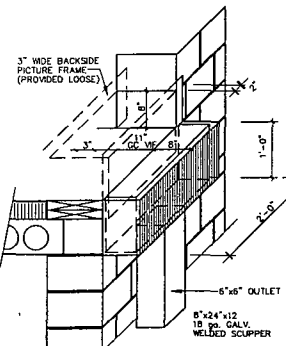
PARTITION
1'-1"-0" ⑩



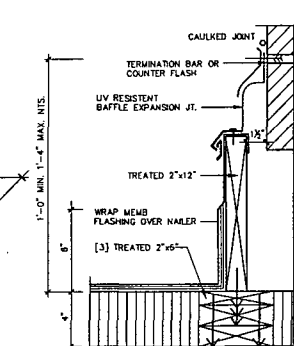
EAST WALL
• PARAPET
1'-1"-0" ⑪



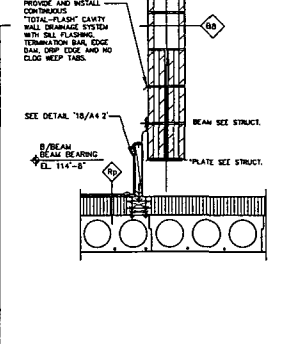
SECTION
1'-1"-0" ⑫



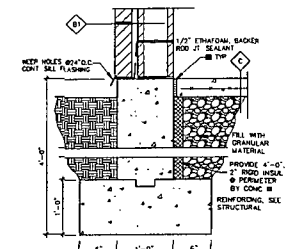
SCUPPER
NTS ⑬



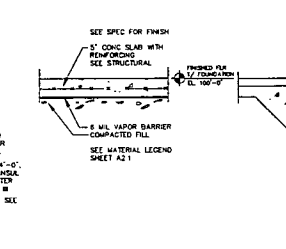
EXP. JOINT
3'-1"-0" ⑭



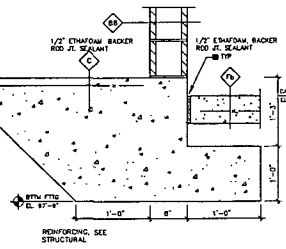
ROOF/WALL
1'-1"-0" ⑮



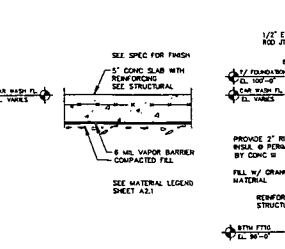
FOUNDATION
1'-1"-0" ⑯



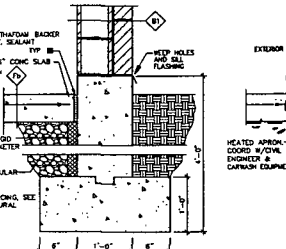
TYP FLR SLAB
1'-1"-0" ⑰



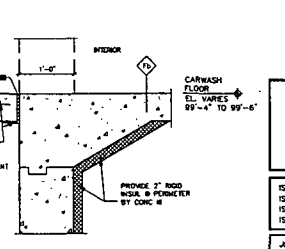
FOUNDATION
1'-1"-0" ⑱



CARWASH
FLOOR SLAB
1'-1"-0" ⑲



FOUNDATION
1'-1"-0" ⑳



O.H. DOOR
1'-1"-0" ㉑

JOINTS

- ETHAFON JL FILLER AND SEALANT BY CONC. B
- CAULK & MASON'S ROPE BY MASONRY IV
- CAULK BY CARPENTER W

ISSUED FOR CONSTRUCTION: 04-24-2012
ISSUED FOR BID: 04-24-2012
ISSUED FOR PRELIM: 04-18-2012

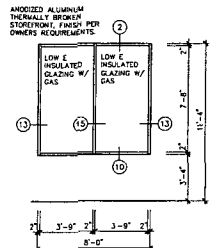
JOB# 1203
REBUILD EXISTING CAR WASH
CLEAN WASHING, CAR WASH
3218 WEST IRVING PARK ROAD
CHICAGO, ILLINOIS 60618

A5.1

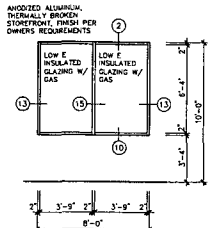
arsa associates

ALAN R. SCHNEIDER ARCHITECTS P.C.
111 WEST PULASKI AVENUE, SUITE 200
PARK RIDGE, ILLINOIS 60068
TEL: 847-686-4438 FAX: 847-686-8668

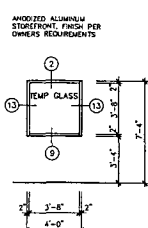
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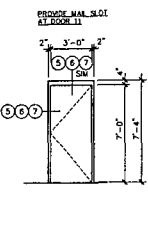
SF-1
1/4"=1'-0"



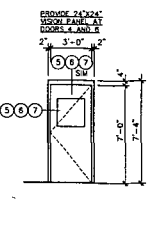
SF-2
1/4"=1'-0"



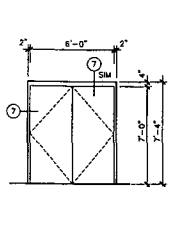
W-1
1/4"=1'-0"



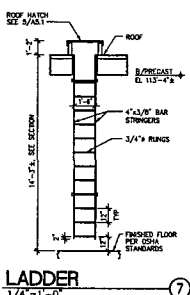
DOORS
7,8,9,10+11
1/4"=1'-0"



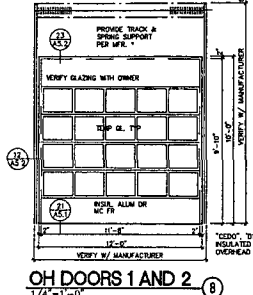
DOORS 4 + 6
1/4"=1'-0"



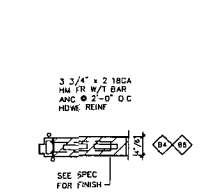
DOORS 3 + 5
1/4"=1'-0"



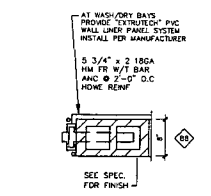
LADDER
1/4"=1'-0"



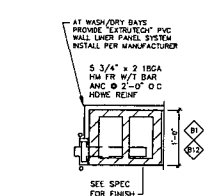
OH DOORS 1 AND 2
1/4"=1'-0"



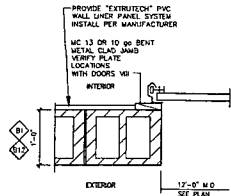
H.M. FRAME
4'6" CMU
1"=1'-0"



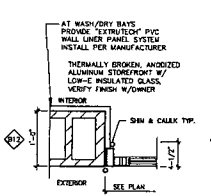
H.M. FRAME
8" CMU
1"=1'-0"



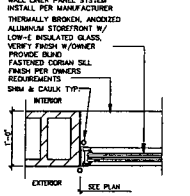
H.M. FRAME
12" CMU
1"=1'-0"



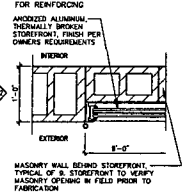
O.H. DOOR
1"=1'-0"



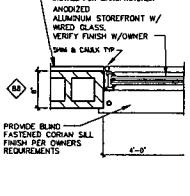
STOREFRONT
ENTRY DOOR
1"=1'-0"



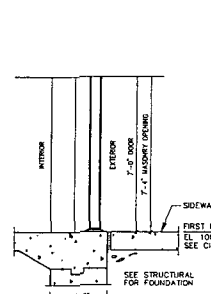
ALUM. WINDOW
STOREFRONT
1"=1'-0"



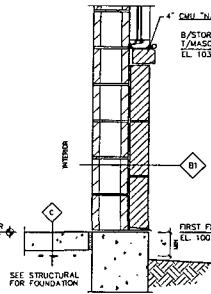
ALUM. WINDOW/
MASONRY WALL
1"=1'-0"



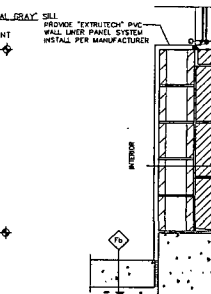
ALUM. WINDOW
1"=1'-0"



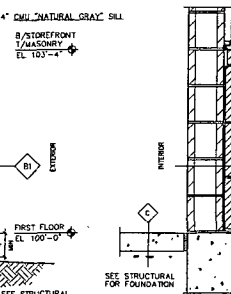
ENTRY DOOR
1"=1'-0"



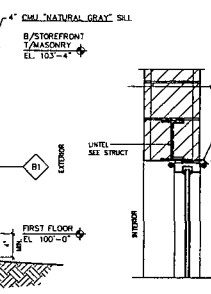
STOREFRONT
1"=1'-0"



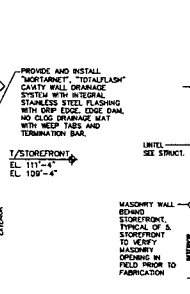
STOREFRONT
1"=1'-0"



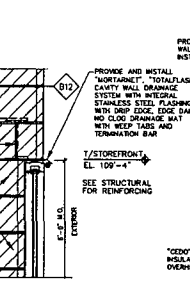
STOREFRONT
1"=1'-0"



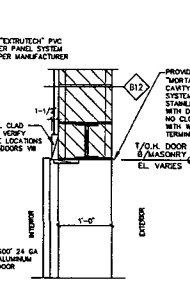
STOREFRONT
1"=1'-0"



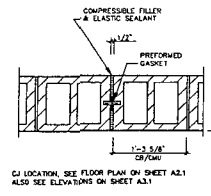
STOREFRONT
1"=1'-0"



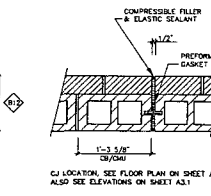
STOREFRONT
1"=1'-0"



O.H. DOOR
1"=1'-0"



CONTROL JOINT
1"=1'-0"



CONTROL JOINT
1"=1'-0"

JOINTS

- ESPARTAN JT FILLER AND SEALANT BY CONC BA
- CAULK & MASON'S ROPE BY MASCOTEY IV
- CAULK BY CARPENTER IV

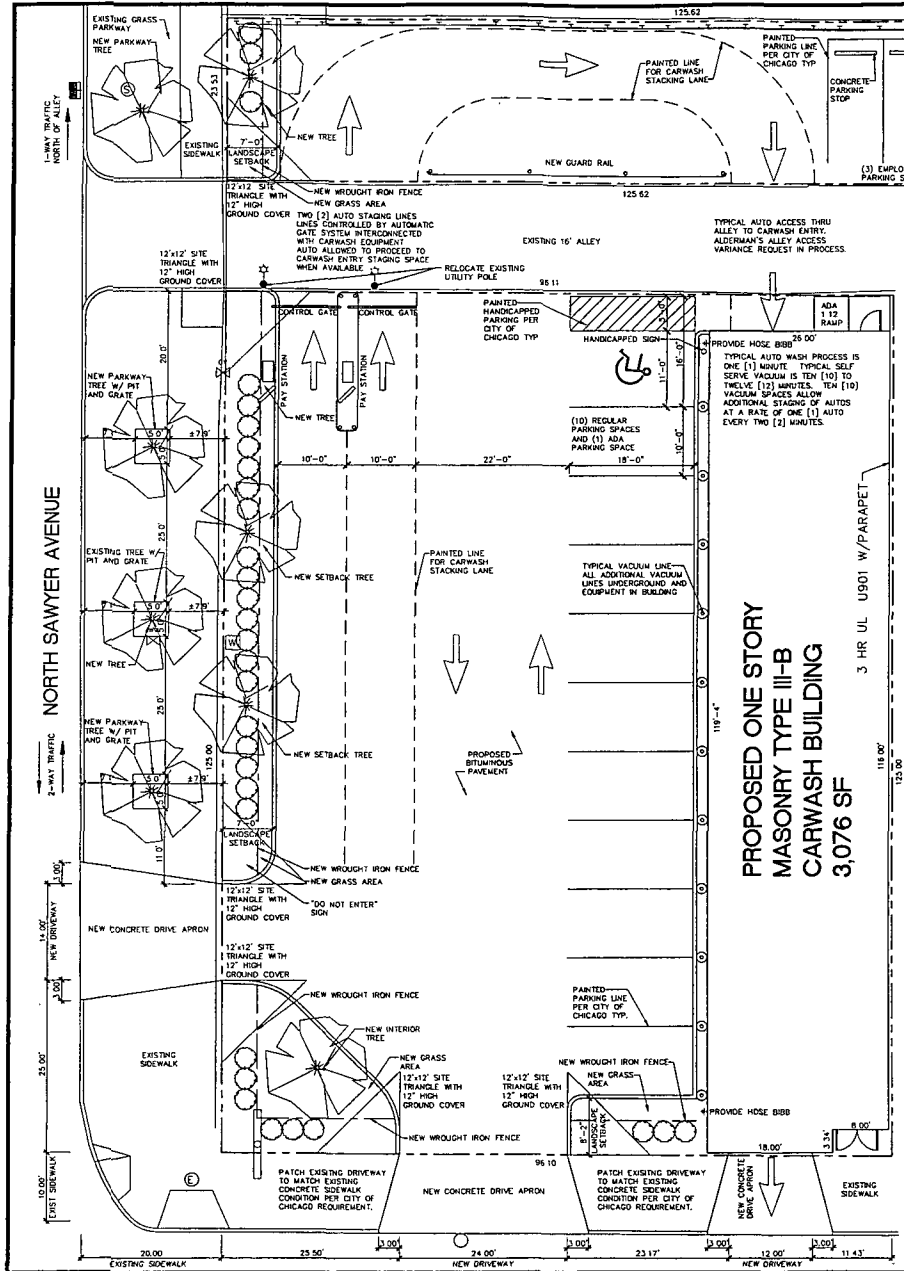
ISSUED FOR CONSTRUCTION: 04-24-2012
 ISSUED FOR PERMIT: 04-24-2012
 ISSUED FOR BID: 04-19-2012
 ISSUED FOR PRELIM: 04-19-2012

JOB# 1203
 REYNOLD CRYSTAL CAR WASH
 CLEAN MACHINE CAR WASH
 1218 WEST BRIDGE PARK ROAD
 OREGON, ILLINOIS 60818

A5.2

arsa associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1111 WEST PETERSBURG AVENUE, SUITE 200
 PLEASANT DALE, ILLINOIS 60069
 TEL: 847-686-4448 FAX: 847-686-8889

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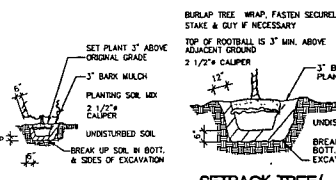


NORTH LOT V.I.A. CALCULATION

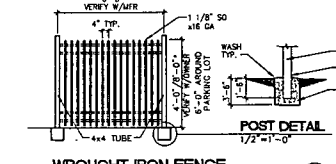
EXISTING LOT AREA	2,953 SQ. FT.
REQUIRED INTERIOR LANDSCAPE AREA	0 SQ. FT.

LANDSCAPE NOTES

LOCATION	NAME	DETAIL	CALIPER	QUANTITY
PARKWAY BUFFER ZONE/ INTERIOR HEDGES	JAPANESE BARBERRY (BERGERS THUNBERG)	1/1	2 1/2"	3
STREET/PARKWAY TREE	HEDGE MAPLE	3/1	2 1/2"	3
SETBACK TREE	SWAMP WHITE OAKS	2/1	2 1/2"	1



WROUGHT IRON FENCE
1" = 1'-0"



CONCRETE CURB
1" = 1'-0"



SOUTH LOT V.I.A. CALCULATION

EXISTING LOT AREA	12,013 SQ. FT.
NEW BUILDING AREA	3,078 SQ. FT.
REQUIRED INTERIOR LANDSCAPE AREA (7.5%)	7,481 SQ. FT.
PROPOSED INTERIOR LANDSCAPE AREA	561 SQ. FT.
REQUIRED INTERIOR TREES (1/125 SP)	4 TREES
PROPOSED INTERIOR TREES	1 TREE

LANDSCAPE NOTES

LOCATION	NAME	DETAIL	CALIPER	QUANTITY
PARKWAY BUFFER ZONE/ INTERIOR HEDGES	JAPANESE BARBERRY (BERGERS THUNBERG)	1/1	2 1/2"	27
INTERIOR LANDSCAPE TREE	COLUMNAR SUGAR MAPLE	2/1	2 1/2"	1
STREET/PARKWAY TREE	HEDGE MAPLE	3/1	2 1/2"	3
SETBACK TREE	SWAMP WHITE OAKS	2/1	2 1/2"	2

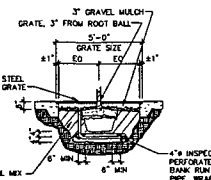
LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

WEST IRVING PARK ROAD
2-WAY TRAFFIC

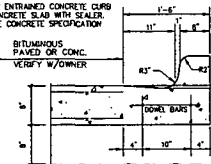
PLAN NOTES

- ALL PROPOSED SHRUB BEDS AND TREE BEDS TO RECEIVE 3" THICK SHREDDED HARDWOOD MULCH (PERENNIALS/GROUNDCOVERS 1" THICK LIMIT OF SOD = PROPERTY LINE UNLESS OTHERWISE NOTED).
- THE CONTRACTOR SHALL LOCATE THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING. PLANT MATERIAL QUANTITIES SHOWN ON THE PLAN TAKE PRECEDENCE TO THOSE OF THE PLANT LIST.
- ALL PLANT MATERIALS SHALL CONFORM TO THE QUALITIES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR HARBURY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT. NO "PARK GRADE" MATERIAL SHALL BE ACCEPTED.
- ALL PLANT MATERIAL SHALL BEAT THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK SHALL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THOROUGHLY TO ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL. CONTRACTOR IS RESPONSIBLE FOR WATERING SOO UNTIL TIME OF MATURING.
- IMPORTED TOPSOIL (PLANTING AREAS) AND SPREADING BY EXCAVATING CONTRACTOR.
- ALL PROPOSED TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 5" DIA. MULCH RING AT BASE.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL END OF GUARANTEE PERIOD. IF STAKING TREES IS NOT PERFORMED, REMOVAL OF TOP 1/3 OF BURLAP AND ROPES IS UNNECESSARY (REMOVE ALL NON-Biodegradable MATERIAL).
- VERIFY SITE CONDITIONS AND INFORMATION ON DRAWINGS. PROMPTLY REPORT ANY DISCREPANCIES AND/OR DEVIATIONS FROM THE INFORMATION SHOWN ON THE PLAN. THE OWNER IS RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
- ALL PLANTING BED EDGES TO BE CULTIVATED.
- PLANTING AREAS TO BE FREE OF ALL DEBRIS TO A DEPTH OF 6" IN TURF AREAS, 24" IN SHRUB AREAS AND 36" IN TREE AREAS. REMOVE ALL DEBRIS AND INSTALL CLEAN TOPSOIL IN THESE AREAS (IF NECESSARY) - SEE NOTE 11.
- LOWEST BRANCHES OF PARKWAY TREES TO BE 7'-0" ABOVE ROOT BALL.
- HEDGE BBS TO BE LOCATED EVERY ONE HUNDRED (100) FEET THROUGHOUT PERIMETER LANDSCAPE AREA.
- NOTE: PLANTING PERIOD SHOULD BE JUNE 15, 2010.

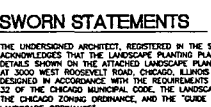
HANDICAPPED PARKING SIGN DETAIL
NOT TO SCALE



PARKWAY TREE
1/4" = 1'-0"



HANDICAPPED STRIPING
NOT TO SCALE



SWORN STATEMENTS

THE UNDERSIGNED ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 3000 WEST ROOSEVELT ROAD, CHICAGO, ILLINOIS 60612 HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPE STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

(ARCHITECT SIGNATURE)

THE UNDERSIGNED ACKNOWLEDGES THAT THE ATTACHED LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY DEPICTED IN THIS DRAWING HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPE STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

(OWNER'S SIGNATURE)

EXISTING PARKWAY AND ON-SITE INTERIOR TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED.

(OWNER'S SIGNATURE)

ISSUED FOR CONSTRUCTION: 04-24-2012
ISSUED FOR PERMITS: 04-24-2012
ISSUED FOR BIDDING: 04-24-2012
ISSUED FOR PRELIM.: 04-18-2012

JOB# 1203
REBUILD EXISTING CAR WASH CLEAN, MASONRY, ETC.
3218 WEST IRVING PARK ROAD
CHICAGO, ILLINOIS 60618

arsa associates
ALLAN R. SCHNEIDER ARCHITECTS P.C.
1111 WEST WASHINGTON, SUITE 201
CHICAGO, ILLINOIS 60606
TEL: 847-684-6600 FAX: 847-684-6600
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5812 W. HIGGINS AVENUE
CHICAGO, ILLINOIS 60630



MM SURVEYING CO., INC.

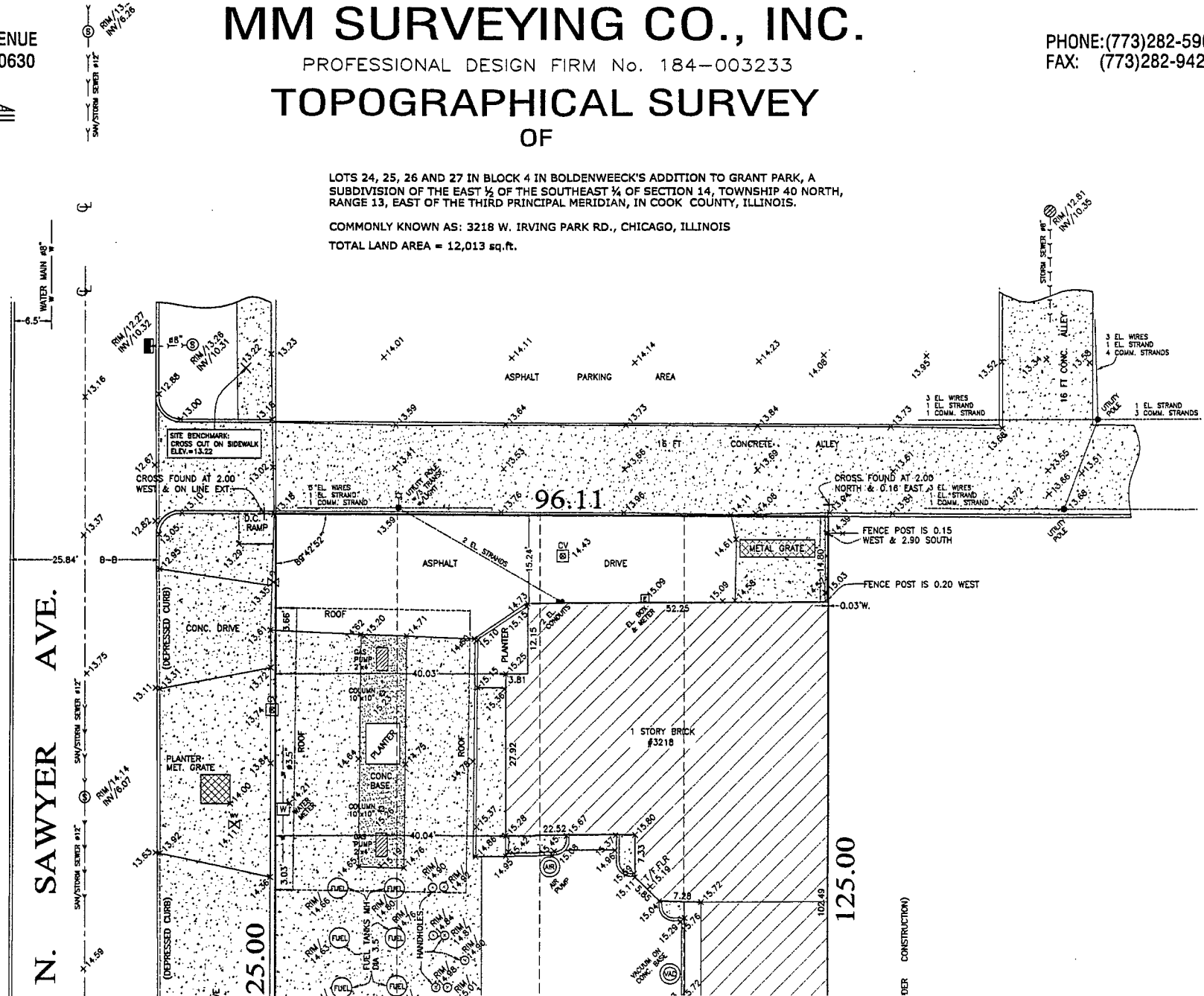
PROFESSIONAL DESIGN FIRM No. 184-003233

TOPOGRAPHICAL SURVEY OF

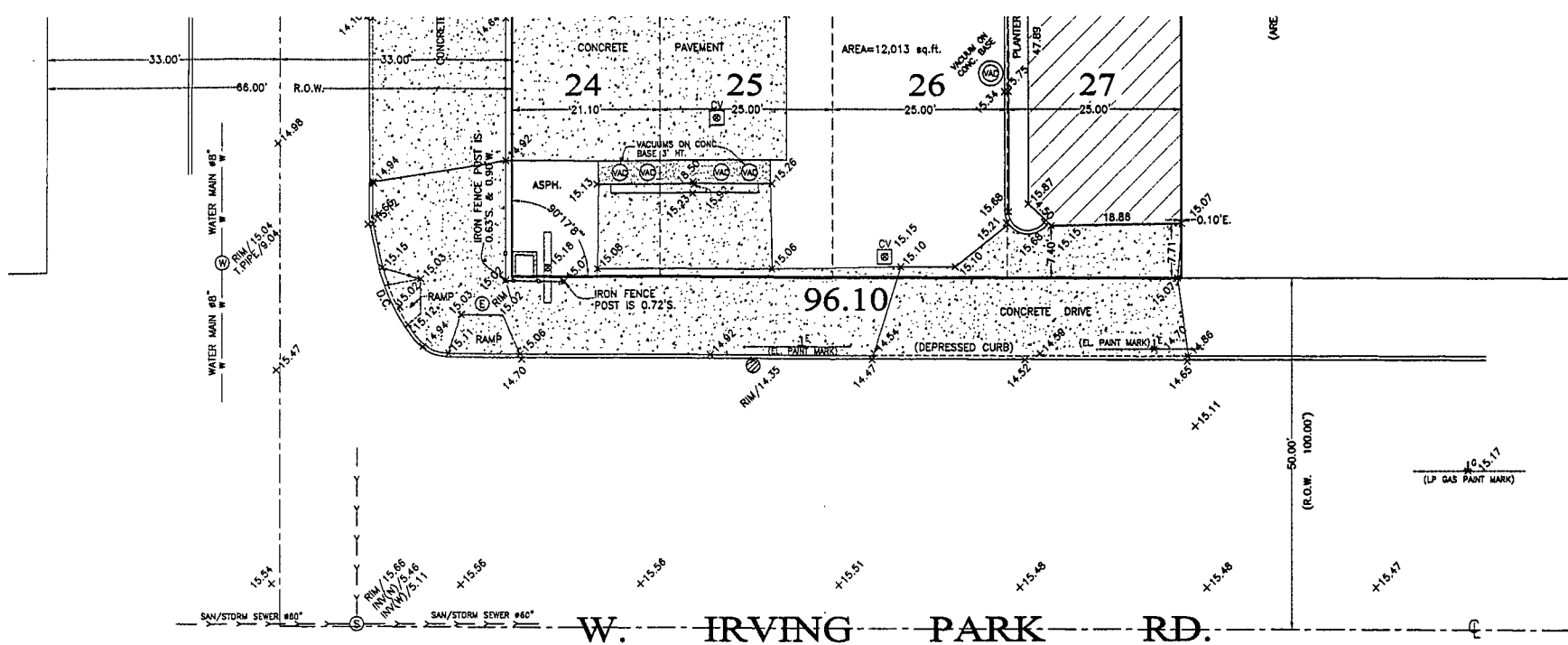
PHONE: (773)282-5900
FAX: (773)282-9424

LOTS 24, 25, 26 AND 27 IN BLOCK 4 IN BOLDENWEECK'S ADDITION TO GRANT PARK, A
SUBDIVISION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 14, TOWNSHIP 40 NORTH,
RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 3218 W. IRVING PARK RD., CHICAGO, ILLINOIS
TOTAL LAND AREA = 12,013 sq. ft.



DER CONSTRUCTION)



LEGEND :

- | | | | |
|-----------------|---|---|-----------------------|
| --- | SANITARY LINE | ⊙ | SEWER MANHOLE |
| - - - - | STORM LINE | ⊗ | CATCH BASIN |
| W | WATER LINE | ⊕ | WATER MANHOLE |
| --- | GAS LINE | ⊖ | COMM. MANHOLE |
| ▨ | CONCRETE PAVEMENT | ⊙ | GAS MANHOLE |
| ---x--- | CHAIN LINK FENCE | ⊕ | ELECTRIC MANHOLE |
| --- --- | IRON FENCE | ⊖ | INLET |
| --- --- | WOOD FENCE | ⊕ | FIRE HYDRANT |
| B-B | BACK OF CURB | ⊗ | GAS VALVE |
| R.O.W. | RIGHT OF WAY | ⊕ | WATER VALVE |
| ⊥ ^E | ELECTRIC PAINT MARK | ⊖ | CONTROL VALVE |
| ⊥ ^W | WATER PAINT MARK | ⊕ | CENTER LINE |
| ⊥ ^G | GAS PAINT MARK | ⊗ | DECIDUOUS TREE w/DIA. |
| ⊥ ^C | COMM. PAINT MARK | ⊕ | EVERGREEN TREE w/DIA. |
| ⊥ ¹⁰ | PARKING STALL COUNT | ⊖ | CENTER LINE |
| FND. | FOUNDATION | ⊕ | STREET SIGN |
| D.S. | DOWN SPOUT | ⊗ | LIGHT POST/WALL LIGHT |
| D.C. | DEPRESSED CURB | ⊕ | POWER POLE W/WIRES |
| T/FND | TOP OF FOUNDATIO | | |
| T/F.FLR | TOP OF FINISHED FLOOR | | |
| COMM. | COMMUNICATION (TELEPHONE, INTERNET, ETC.) | | |

FLOOD CERTIFICATION: (PER FEMA WEBSITE)
 THE PROPERTY DESCRIBED ABOVE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
 FLOODWAY MAPPED: N/A
 FLOODWAY ON PROPERTY: NQ
 MAP USED: RATE MAP
 COMMUNITY NAME: CHICAGO CITY OF
 COMMUNITY NUMBER: 17007A
 PANEL NUMBER: 0404
 MAP NUMBER: 1703100404
 EFFECTIVE DATE: AUGUST 18, 2008
 FLOOD ZONE: X
 BASE FLOOD ELEVATION FROM FIRM (±0.5FT): N/A NGVD 1988.

Order No. 79144
 Scale: 1 inch = 16 FEET
 Field Completion Date: APRIL 26, 2012
 Ordered by: ARSA (ALAN R. SCHNEIDER ARCHITECT)
 REFER TO #59372, #79065

BENCHMARK: No. 407
 LOCATED AT 10.0 FEET WEST OF EAST LINE OF N. TROY AVE. AND 15.2 FEET NORTH OF ALLEY SOUTH OF W. IRVING PARK RD.
ELEV. = 12.304 CHICAGO BENCHMARK DATUM

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.
 LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH DEED AND/OR TITLE POLICY.
 ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 NO CORNERS WERE MONUMENTED PER CUSTOMER REQUEST.



State of Illinois
 County of Cook
 We, M M Surveying Co., Inc., do hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.
 Signature: M Mihajlovic
 Date: 05-18-2012
 REG. ILL. Land Surveyor No. 35-2522
 LIC. EXP. NOVEMBER 30, 2012