



# City of Chicago



O2021-5076

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	11/17/2021
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 3-H at 1516 N Milwaukee Ave - App No. 20871T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

# Final for Publication

## ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1: That the Chicago Zoning Ordinance be amended by changing all B3-2 Community Shopping District symbols and indications as shown on Map No. 3-H in the area bounded by

North Milwaukee Avenue; a line 25.00 feet northwest of and parallel to North Honore Street; a line 125.00 feet southwest of and parallel to North Milwaukee Avenue; a line 50.00 feet northwest of and parallel to North Honore Street;

to those of the C1-3 Neighborhood Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2: This Ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 1516 N. Milwaukee Avenue

## TYPE-1 ZONING AMENDMENT APPLICATION

### NARRATIVE AND PLANS Zoning and Development Analysis From B3-2 to C1-3 Zoning District at 1516 N. Milwaukee Avenue

A. Zoning Analysis: To bring the existing 3 story building, Tavern with outdoor patio and retractable awning into compliance with the Chicago Zoning Ordinance with no changes to the envelope of the existing building with upper floors containing office and one dwelling unit.

- a) FAR: Permitted: 3.00  
Proposed: 2.336 (FAR Building Square Footage 7,300 sf)
- b) MLA: Permitted 400 sf per Dwelling Unit and 300 sf per Efficiency Unit,  
Proposed: 1 Existing Dwelling Unit (third floor)  
MLA = 3125 sq. ft.
- c) Parking: Required 1  
Proposed: None Existing.
- d) Setbacks: Front Setback: None Required.  
Proposed: Existing zero setback  
Side Setback: None Required.  
Proposed: Existing zero setback  
Rear Setback: 16' at 15' above grade and 30 feet for floors containing  
dwelling units.  
Proposed: Existing 42'-10" setback at second floor
- e) Building Height: Permitted: 50 feet  
Proposed: Existing height of approximately 41 feet.

# Final for Publication

## BAR RENOVATION for 1516 N. MILWAUKEE CHICAGO, IL

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### General Notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ENERGY CODE, 2012 EDITION, AS AMENDED.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO BUILDING CODE, 2012 EDITION, AS AMENDED.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO PLUMBING CODE, 2012 EDITION, AS AMENDED.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO MECHANICAL CODE, 2012 EDITION, AS AMENDED.

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6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO FIRE CODE, 2012 EDITION, AS AMENDED.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO SAFETY CODE, 2012 EDITION, AS AMENDED.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO HEALTH CODE, 2012 EDITION, AS AMENDED.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ENVIRONMENTAL CODE, 2012 EDITION, AS AMENDED.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO COMMUNITY DEVELOPMENT CODE, 2012 EDITION, AS AMENDED.

11. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO PUBLIC WORKS CODE, 2012 EDITION, AS AMENDED.

12. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO TRANSPORTATION CODE, 2012 EDITION, AS AMENDED.

13. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO UTILITIES CODE, 2012 EDITION, AS AMENDED.

14. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ZONING ORDINANCE, 2012 EDITION, AS AMENDED.

15. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO SUBDIVISION MAP ACT, 2012 EDITION, AS AMENDED.

16. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANNING AND ZONING COMMISSION ACT, 2012 EDITION, AS AMENDED.

17. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANNING AND ZONING COMMISSION REGULATIONS, 2012 EDITION, AS AMENDED.

18. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANNING AND ZONING COMMISSION SUPPLEMENTAL ORDINANCES, 2012 EDITION, AS AMENDED.

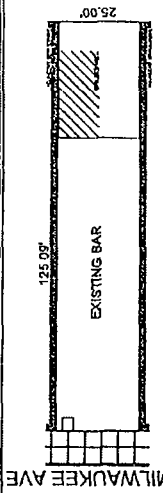
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20. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANNING AND ZONING COMMISSION SUPPLEMENTAL ORDINANCES AND REGULATIONS, 2012 EDITION, AS AMENDED.

### DRAWING LIST

- A-01 ARCHITECTURAL SERVICES
- A-02 BAR RENOVATION
- A-03 EXISTING FLOOR PLAN
- A-04 EXISTING MECHANICAL PLAN
- A-05 EXISTING ELECTRICAL PLAN
- A-06 EXISTING PLUMBING PLAN
- A-07 EXISTING STRUCTURAL PLAN
- A-08 EXISTING SITE PLAN
- A-09 EXISTING UTILITIES PLAN
- A-10 EXISTING ZONING MAP
- A-11 EXISTING SUBDIVISION MAP
- A-12 EXISTING PLANNING AND ZONING COMMISSION REGULATIONS
- A-13 EXISTING PLANNING AND ZONING COMMISSION SUPPLEMENTAL ORDINANCES AND REGULATIONS

NO.	DESCRIPTION	DATE	BY	CHKD.	APP'D.
1	BAR RENOVATION	09/08/23	UM ARCHITECTS		
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**SITE PLAN**  
1516 N. MILWAUKEE AVE

**UM ARCHITECTS**  
608 HILLGROVE AVE  
WESTERN SPRINGS  
IL 60591  
P: 708-469-7674

FOR  
MEEKS RENOVATION  
1516 N. MILWAUKEE AVE  
CHICAGO, IL



**Building Design Elements**

Project Name: BAR RENOVATION  
Address: 1516 N. MILWAUKEE AVE, CHICAGO, IL 60642  
Owner: MEEKS RENOVATION  
Date: 09/08/23

Building Design Elements:  
 - Building Type: BAR  
 - Building Height: 12.5 FT  
 - Number of Stories: 1  
 - Type of Construction: TYPE III  
 - Fire Protection: PER IBC 101.10.1  
 - Occupancy: ASSEMBLY SEATING - 400 OCCUPANTS

Professional Engineer Seal: State of Illinois, No. 000000000, dated 09/08/23.

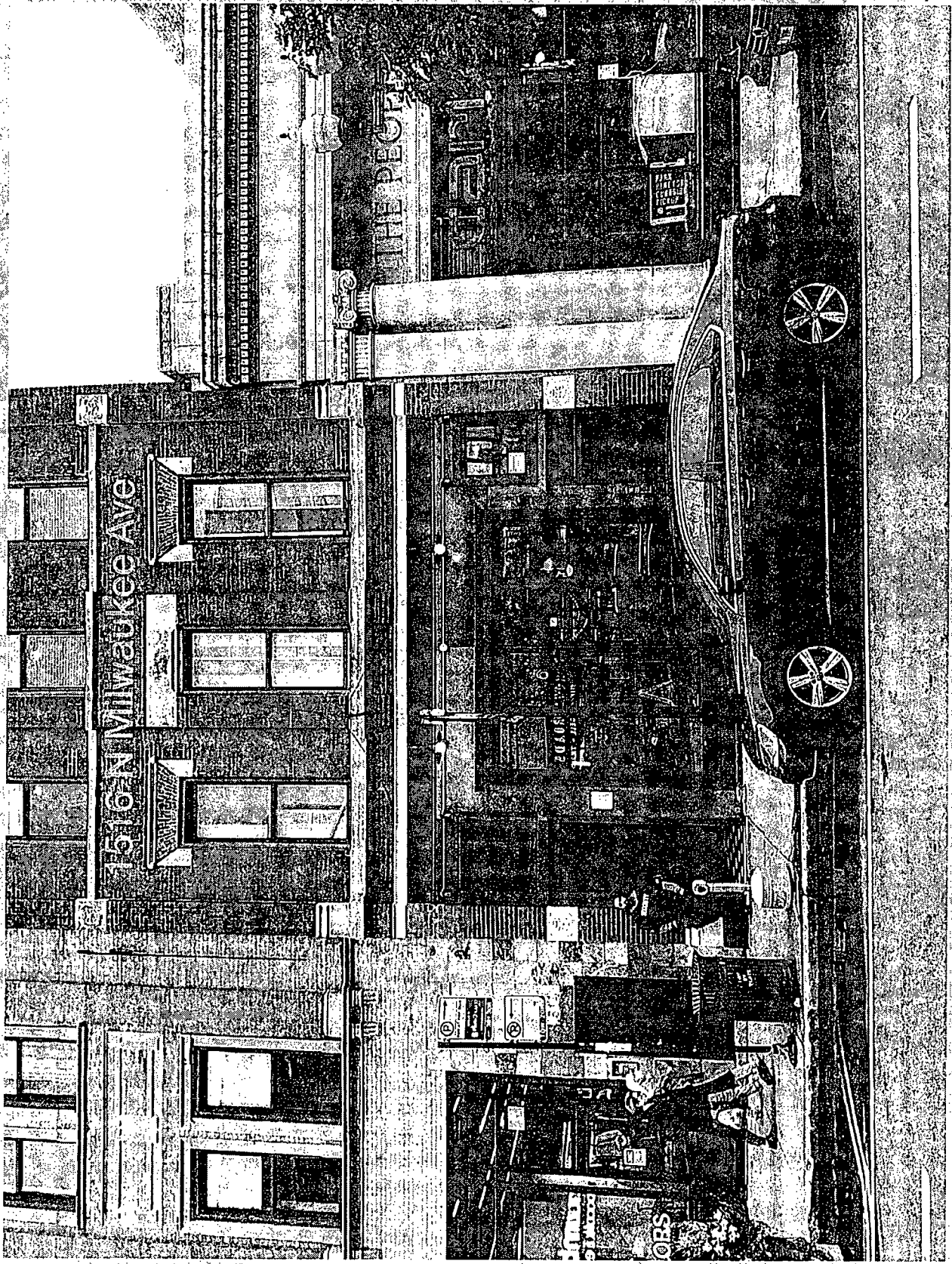
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<p><b>GENERAL NOTES</b></p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK (NFPA 704).</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.</p> <p>3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>5. ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT TO BE MOVED OR DELETED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE ENGINEER.</p> <p>8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>9. ALL MATERIALS AND EQUIPMENT SHALL BE STORED IN AN APPROPRIATE MANNER TO PREVENT DAMAGE TO THE WORK SITE.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE ENGINEER.</p> <p>12. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>13. ALL MATERIALS AND EQUIPMENT SHALL BE STORED IN AN APPROPRIATE MANNER TO PREVENT DAMAGE TO THE WORK SITE.</p> <p>14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE ENGINEER.</p>	<p><b>GENERAL NOTES-CONTD</b></p> <p>16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK (NFPA 704).</p> <p>17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.</p> <p>18. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.</p> <p>19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>20. ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT TO BE MOVED OR DELETED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.</p> <p>21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>22. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE ENGINEER.</p> <p>23. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>24. ALL MATERIALS AND EQUIPMENT SHALL BE STORED IN AN APPROPRIATE MANNER TO PREVENT DAMAGE TO THE WORK SITE.</p> <p>25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>26. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE ENGINEER.</p> <p>27. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>28. ALL MATERIALS AND EQUIPMENT SHALL BE STORED IN AN APPROPRIATE MANNER TO PREVENT DAMAGE TO THE WORK SITE.</p> <p>29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>30. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND TO THE SATISFACTION OF THE ENGINEER.</p>	<p><b>UM ARCHITECTS</b></p> <p>648 HILLGROVE AVE WESTERN SPRINGS IL 60558</p> <p>P. 708-469-7674</p>	<p><b>MILITARY REFORMATION</b></p> <p>FOR MGT'S OFFICE REFORM</p> <p>1919 N. WILMINGTON AVE CHICAGO, IL</p>	<p><b>EXISTING PLAN</b></p> <p>1/8" = 1'-0"</p> <p>DATE: 3-8-2021 DRAWING NO: 2020-141 SCALE: A-2.0</p>	
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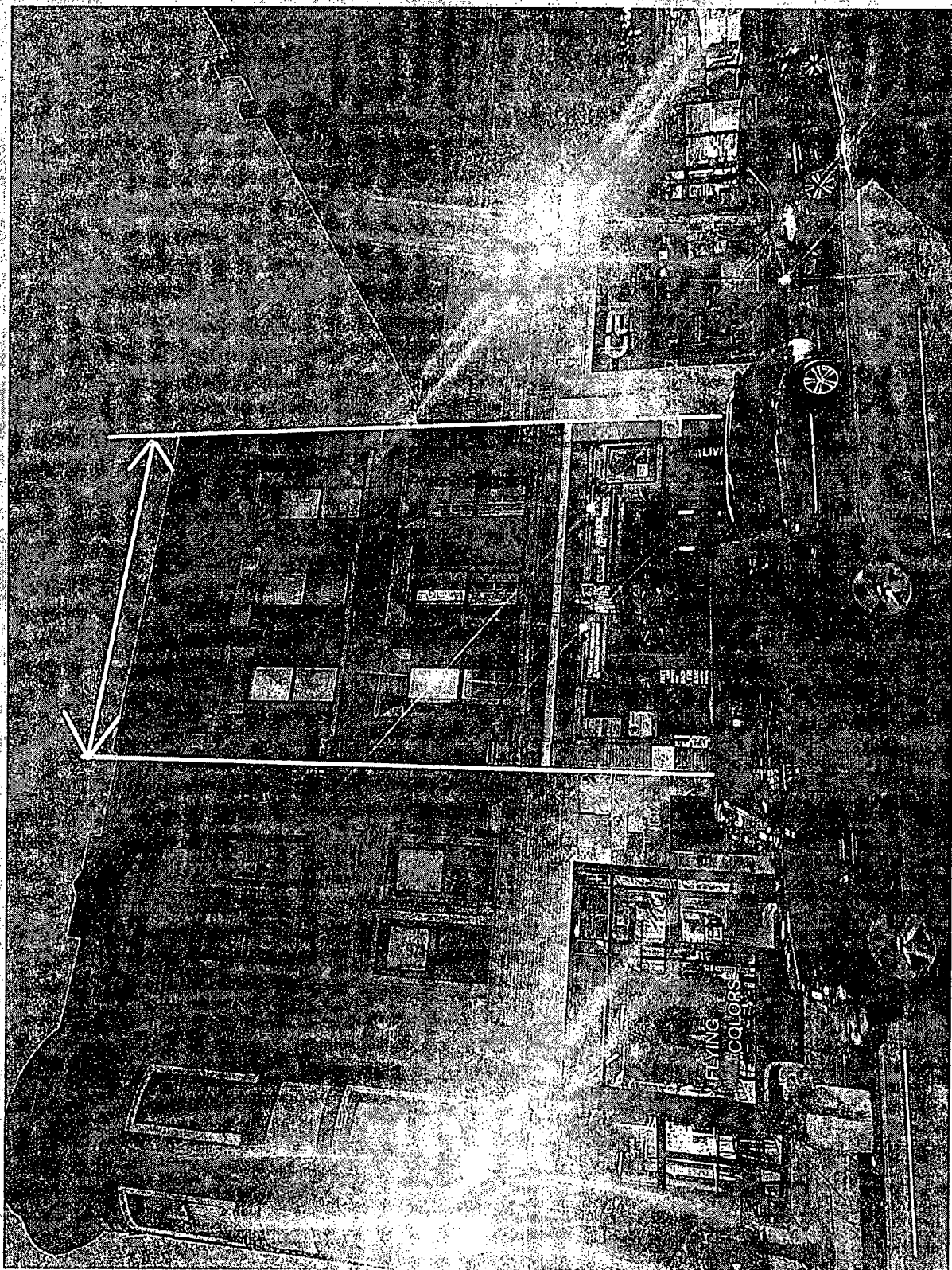
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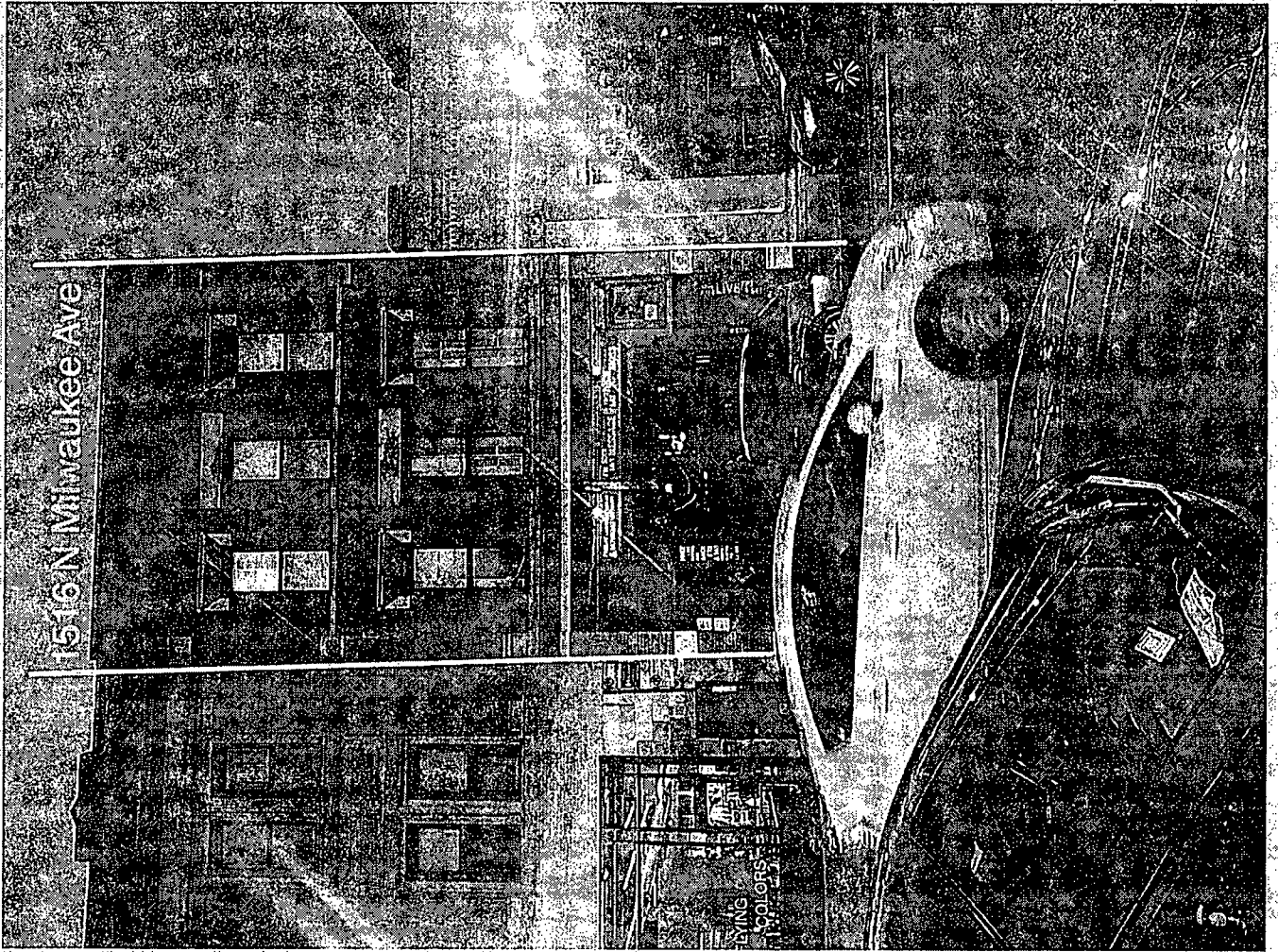


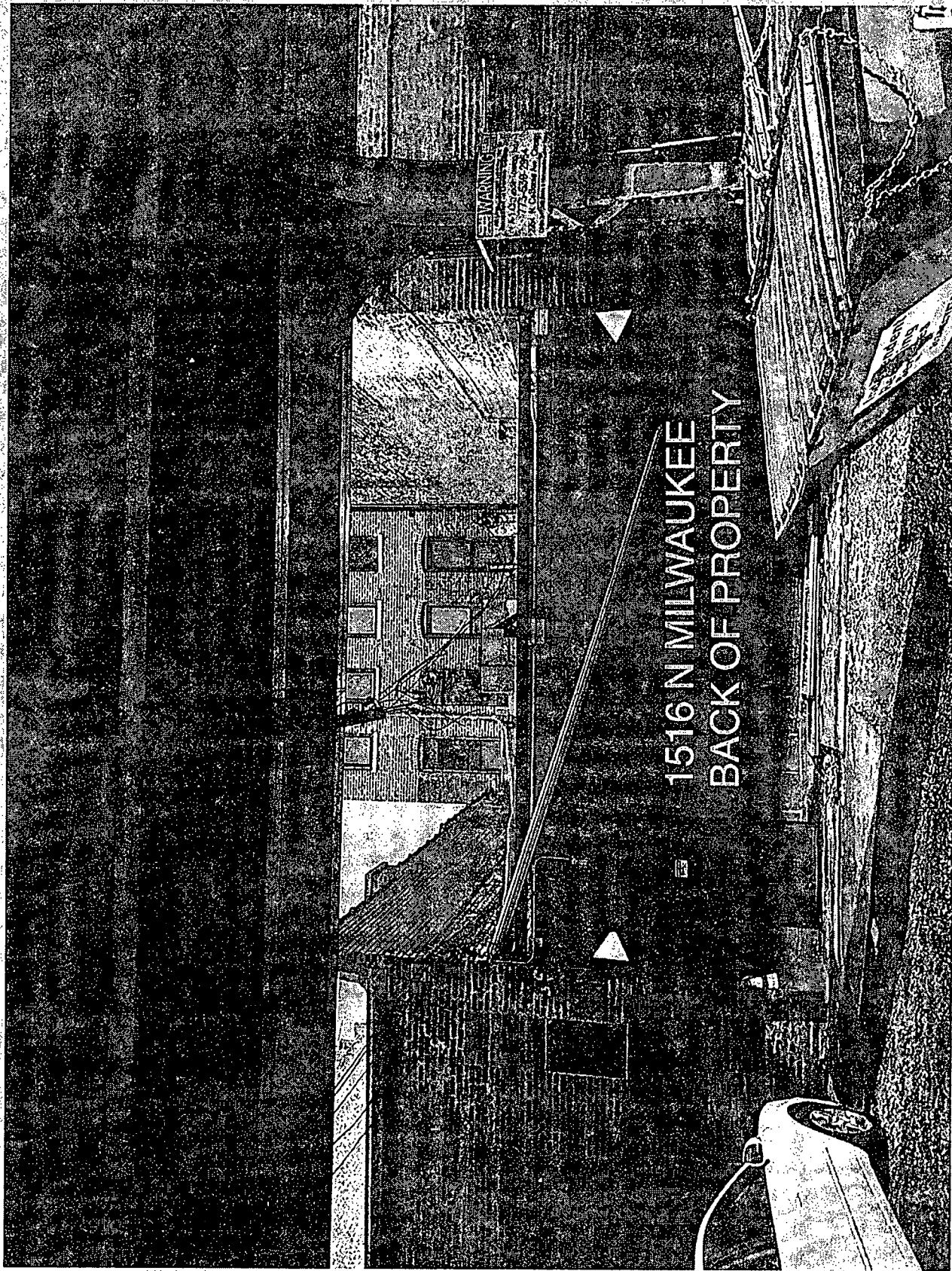
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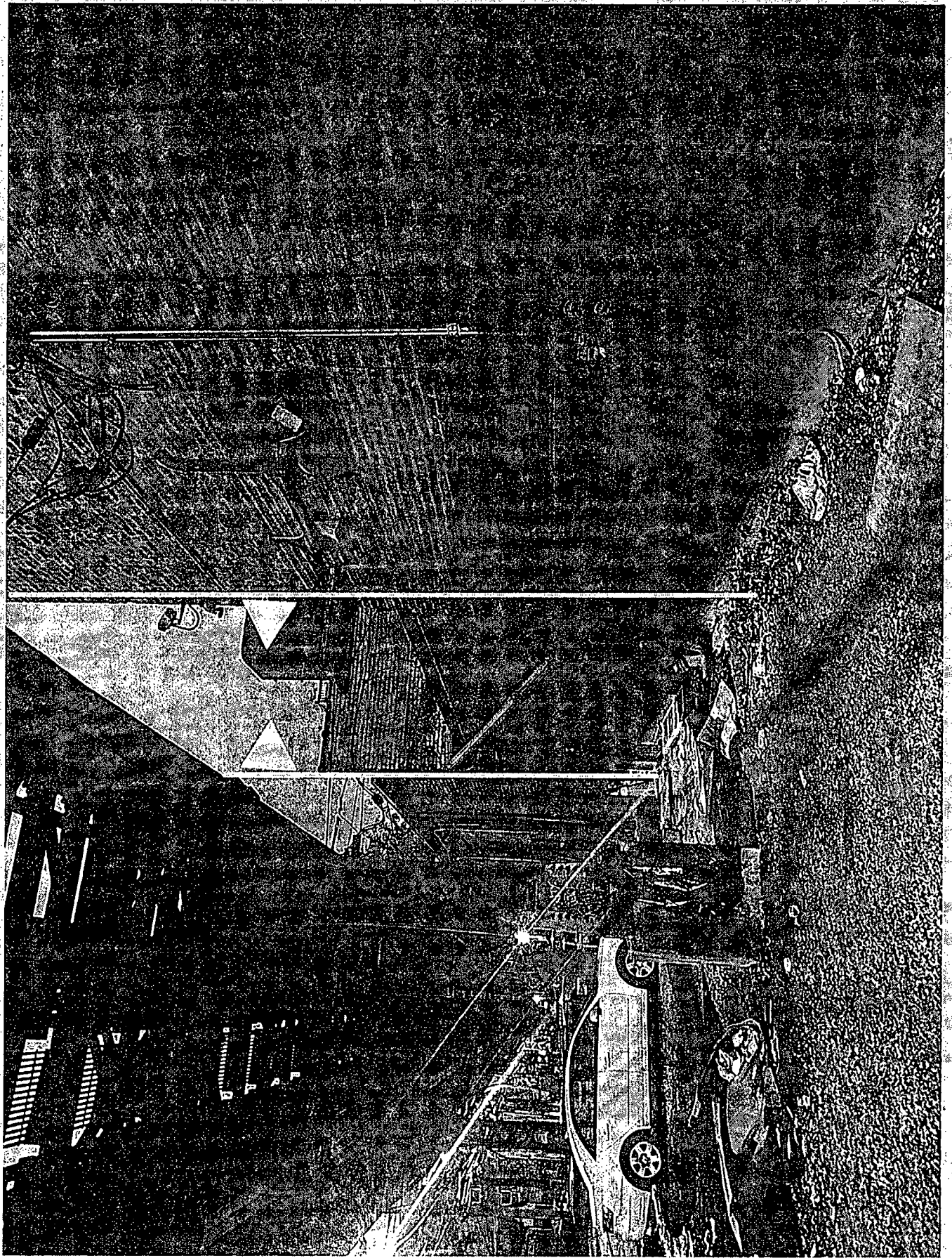




1516 N MILWAUKEE  
BACK OF PROPERTY

WARNING  
DO NOT  
ENTER  
UNLESS  
YOU  
ARE  
A  
LICENSED  
PERSON

Fire for Publication





Final for Publication

