



City of Chicago



SO2016-5570

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	7/20/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 7-G at 2462 N Lincoln Ave and 900-910 W Montana St - App No. 18895T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18895 TI
INTRO. DATE:
JULY 20, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B3-3 Community Shopping District symbols and indications as shown on Map No. 7-G in the area bounded by:

a line 25.00 feet northwest of West Montana Street as measured along the southwesterly line of North Lincoln Avenue; North Lincoln Avenue; West Montana Street; and the public alley next southwest of North Lincoln Avenue

to those of a B3-3 Community Shopping District.

SECTION 2. This Ordinance shall be in force and effect from and after its passage and due publication.

Common Address: 2462 North Lincoln Avenue/900 – 10 West Montana Street

FILE # 3113
DATE 7/20/16
BY 347M

18895T1

SUBSTITUTE NARRATIVE

2462 North Lincoln Avenue/900 – 10 West Montana Street
TYPE I REGULATIONS

Narrative: The subject property contains approximately 3,025 square feet and is improved with a two-story building. The Applicant proposes to rezoned the property to a B3-3 district and pursuant to the Transit-Oriented Provisions of the Chicago Zoning Ordinance construct a four-story (50 ft. 0 in. in height) building containing nine dwelling units, approximately 1,210 sq. ft. of commercial area on the ground floor to be used for retail, office or restaurant space, two parking spaces and no loading berth. The following uses shall be prohibited on the subject property: Vacation Rental, Homesharing, Taverns or roof-top decks on fourth floor roof.

Lot Area: 3,025 sq. ft.

FAR: 3.46

FLOOR AREA: 10,462.00 sq. ft.

Residential Dwelling Units: 9

MLA: 336.11 sq. ft.

Height: 50 ft. 0 in.

Bicycle Parking: 22

Automobile Parking: Two

Loading: None

Setbacks:

Northwest Property Line (side):	0.0 ft.
Lincoln Avenue (front):	0.0 ft.
Montana Street (side):	0.0 ft.
Alley (rear):	2.0 ft.*

FINAL FOR PUBLICATION

*Applicant will pursue the required variations.

2462 N. LINCOLN AVE. ISSUED FOR TYPE I ZONING REVIEW; JULY 14, 2016

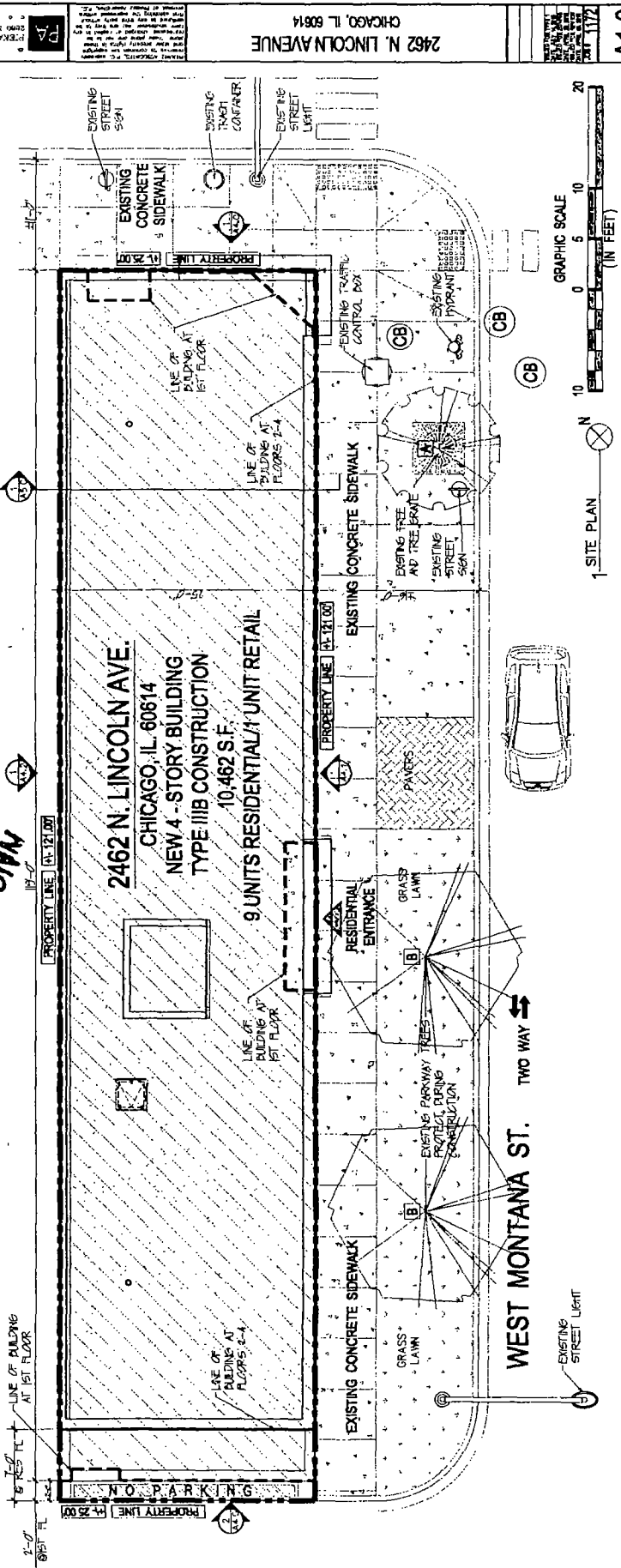
CHICAGO, IL - 9 UNITS RESIDENTIAL / 1 UNIT RETAIL BUILDING

BLITZ LAKE PARTNERS
PIEKARZ ASSOCIATES, P.C.
AND
AGUSTIA EZGUR, LLC

FINAL FOR PUBLICATION

SITE LEGEND

(Symbol)	EXISTING BUILDING
(Symbol)	NEW BUILDING
(Symbol)	EXISTING SIDEWALK
(Symbol)	NEW SIDEWALK
(Symbol)	EXISTING DRIVE
(Symbol)	NEW DRIVE
(Symbol)	EXISTING DRIVE
(Symbol)	NEW DRIVE



2462 N. LINCOLN AVENUE
CHICAGO, IL 60614

A1.0

GRAPHIC SCALE
(IN FEET)
0 5 10 20

1 - SITE PLAN

WEST MONTANA ST. TWO WAY

2462 N. LINCOLN AVE.
CHICAGO, IL 60614
NEW 4 - STORY BUILDING
TYPE III-B CONSTRUCTION
10,462 S.F.
9 UNITS RESIDENTIAL / 1 UNIT RETAIL

NO PARKING

REMARKS: ASSOCIATES, P.C. CHICAGO, IL 60614
773.342.1300

2462 N. LINCOLN AVENUE
CHICAGO, IL 60614

DATE: 11/17/12
BY: [Signature]

A2.2

PERKINS ASSOCIATES P.C.
2200 N. MICHIGAN AVENUE, SUITE 200
CHICAGO, IL 60610
TEL: 312.329.4200

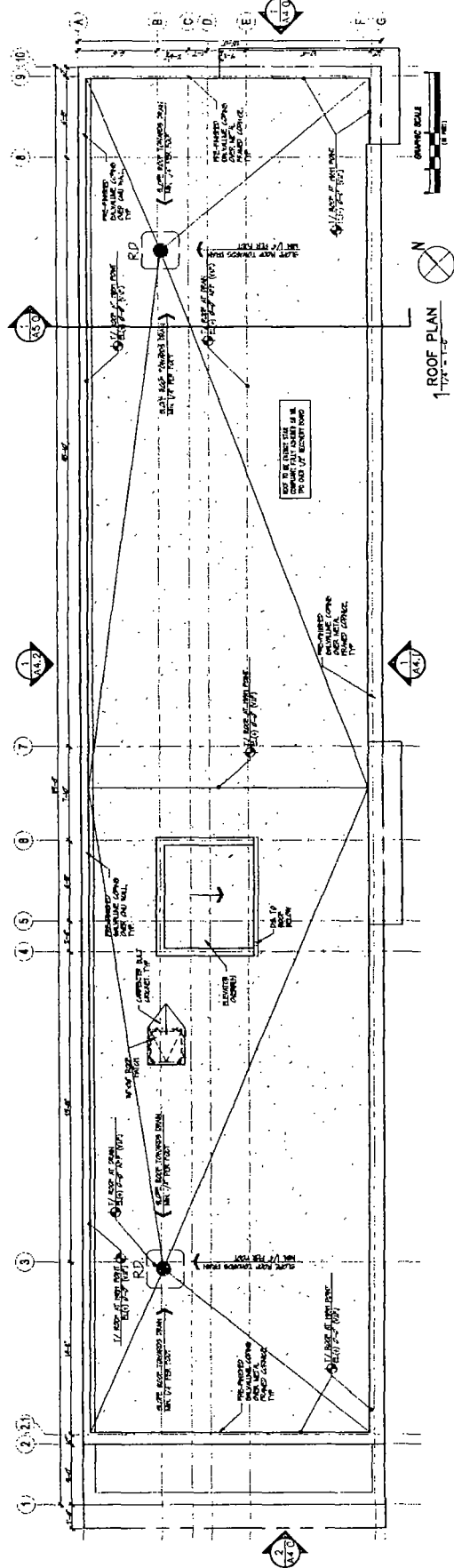
ROOF LEGEND

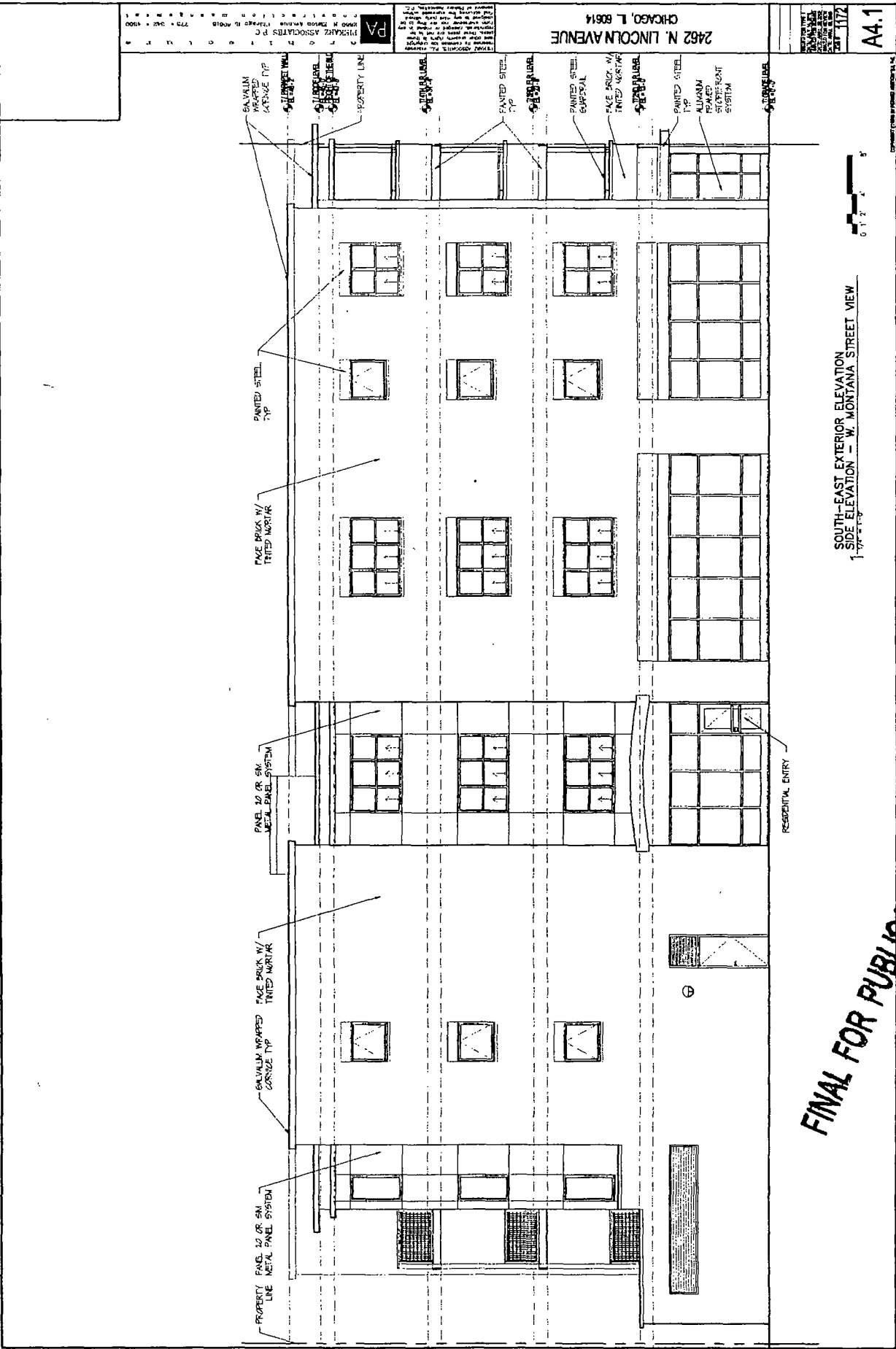
- ROOF FINISH: [Symbol] ROOF FINISH
- ROOF DRAIN: [Symbol] ROOF DRAIN
- ROOF CURB: [Symbol] ROOF CURB
- ROOF PENETRATION: [Symbol] ROOF PENETRATION
- ROOF FLASHING: [Symbol] ROOF FLASHING
- ROOF EAVES: [Symbol] ROOF EAVES
- ROOF GUTTER: [Symbol] ROOF GUTTER
- ROOF SLOPE: [Symbol] ROOF SLOPE
- ROOF RISE: [Symbol] ROOF RISE
- ROOF FALL: [Symbol] ROOF FALL
- ROOF DRAINAGE: [Symbol] ROOF DRAINAGE
- ROOF DRAINAGE SYSTEM: [Symbol] ROOF DRAINAGE SYSTEM
- ROOF DRAINAGE SYSTEM AT ALL ROOF PENETRATIONS: [Symbol] ROOF DRAINAGE SYSTEM AT ALL ROOF PENETRATIONS
- ROOF DRAINAGE SYSTEM AT ALL ROOF PENETRATIONS: [Symbol] ROOF DRAINAGE SYSTEM AT ALL ROOF PENETRATIONS
- ROOF DRAINAGE SYSTEM AT ALL ROOF PENETRATIONS: [Symbol] ROOF DRAINAGE SYSTEM AT ALL ROOF PENETRATIONS

ROOF NOTES

- SEE PLAN FOR ALL ROOF FINISHES AND ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.
- SEE PLAN FOR ALL ROOF DRAINAGE SYSTEMS AND ROOF DRAINAGE SYSTEMS AT ALL ROOF PENETRATIONS.

FINAL FOR PUBLICATION





SOUTH-EAST EXTERIOR ELEVATION
 SIDE ELEVATION - W. MONTANA STREET VIEW
 1/4" = 1'-0"



A4.1

2462 N. LINCOLN AVENUE
 CHICAGO, IL 60614

PA
 HISSARD ASSOCIATES P.C.
 5500 N. TRIMBO AVENUE
 CHICAGO, IL 60630
 773.442.4900

FINAL FOR PUBLICATION

