



City of Chicago



O2019-3843

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	5/29/2019
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 5-K at 4040-4048 W Armitage Ave - App No. 20032T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17, of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the B1-1 Neighborhood Shopping District symbols and indications as shown on Map No.5-K in the area bounded by

The alley next north of and parallel to West Armitage Avenue;
a line 75 feet west of and parallel to North Keystone Avenue;
West Armitage Avenue; and a line 175 feet west of and parallel
to North Keystone Avenue,

to those of a B3-2 Community District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 4040-4048 West Armitage Avenue

Final for Publication

**NARRATIVE AND PLANS FOR PROPOSED REZONING FOR A TYPE 1 ZONING
AMENDMENT – 4040-4048 WEST ARMITAGE AVENUE**

The current zoning of the parcel is B1-1 Neighborhood Shopping District. The zoning amendment is required to change the zoning of the parcel to B3-2 Community District. The zoning change is needed to change the use of the property from its current use of Cultural Exhibits & Libraries to becoming a Banquet and Meeting Hall in an existing 1 & 2 story mixed use building, including residential, retail & cultural center uses.

Lot Area:	12,500 sq. ft.
FAR:	1.04
Building Area:	12,982 sq. ft.
Density/Dwelling Unit:	2 existing
Off Street Parking Spaces:	-0- spaces* (existing)
Front Setback: (Existing)	0' - 0"
Rear Setback: (Existing)	0' - 0"
Sideyard (East): (Existing)	0' - 0"
Sideyard (West): (Existing)	0' - 0"
Rear Yard Open Space:	(None required)
Building Height:	25 ft. (existing)

Note 1: The applicant is seeking a Variation and Special Use to reduce the additional required parking or provide accessory off-site parking to serve the proposed use.

Note 2: The applicant shall seek variation relief for having a Public Place of Amusement License within 125 feet of an RS-3 Residential Zoning Classification District.

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SRBCC

SEGUNDO RUIZ BELVIS CULTURAL CENTER

4046 WEST ARMITAGE

CHICAGO ILLINOIS

DESCRIPTION OF WORK
 PARTIAL REDEMPTION OF ZONING CHANGE OF USE FROM SMALL VENUE (149 OCCUPANTS) TO
 MEDIUM VENUE (210 SEATS) AND CONSTRUCTION OF CURB CUT BUILDING ALREADY COMPLES WITH EGRESS REQUIREMENTS
 FOR INCREASE IN # OF OCCUPANTS

OWNER
 EVERETT TORRES
 4046 WEST ARMITAGE
 CHICAGO ILLINOIS 60647

ARCHITECT
 SHED STUDIO
 1100 N. LAUREL
 CHICAGO ILLINOIS 60610
 773.235.6506/3271-4812

PROJECT DATA

ZONING: B1-1

LOT AREA: 12,500 S.F.

BUILDING FOOTPRINT: 11,314 S.F.

TOTAL BUILDING AREA: 12,982 S.F.

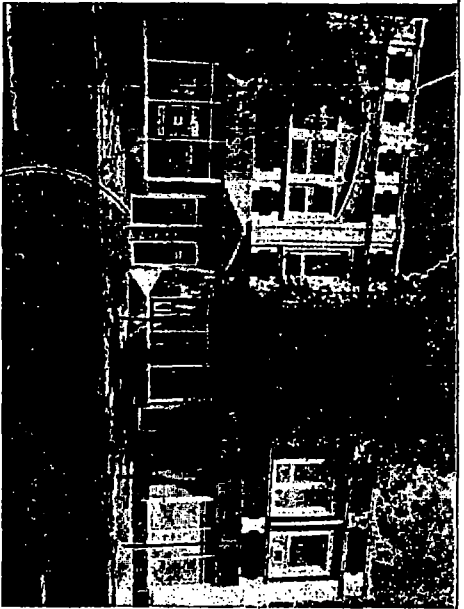
AREA BEING RENOVATED: 8,230 S.F.

BUILDING HEIGHT: 25'-0"

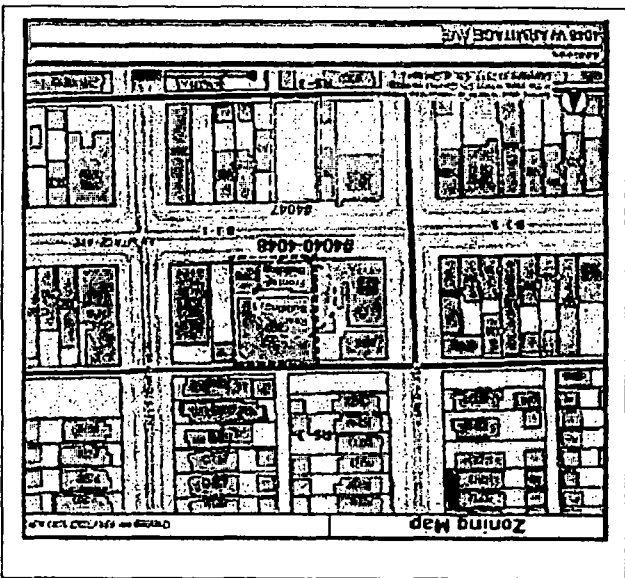
FRONT BUILDING: NO CHANGE
 OCCUPANCY: E. BUSINESS
 USE: STOREFRONT/OFF (1ST FLR)
 RESIDENTIAL (2ND FLR) - NIC

REAR BUILDING: (CHANGE OF USE)
 EXISTING OCCUPANCY: C-2, ASSEMBLY
 PROPOSED USE: BANQUET & MEETING HALL
 MEDIUM VENUE (210 SEATS)
 -NOT PERMITTED, REQUIRES
 VARIANCE

REQUIRED PARKING: 1 FOR 10 SEATS
 ENTERTAINMENT: 21 SPACES
 TOTAL



1 FRONT VIEW OF EXISTING BUILDING
 MAIN ENTRANCE



1 ZONING MAP
 4046 WEST ARMITAGE



DRAWING INDEX

- A01 TITLE SHEET ZONING MAP PHOTO
- A02 BUILDING SITE PLAN
- A03 PARKING LOT PLANS
- A11 FLOOR PLANS
- A12 EXTERIOR ELEVATIONS
- A21 EXTERIOR ELEVATIONS

NOTE: DRAWINGS SHEET SIZE IS 11X17 IF DRAWINGS ARE PRINTED OUT AT A DIFFERENT SIZE, DRAWING SCALE SHOULD BE ADJUSTED

STUDIO

CHICAGO ILLINOIS
 312.777.1822

SRBCC

4046 WEST ARMITAGE
 CHICAGO ILLINOIS

DRAWING NO. 11-21-16
 SHEET NO. A0.1

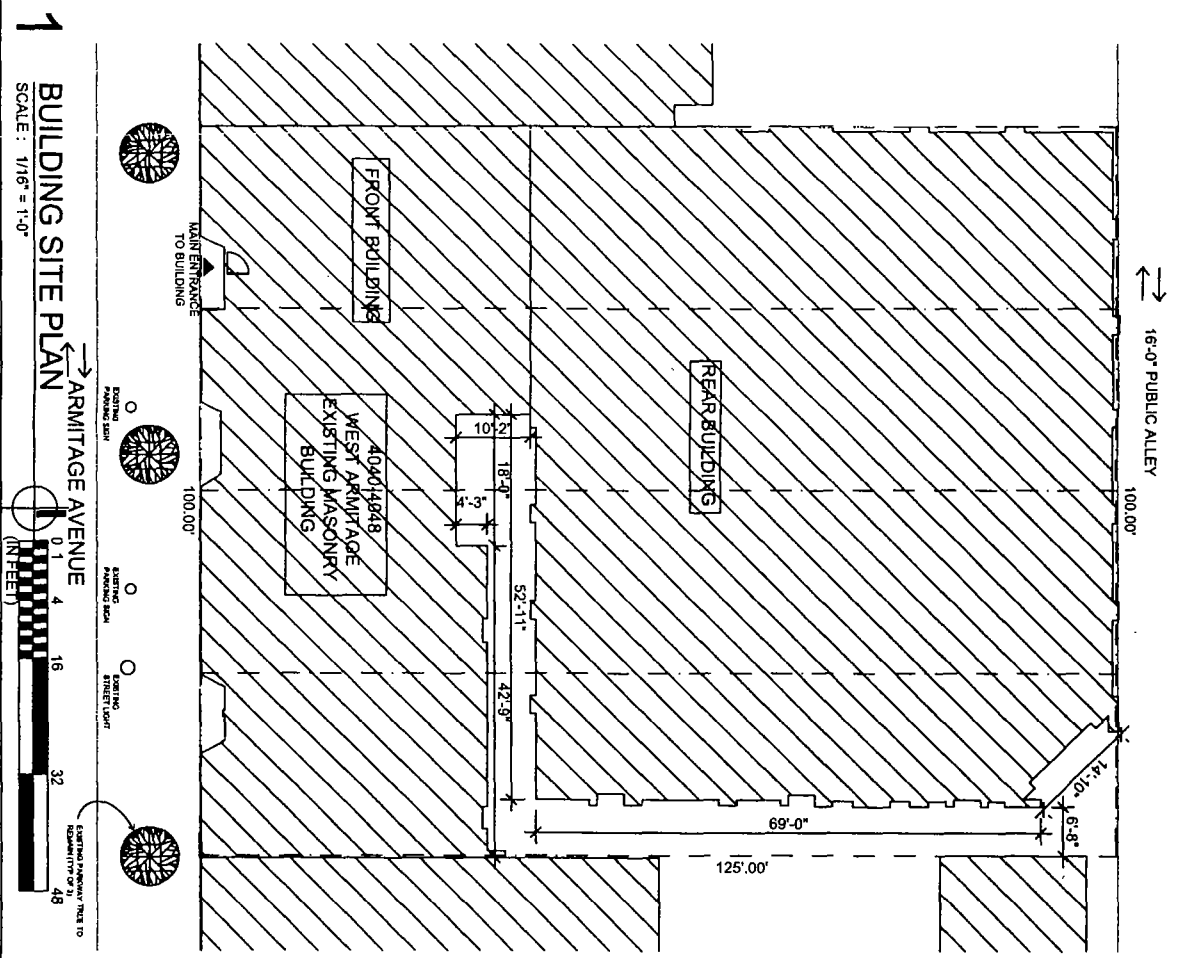
Final for Publication

PROJECT DATA

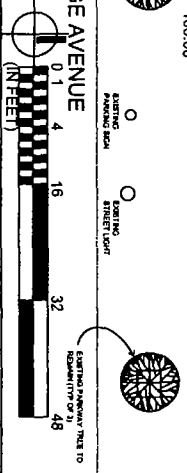
ZONING: B1-1
 LOT AREA: 12,500 S.F.
 BUILDING FOOTPRINT: 11,314 S.F.
 TOTAL BUILDING AREA: 12,982 S.F.
 AREA BEING RENOVATED: 8,200 S.F.
 BUILDING HEIGHT: 25'-0"

FRONT BUILDING: NO CHANGE
 OCCUPANCY: E. BUSINESS
 STOREFRNTS/ OFF (1ST FLR)
 USE: RESIDENTIAL (2ND FLR) - NIC

REAR BUILDING: (CHANGE OF USE)
 EXISTING OCCUPANCY: C-2, ASSEMBLY
 EXISTING USE: SMALL VENUE (149 SEATS)
 PROPOSED USE: BANQUET & MEETING HALL
 MEDIUM VENUE (210 SEATS)
 -NOT PERMITTED, REQUIRES
 VARIANCE
 REQUIRED PARKING: 1 FOR 10 SEATS -
 ENTERTAINMENT, 21 SPACES
 TOTAL



1 BUILDING SITE PLAN
 SCALE: 1/16" = 1'-0"



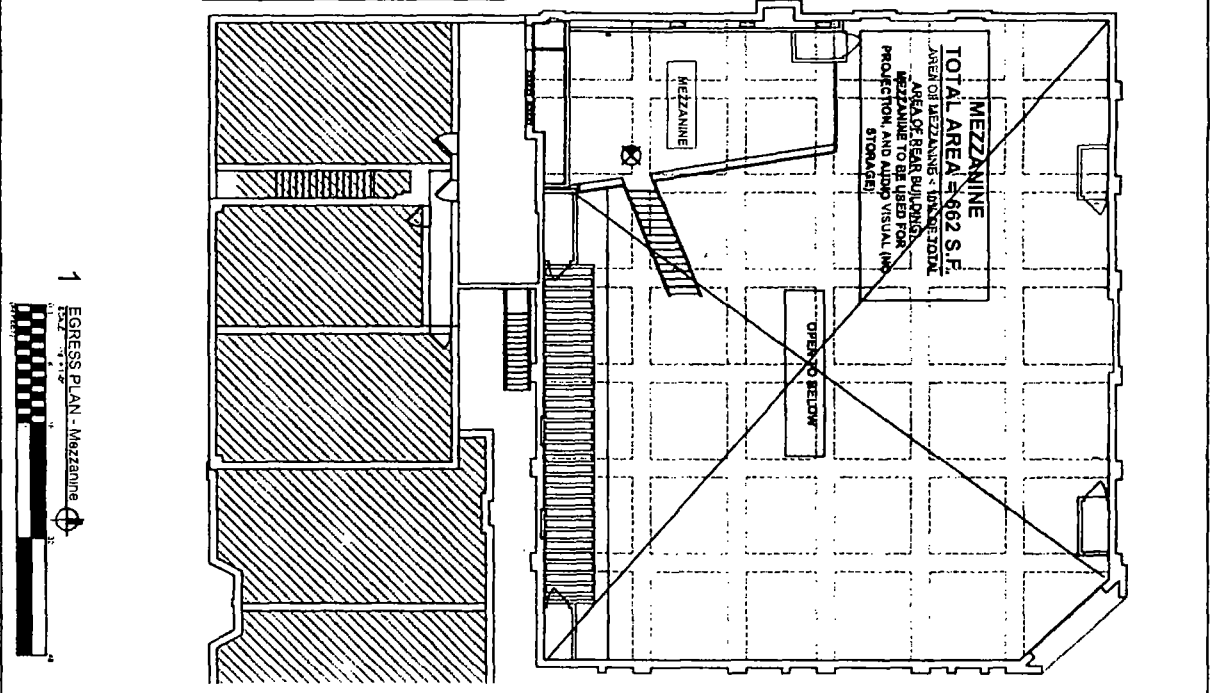
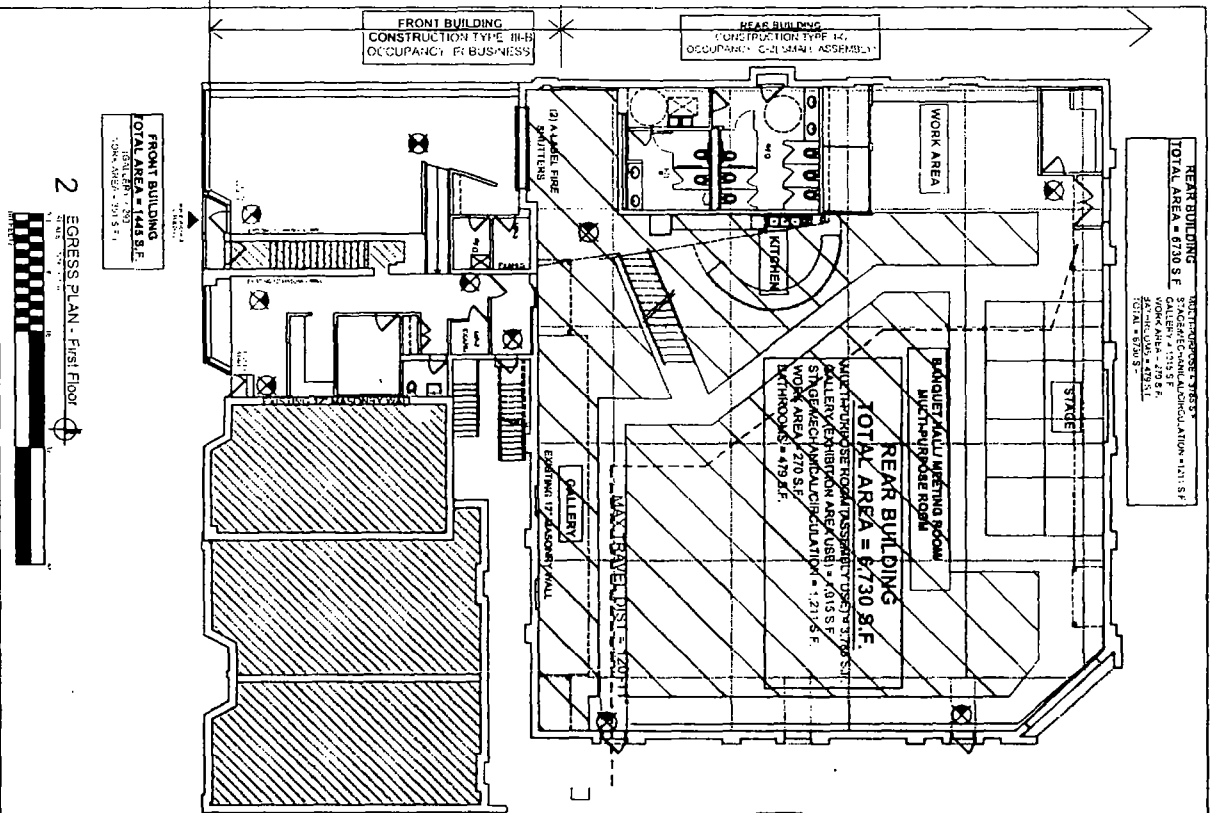
SRBCC
 4040 W ARMITAGE
 CHICAGO ILLINOIS
 PROJECT # 17205
 PROJECT NAME: SRBCC CHANGE OF
 USE

STUDIO
 1540 West Lake Street
 Chicago, Illinois 60622
 (773) 737-4822

11/20/18
 SR

A0.2

Final for Publication



FRONT BUILDING
CONSTRUCTION TYPE III-B
OCCUPANCY: BUSINESS

REAR BUILDING
CONSTRUCTION TYPE II-C
OCCUPANCY: COMM. ASSEMBLY

FRONT BUILDING
TOTAL AREA = 1445 S.F.
GALLERY = 280 S.F.
KITCHENS = 475 S.F.

REAR BUILDING
MULTIPURPOSE ROOMS
TOTAL AREA = 6730 S.F.
CALLER: 4133 S.F.
WORK AREA = 270 S.F.
TOTAL CIRCULATION = 2790 S.F.
TOTAL = 9523 S.F.

MEZZANINE
TOTAL AREA = 862 S.F.
AREA OF MEZZANINE = 10000 SQ. FT.
AREA OF REAR BUILDING:
MEZZANINE TO BE USED FOR
PROJECTION, AND AUDIO VISUAL (AV)
STORAGE.

FRONT BUILDING
TOTAL AREA = 1445 S.F.
GALLERY = 280 S.F.
KITCHENS = 475 S.F.

REAR BUILDING
TOTAL AREA = 6730 S.F.
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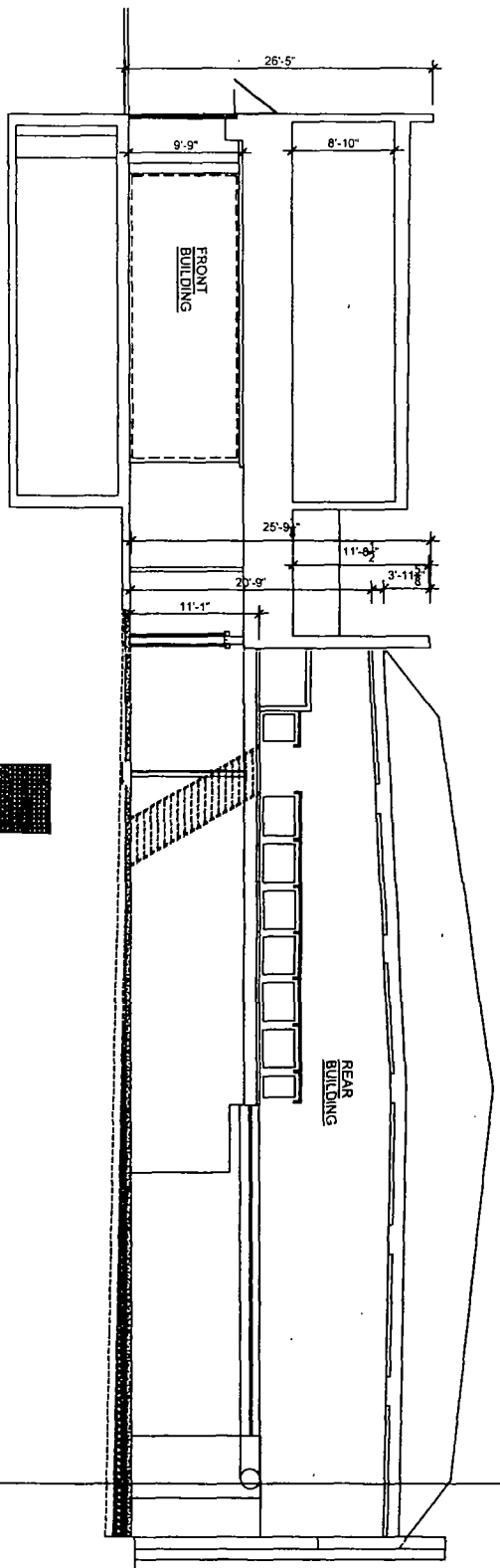
2 EGRESS PLAN - First Floor

1 EGRESS PLAN - Mezzanine

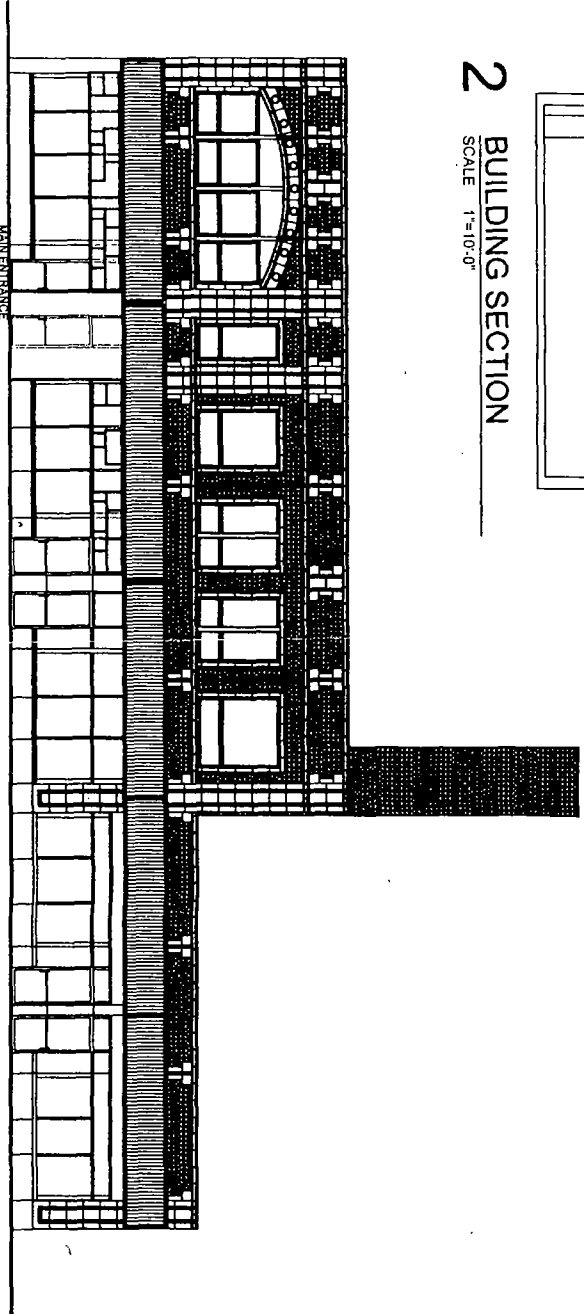
SHED
STUDIO
1030 West Adams Street
Chicago, Illinois 60607
(312) 241-1425

SRBCC
406 W ARMITAGE
CHICAGO ILLINOIS
PROJECT # 17-251
PROJECT NAME: SHED/GARAGE '18
DATE: 11-28-18
BY: [Signature]

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2 BUILDING SECTION
SCALE 1"=10'-0"



1 FRONT ELEVATION
SCALE 1"=10'-0"

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SHED
STUDIO
1345 West Madison Street
Chicago, Illinois 60627
(312) 251-8822

SRBCC
4048 W. ARMITAGE
CHICAGO, ILLINOIS

PROJECT # 17-200
PROJECT NAME: SRBCC CHANGE OF USE
DATE: 05.08.18
BY: MR

A2.1

ALLEY

76'-3"

9'-0"

MECH ELEC

MECH

MECH

STAGE

32'-0"

16'-0"

BACK STAGE AREA

17'-0"

10'-9"

55'-4"

4'-8"

1 occ

DRESSING AREA

7'-0"

SERVING AREA

MULTI-PURPOSE ROOM

149 occ

52'-2"

77'-4"

16'-9"

28'-7"

37'-2"

4'-8"

ENTRY LOBBY

FOYER/GALLERY

46'-5 1/2"

35 occ

12'-0"

12'-6"

MECH

MECH

GALLERY/LIBRARY

20 occ

42'-0"

CLOSET

OFFICE

1 occ

WORK STATION

1 occ

MEETING ROOM

1 occ

ENTRY LOBBY

9'-4"

5'-7"

11'-2"

19'-5 1/4"

16'-2 1/8"

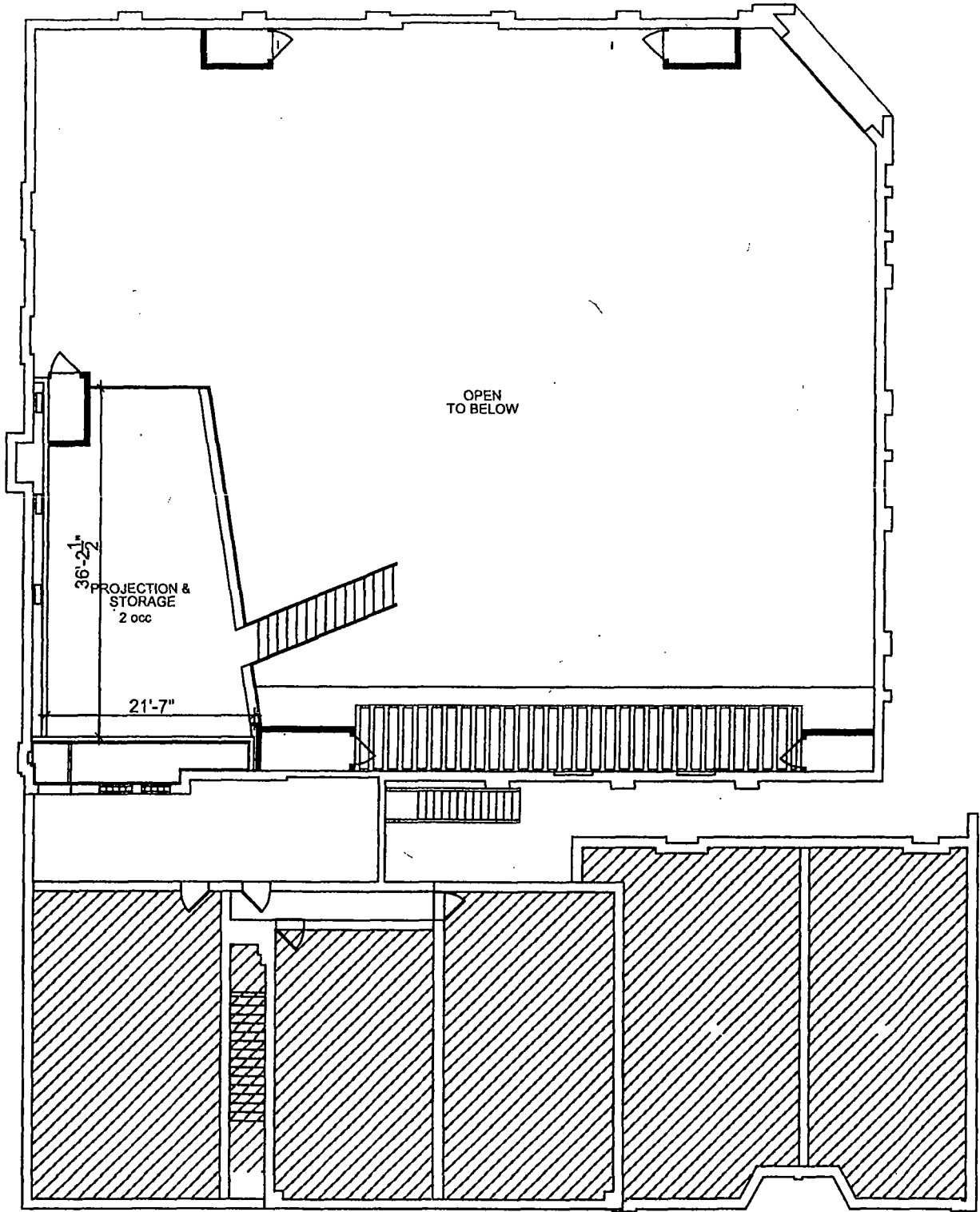
ARMITAGE AVENUE

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FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

Final for Publication



SECOND FLOOR PLAN

SCALE: $\frac{1}{16}'' = 1'-0''$