



# City of Chicago



SO2019-8497

Office of the City Clerk

## Document Tracking Sheet

**Meeting Date:** 11/13/2019

**Sponsor(s):** Misc. Transmittal

**Type:** Ordinance

**Title:** Zoning Reclassification Map No. 10-D at 4601-4611 S Ellis Ave - App No. 20264T1

**Committee(s) Assignment:** Committee on Zoning, Landmarks and Building Standards

**ORDINANCE**

***BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:***

***SECTION 1.*** Title 17, of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map No. 10-D in the area bounded by

East 46<sup>th</sup> Street; the alley next east of and parallel to South Ellis Avenue; a line 179.50 feet south of and parallel to East 46<sup>th</sup> Street; and South Ellis Avenue,

to those of a B2-3 Neighborhood Mixed-Use District.

***SECTION 2.*** This ordinance shall be in force and effect from and after its passage and due publication.

Common address of properties: 4601-4611 South Ellis Avenue

**17-13-0303-C (1) Narrative Zoning Analysis**

4601-4611 South Ellis Avenue, Chicago, Illinois

Proposed Zoning: B2-3 Neighborhood Mixed-Use District

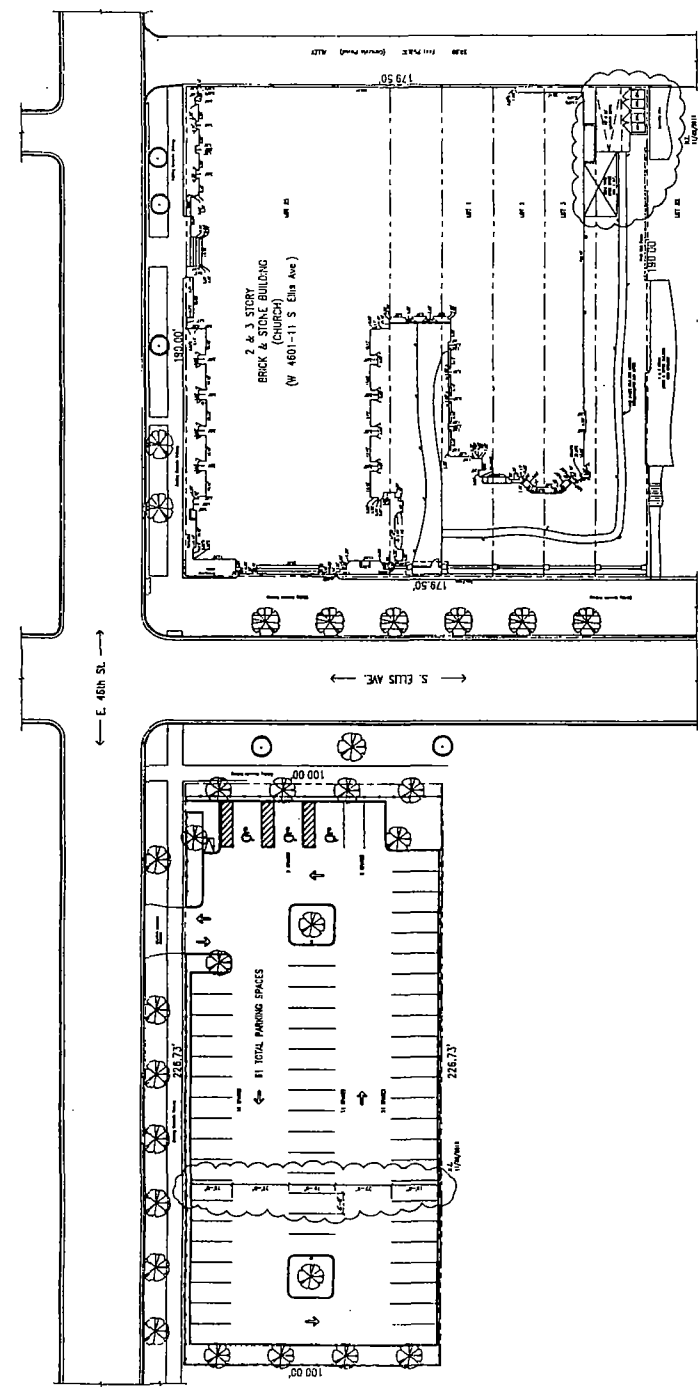
Lot Area: 34,104.97 square feet

Proposed Land Use: The Applicant is seeking a *Zoning Map Amendment* in order to permit the renovation and conversion of the existing three-story (with basement) *church* building into a mixed-use (community-commercial-residential) building, at the subject site. The existing *church* building is *non-conforming*, under the current Zoning Ordinance. Part of the renovation-conversion proposal calls for the establishment of shared office (*co-op*) space, within a portion the grade level (1<sup>st</sup> Floor) of the existing building. The proposal also calls for the location and establishment of twenty-nine (29) dwelling units – on and between the basement thru 3<sup>rd</sup> Floor. Because the footprint of the existing *church* building spans almost the entirety of the site, there will be off-street (off-site) parking for up to sixty-one (61) vehicles, located at a surface parking lot – directly across the street (west) from the subject property. The existing building, as renovated and converted, will continue to be predominantly masonry in construction, with stained-glass accents, which will be preserved. The building is, and will remain, 53 feet-0 inches in height, for all of the occupiable spaces. \**[The existing church steeple (tower) will NOT contain occupiable space.]*

- (A) The Project's Floor Area Ratio: 44,226 square feet (approx.) (1.3 FAR)
- (B) The Project's Density (Lot Area Per Dwelling Unit): 29 dwelling units (1,176 square feet per dwelling unit)
- (C) The amount of off-street parking: 0 vehicular parking spaces (ONSITE)  
*\*The Applicant will be seeking a Special Use to establish up to 61 vehicular parking spaces, at an off-site surface parking lot, located directly across street (within 600 linear feet) of the subject property.*
- (D) Setbacks:
  - a. Front Setback: 0 feet-0 inches
  - b. Rear Setback: 0 feet-0 inches
  - c. Side Setbacks:
    - North: 0 feet-0 inches
    - South: 0 feet-0 inches
- (E) Building Height:
  - 53 feet-0 inches

DATE	DESCRIPTION
8/20/2018	REVISION: REVISION
9/17/2018	REVISION: REVISION
10/17/2018	REVISION: REVISION
11/20/2018	REVISION: REVISION

4601 S. ELIIS ST. BLDG. & P.K. PLAN  
 4601 S. ELIIS ST. BLDG. & P.K. PLAN  
 CHICAGO, IL 60608



1 BUILDING & PARKING LOT SITE PLAN  
 SCALE: 1/8"=1'-0"



ZED ARCHITECTS

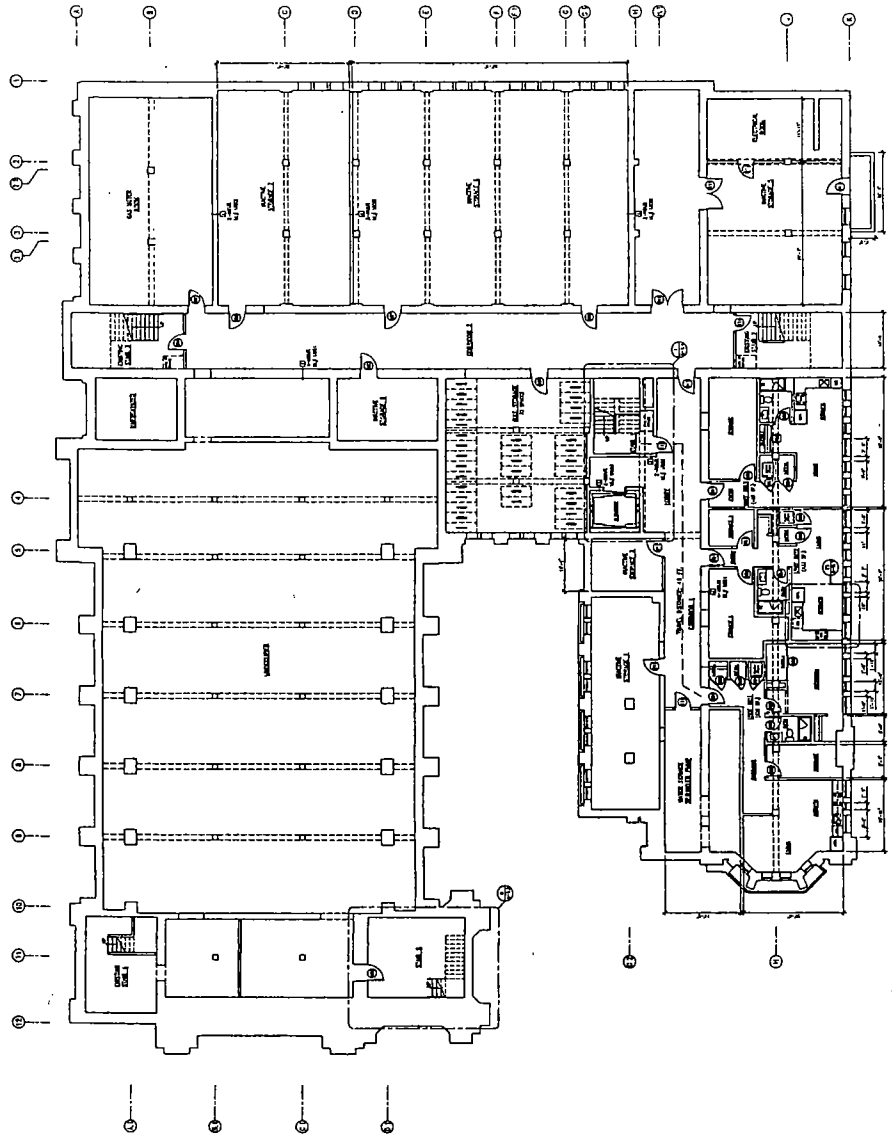
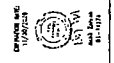
Final for Publication

4601 Ellis  
8601 South Oak Avenue  
Chicago, IL 60627

DATE	10/17/2018
BY	JAMES BROWN
REVISION	11/29/2018
BY	JAMES BROWN
REVISION	12/17/2018
BY	JAMES BROWN
REVISION	1/29/2019
BY	JAMES BROWN
REVISION	3/27/2019
BY	JAMES BROWN
REVISION	4/29/2019
BY	JAMES BROWN
REVISION	5/29/2019
BY	JAMES BROWN
REVISION	6/29/2019
BY	JAMES BROWN
REVISION	7/29/2019
BY	JAMES BROWN
REVISION	8/29/2019
BY	JAMES BROWN
REVISION	9/29/2019
BY	JAMES BROWN
REVISION	10/29/2019
BY	JAMES BROWN
REVISION	11/29/2019
BY	JAMES BROWN
REVISION	12/29/2019
BY	JAMES BROWN

A-21  
BASEMENT FLOOR PLAN

ZED ARCHITECTS  
3470-3102



1 BASEMENT FLOOR PLAN  
SCALE: 1/8"=1'-0"

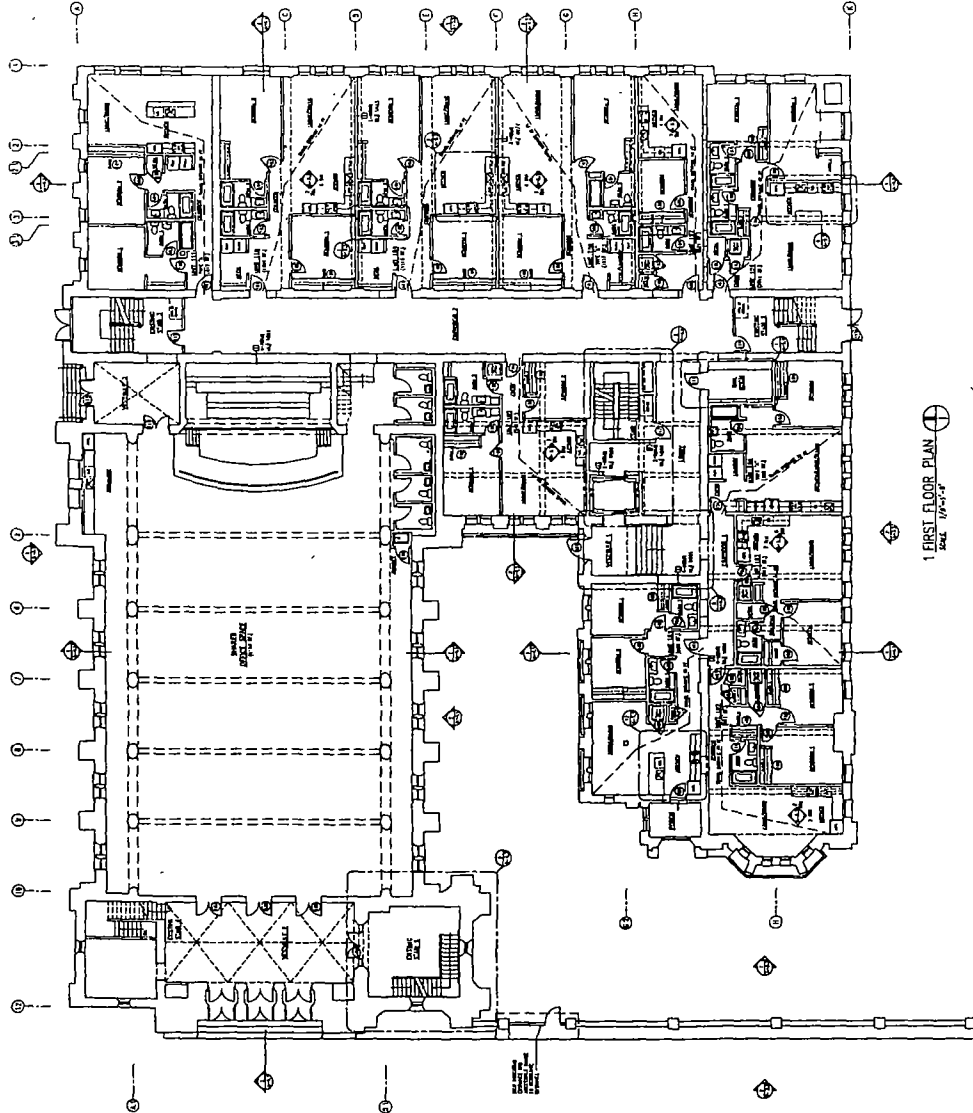
4601 ELLIS  
4601 South Ellis Avenue  
Chicago, IL 60622

DATE	1/28/2011	4601 ELLIS
PROJECT	4601 ELLIS	4601 ELLIS
ARCHITECT	ZED ARCHITECTS	ZED ARCHITECTS
SCALE	AS SHOWN	AS SHOWN
PROJECT NO.	4601 ELLIS	4601 ELLIS
DATE	1/28/2011	4601 ELLIS

A-22  
FIRST FLOOR PLAN

ZED ARCHITECTS

2011-01-28



Final for Publication

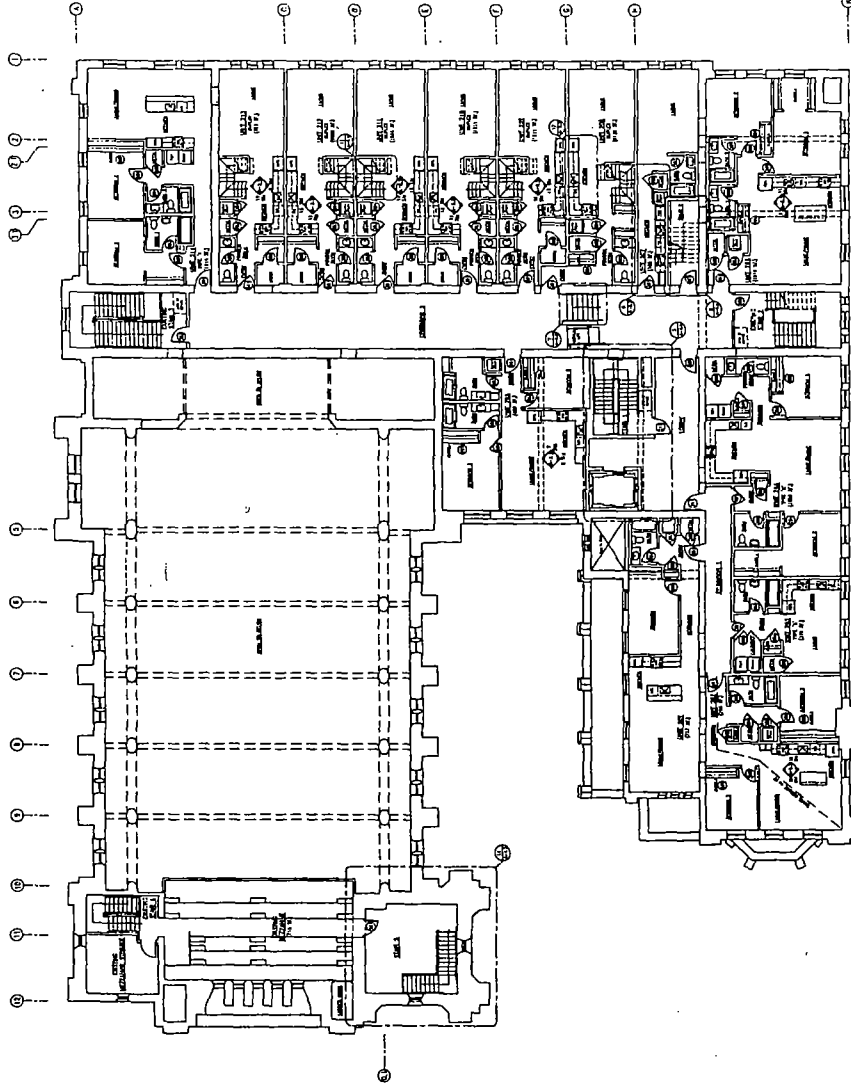
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1401 South Dear Avenue  
Chicago, IL 60622

DATE	01/11/14
REVISION	
DESCRIPTION	
DATE	01/11/14
REVISION	
DESCRIPTION	
DATE	01/11/14
REVISION	
DESCRIPTION	
DATE	01/11/14
REVISION	
DESCRIPTION	

A-23  
SECOND FLOOR PLAN

ZED ARCHITECTS

2014-11-14



1 SECOND FLOOR PLAN  
DATE: 11/11/14

Final for Publication

4601 Ellis  
Chicago, IL 60623

DATE	ISSUED FOR	ISSUED BY
9/25/2018	ARCHITECT'S REVIEW	DAVID
8/17/2018	TRUCK REVIEW	DAVID
11/07/2018	TRUCK REVIEW	DAVID

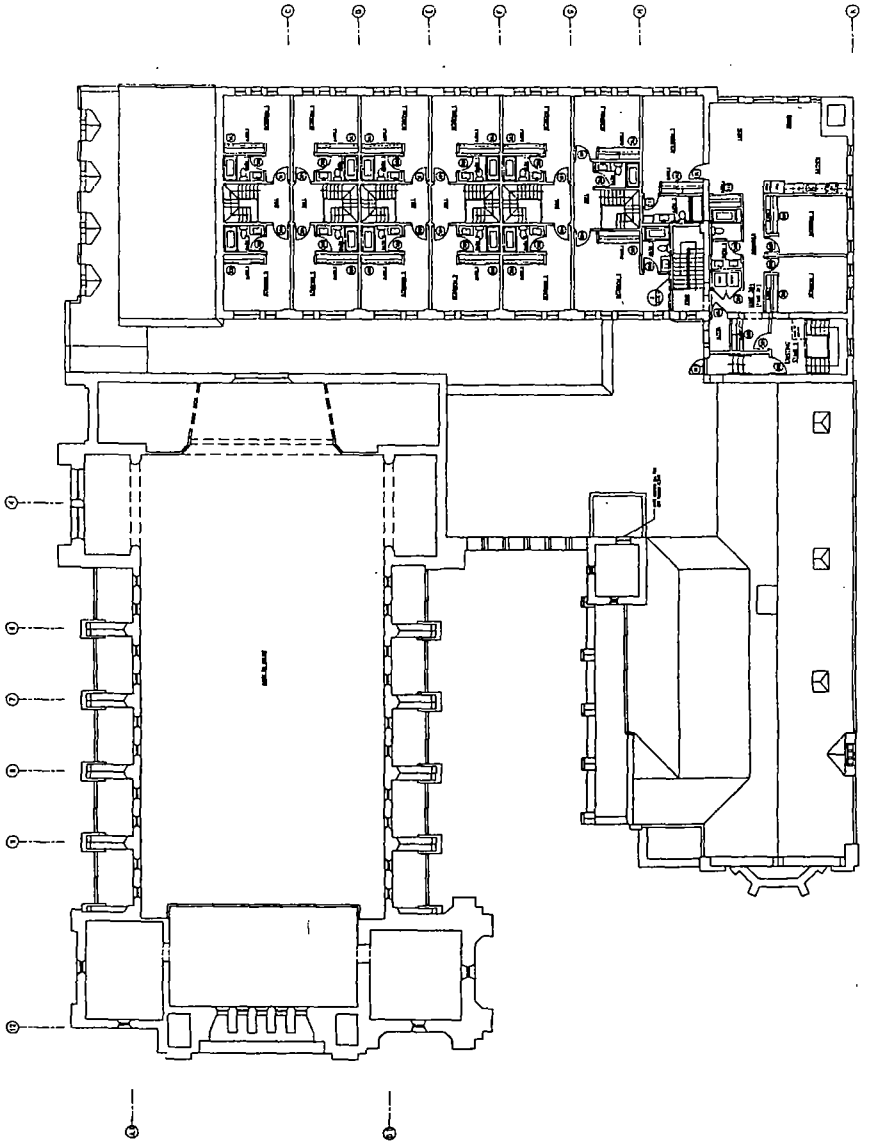
A-24  
THIRD FLOOR PLAN

ZED ARCHITECTS

3/10/18-3/10/18



1 THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"





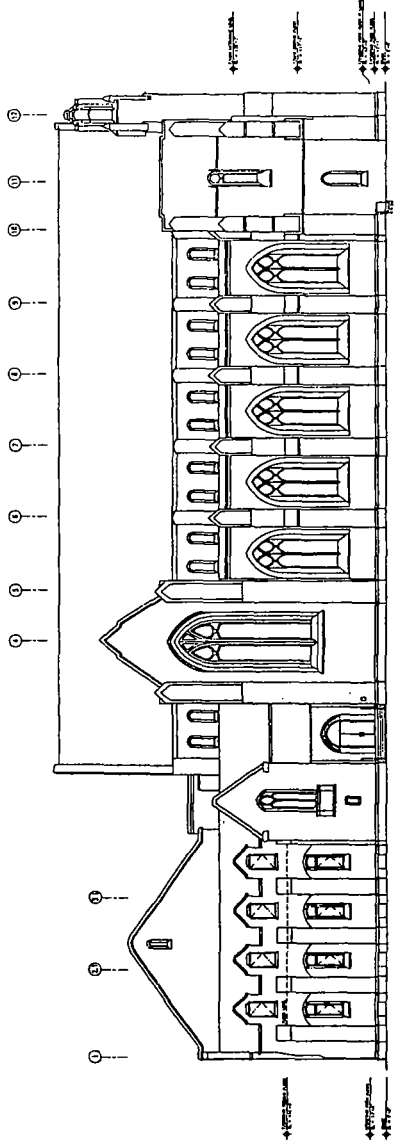
4601 Ellis  
Chicago, IL 60633

Date	Issued for	Drawn by
8/17/2018	Architect's Review	
5/17/2018	Final Review	
11/09/2018	1200% ARCH/CHA	

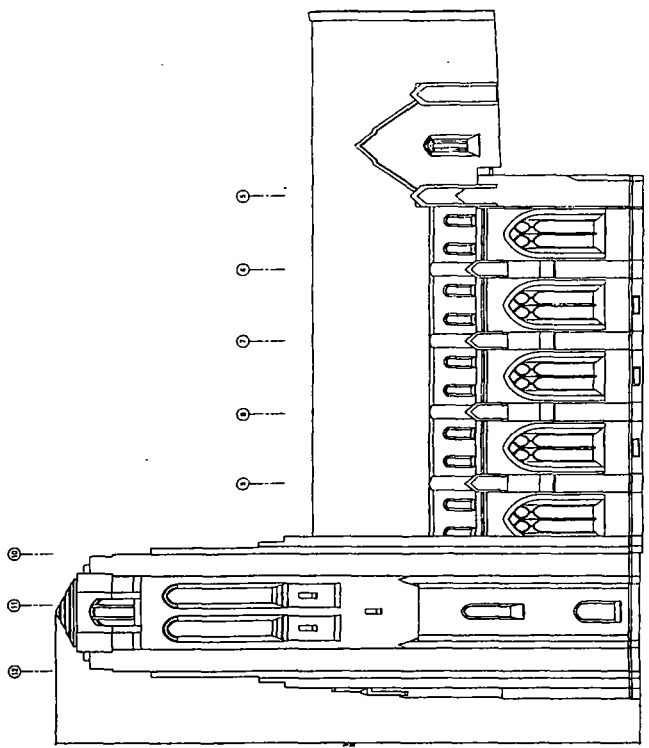
A-31  
EXTERIOR ELEVATIONS NORTH, SOUTH  
WINDOW SCHEDULE

ZED ARCHITECTS

2018-10-10

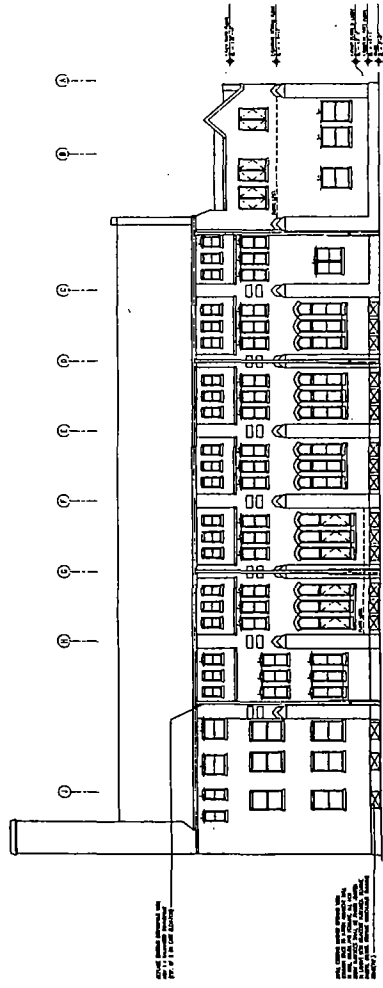


1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

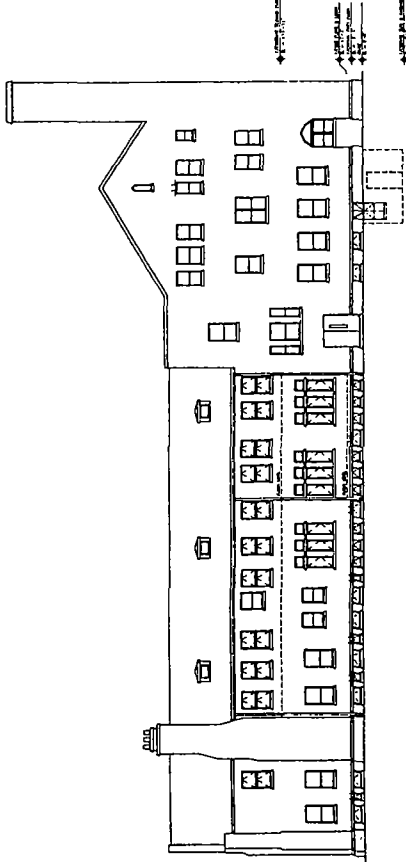


2 PARTIAL SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

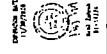
Final for Publication



1 EAST ELEVATION  
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



ZED ARCHITECTS

A-3.2  
EXTERIOR ELEVATION EAST, SOUTH

DATE	11/02/2019
REVISED BY	ARCHITECT
DATE	07/27/2019
REVISED BY	ARCHITECT
DATE	07/27/2019
REVISED BY	ARCHITECT
DATE	07/27/2019
REVISED BY	ARCHITECT
DATE	07/27/2019
REVISED BY	ARCHITECT
DATE	07/27/2019
REVISED BY	ARCHITECT

4801 Ellis  
1451 South Elm Avenue  
Chicago, IL 60623

3170-1031  
2018-10-31

Final for Publication

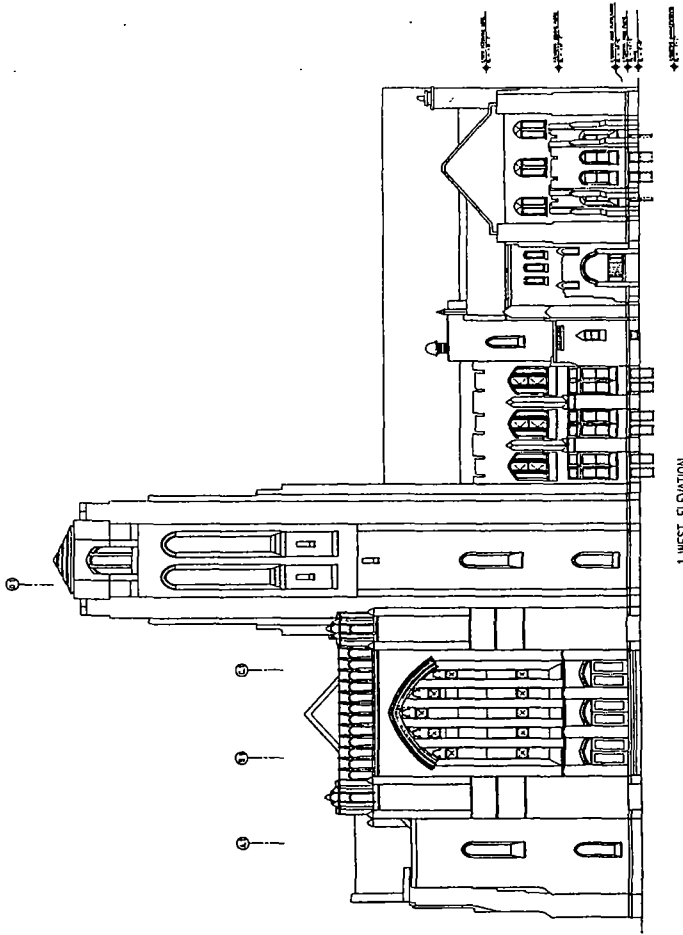
4601 Ellis  
Chicago, IL 60637

DATE	11/27/18
PROJECT	4601 Ellis
ARCHITECT	ZED ARCHITECTS
SCALE	1/8"=1'-0"
DESCRIPTION	EXTERIOR WEST ELEVATION & FENCE ELEVATION

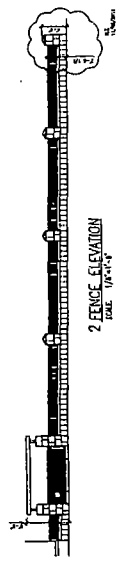
A-3  
EXTERIOR WEST ELEVATION & FENCE ELEVATION

ZED ARCHITECTS

8/21/18



1 WEST ELEVATION  
SCALE: 1/8"=1'-0"



2 FENCE ELEVATION  
SCALE: 1/8"=1'-0"



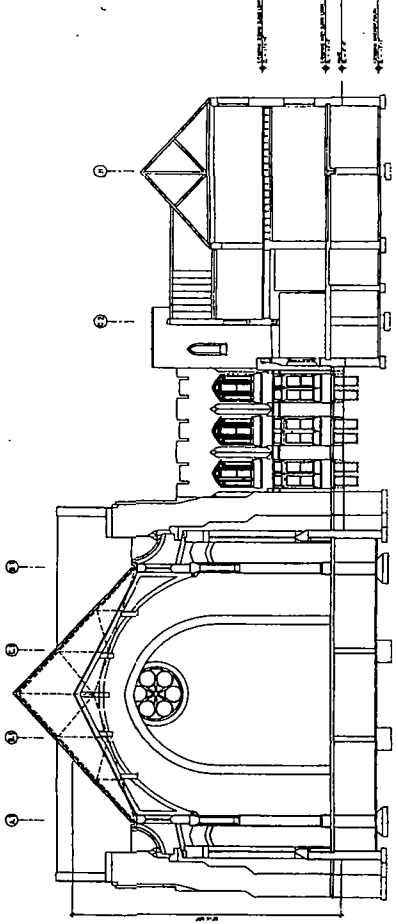
4801 Elms  
Chicago, Ill. 60627

Date	10/22/18	Project Name	4801 Elms
Drawn By	James Johnson	Client	James Johnson
Checked By	James Johnson	Architect	ZED ARCHITECTS
Scale	1/4" = 1'-0"	Notes	

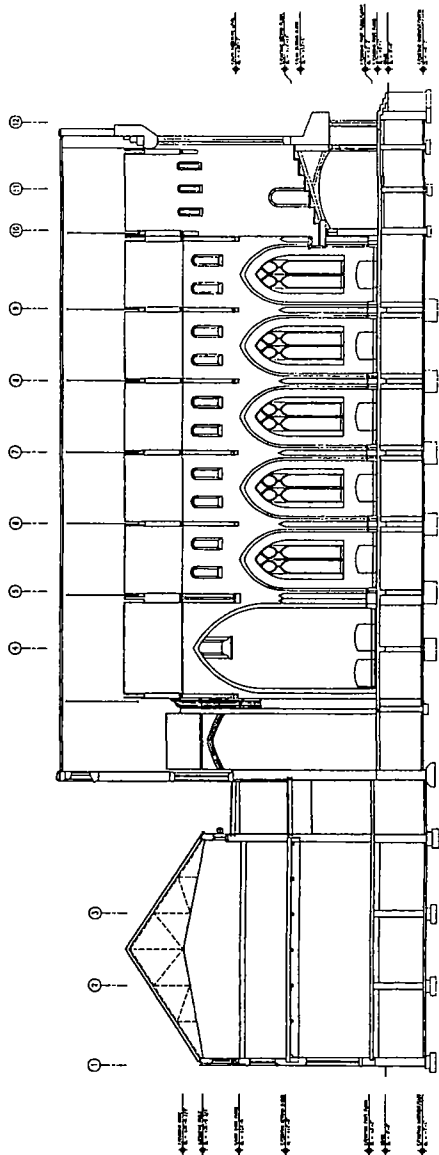
A-41  
CHURCH-PARISH HOUSE SECTION  
CHAPEL-AUDITORIUM SECTION

ZED ARCHITECTS

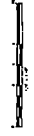
10/22/18



1 BUILDING CROSS-SECTION  
SCALE: 1/4" = 1'-0"



2 BUILDING LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"



Final for Publication

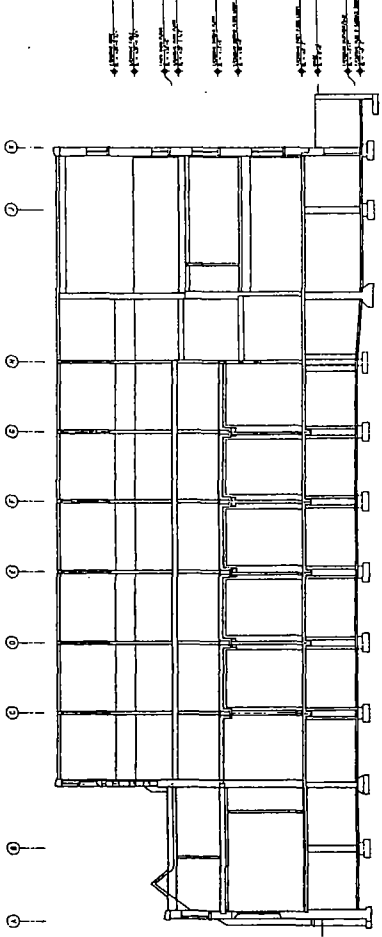
4601 Elms  
 4601 South Elm Avenue  
 Chicago, IL 60637

DATE	DESCRIPTION	BY
11/27/2018	REVISION	MM
11/27/2018	ISSUE FOR PERMIT	MM
11/27/2018	ISSUE FOR PERMIT	MM
11/27/2018	ISSUE FOR PERMIT	MM
11/27/2018	ISSUE FOR PERMIT	MM
11/27/2018	ISSUE FOR PERMIT	MM

A-4.2  
 BUILDING SECTIONS

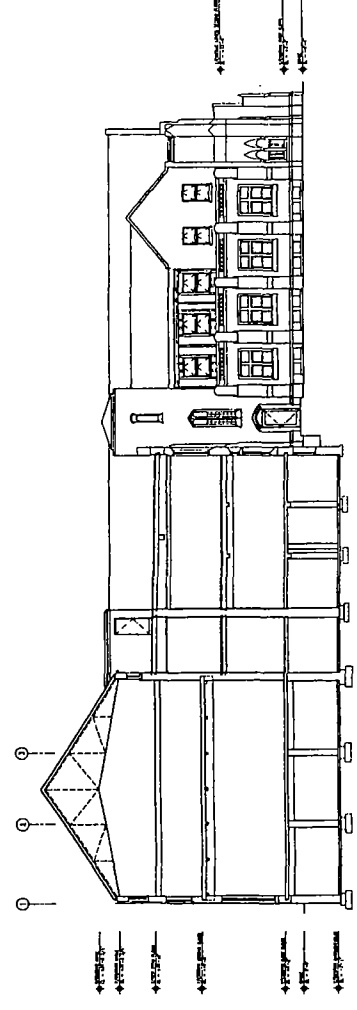
ZED ARCHITECTS

2018-1-1015



1 BUILDING LONGITUDINAL SECTION  
 SCALE 1/8"=1'-0"

- FINISH FLOOR
- FINISH CEILING
- FINISH WALL
- FINISH EXTERIOR WALL
- FINISH EXTERIOR ROOF
- FINISH EXTERIOR
- FINISH EXTERIOR
- FINISH EXTERIOR
- FINISH EXTERIOR



2 BUILDING CROSS-SECTION  
 SCALE 1/8"=1'-0"

- FINISH FLOOR
- FINISH CEILING
- FINISH WALL
- FINISH EXTERIOR WALL
- FINISH EXTERIOR ROOF
- FINISH EXTERIOR
- FINISH EXTERIOR
- FINISH EXTERIOR
- FINISH EXTERIOR

