



City of Chicago



O2018-154

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 1/17/2018

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 101-B at 2707-2709 W
Polk St - App No. 19498T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map No.101-B in the area bounded by

West Polk Street; a line 52.64 feet west of and parallel to South Washtenaw Avenue; the public alley due south of and parallel to West Polk Street; and a line 102.64 feet west of and parallel to South Washtenaw Avenue,

to those of a RT-4 Residential Two Flat, Townhouse and Multi-Unit District is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 2707-2709 West Polk Street

FINAL FOR PUBLICATION

NARRATIVE

2707-2709 West Polk

APPLICATION FOR ZONING MAP AMENDMENT

TYPE 1 ZONING ANALYSIS

The applicant is seeking to rezone the subject property from its existing M1-2 classification to a RT-4 classification to permit the construction of 2 identical buildings containing 3 dwelling units and 3 parking spaces. Following is the additional information regarding the proposed development required for the subject application:

2707 W. Polk (Lot 3)

- a. lot area = 3,122.5 square feet
- b. floor area ratio = 1.19
- c. building area = 3,720 square feet
- d. density (lot area per dwelling unit) = 3.12
- e. off-street parking = 3 spaces
- f. setbacks:
 - i. side-east = 2 feet 6 inches
 - ii. side-west = 3 feet
 - iii. side total = 5 feet 6 inches
 - iv. rear-south = 48 feet 8 inches
 - v. front-north = 12 feet 3 inches *
- g. building height = 32 feet 7 inches

2709 W. Polk (Lot 4)

- a. lot area = 3,122.5 square feet
- b. floor area ratio = 1.19
- c. building area = 3,720 square feet
- d. density (lot area per dwelling unit) = 3.12
- e. off-street parking = 3 spaces
- f. setbacks:
 - i. side-east = 2 feet 6 inches
 - ii. side-west = 3 feet
 - iii. side total = 5 feet 6 inches
 - iv. rear-south = 48 feet 8 inches
 - v. front-north = 12 feet 3 inches *
- g. building height = 32 feet 7 inches

FINAL FOR PUBLICATION

*Average of 2 adjoining lots

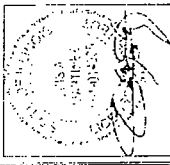
Submitted herewith are copies of a site plan, floor plans, map showing nearby buildings and zoning districts, and photos.



134 N. LASALLE ST.
SUITE No 2145
CHICAGO, IL 60602

CONTRACT NO. 11717-10
DATE OF ISSUE: 11/17/10
PROJECT NO. 11717-10
PROJECT NAME: 3 UNIT BUILDING
OWNER: 2707 W. POLK ST. CHICAGO, IL

NO.	DATE	DESCRIPTION



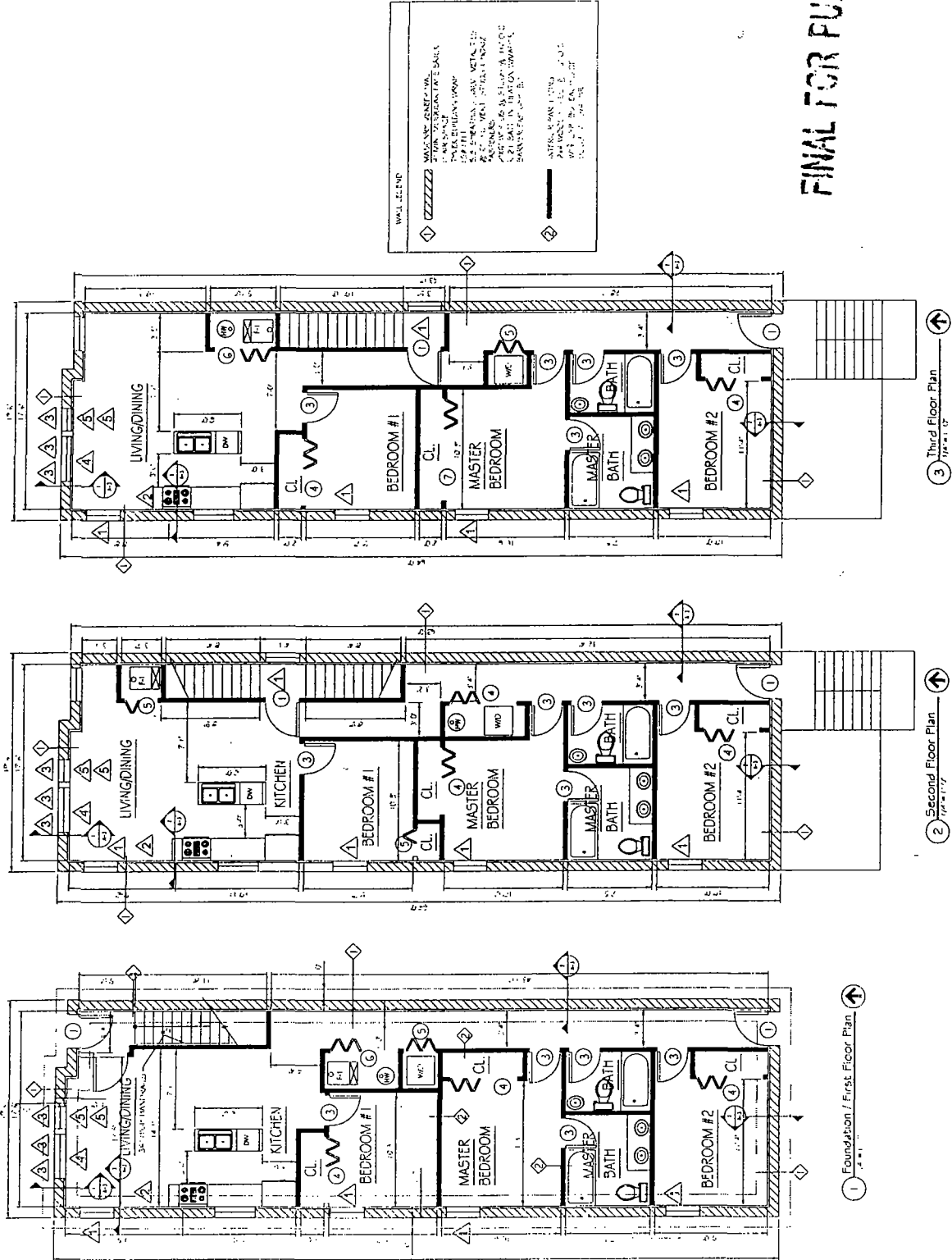
ERECT NEW 3 STORY
3 UNIT BUILDING
WITH 3 PARKING SPACES

2707
W. POLK ST.
CHICAGO
ILLINOIS

DATE: 11/17/10
BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
FIRST, SECOND & THIRD FLOOR PLANS

A-1

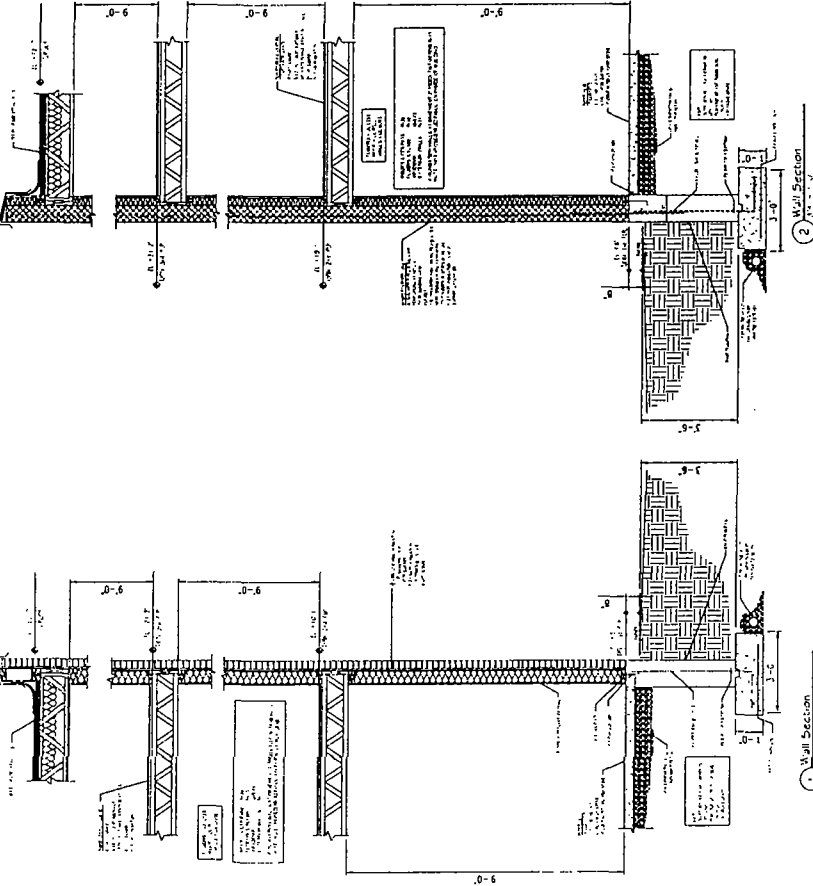
FINAL FOR PUBLICATION



1 Foundation / First Floor Plan

2 Second Floor Plan

3 Third Floor Plan



FINAL FOR PUBLICATION

LUISA MARTINEZ
L'AM
 ARCHITECTS
 1521 N. LASALLE ST
 SUITE 201
 CHICAGO, IL 60602

CONTRACT NO. 1521 N. LASALLE ST
 CHICAGO, ILL. 60602
 PROJECT NO. 1521 N. LASALLE ST
 SHEET NO. A-2

NO.	DATE	DESCRIPTION



ERECT NEW 3 STORY
 3 UNIT BUILDING
 WITH 3 PARKING SPACES

2707
 W. POLK ST.
 CHICAGO
 ILLINOIS

DATE: 11/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]

WALL SECTION

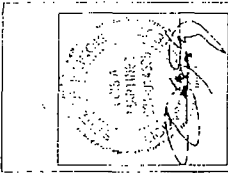
A-2

LUIS A. MARTINEZ
LAM
 ARCHITECTS

141 N. LASALLE ST
 SUITE 207
 CHICAGO, IL 60602

CONTRACT NO. 141-141-141-141
 PROJECT NO. 141-141-141-141
 DATE: 10/10/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

NO.	DATE	DESCRIPTION



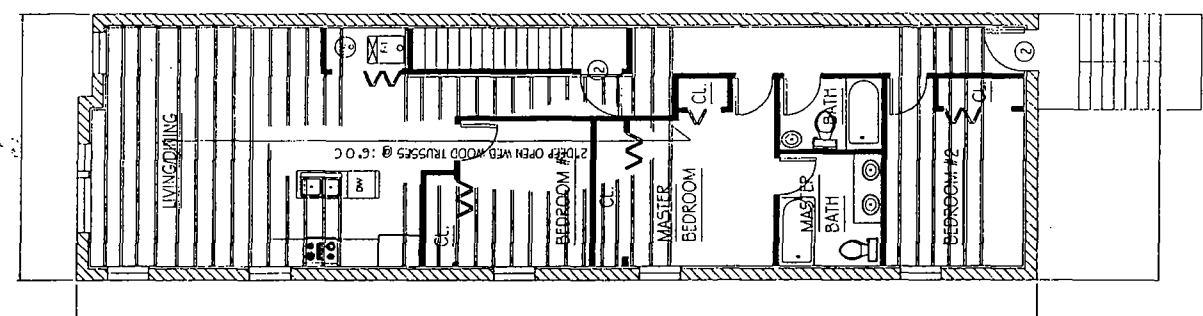
ERECT NEW 3 STORY
 3 UNIT BUILDING
 WITH 3 PARKING SPACES

2707
 W. POLK ST.
 CHICAGO
 ILLINOIS

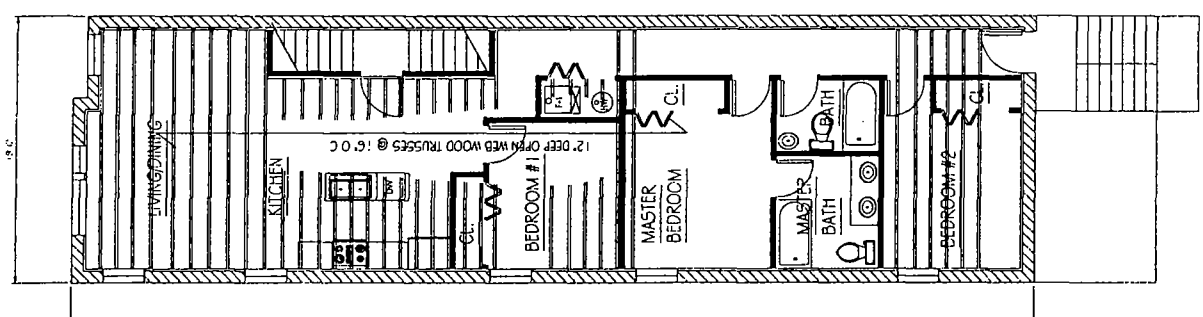
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 CHECKED BY: [Name]
 APPROVED BY: [Name]

FRAMING PLANS
 A-3

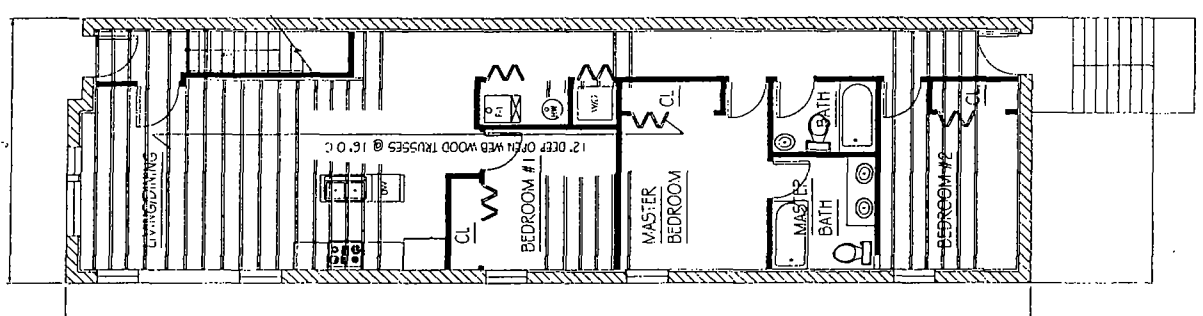
FINAL FOR PUBLICATION



3 Third Floor Roof Framing Plan



2 Second Floor Ceiling Framing Plan



1 First Floor Ceiling Framing Plan



Laura A. Martinez
 ARCHITECTS
 134 N. LASALLE ST
 SUITE No 2145
 CHICAGO, IL 60602

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IBCS, AND ALL APPLICABLE CODES AND REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

NO.	DATE	DESCRIPTION

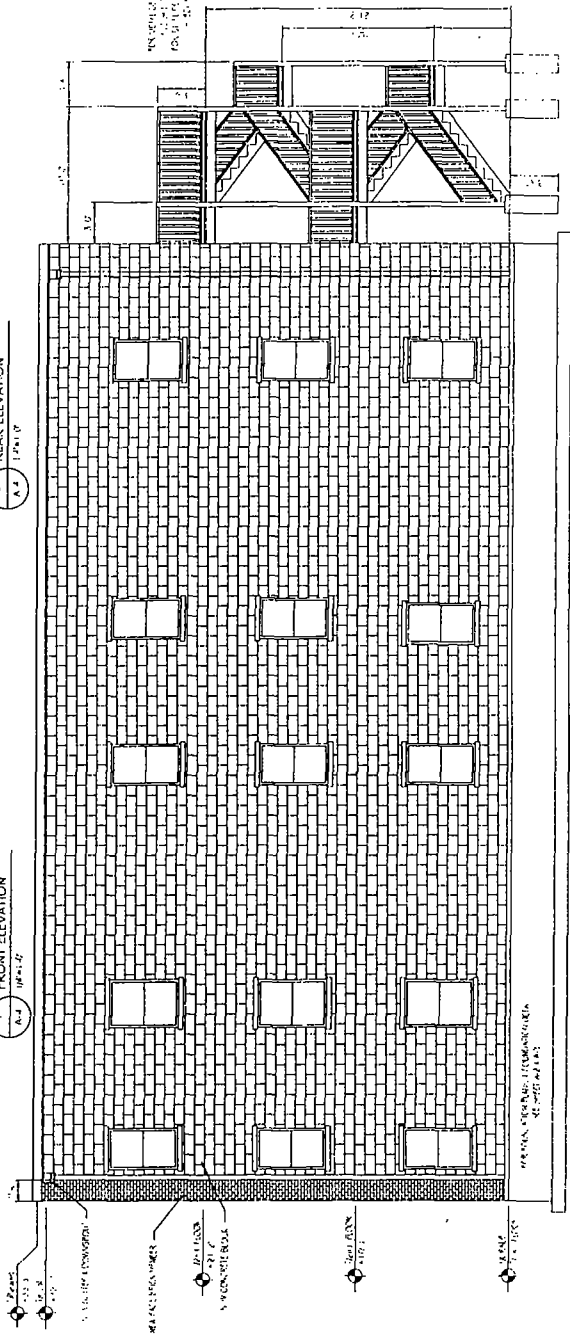
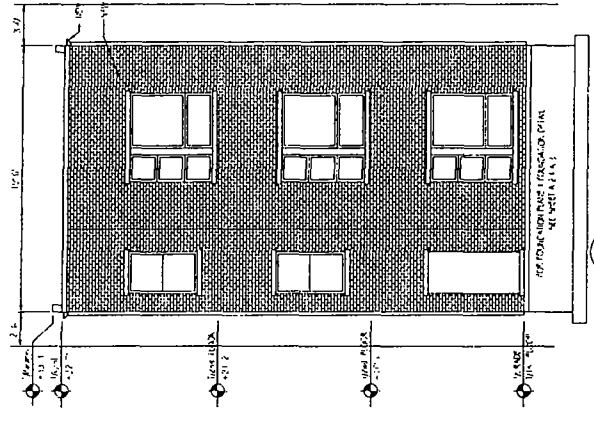
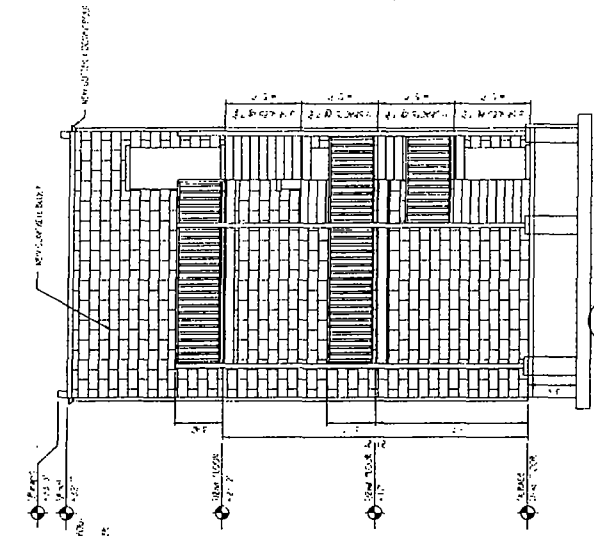


ERECT NEW 3 STORY
 3 UNIT BUILDING
 WITH 3 PARKING SPACES

2707
 W. POLK ST.
 CHICAGO
 ILLINOIS

NO. 100
 SHEET NO. 1
 DATE: 10/15/18
 PROJECT: 2707 W. POLK ST.
 ELEVATIONS

A-4



FINAL FOR PUBLICATION



134 N. LA SALLE ST.
SUITE NO. 2145
CHICAGO, IL 60602

NO. DATE DESCRIPTION

NO.	DATE	DESCRIPTION

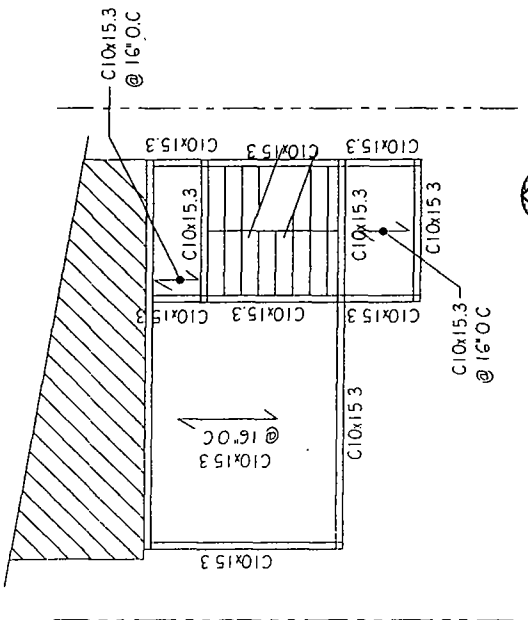
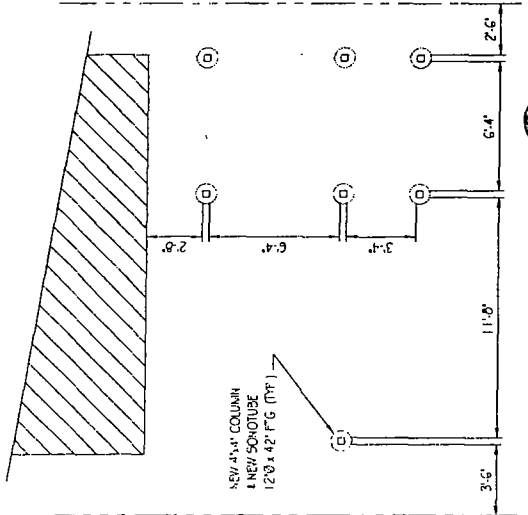
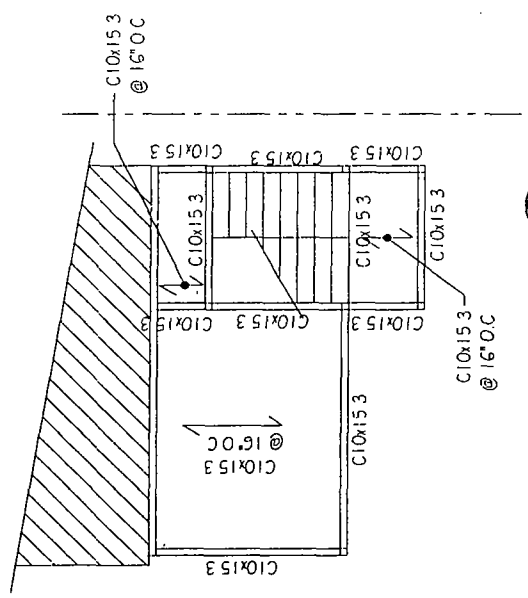
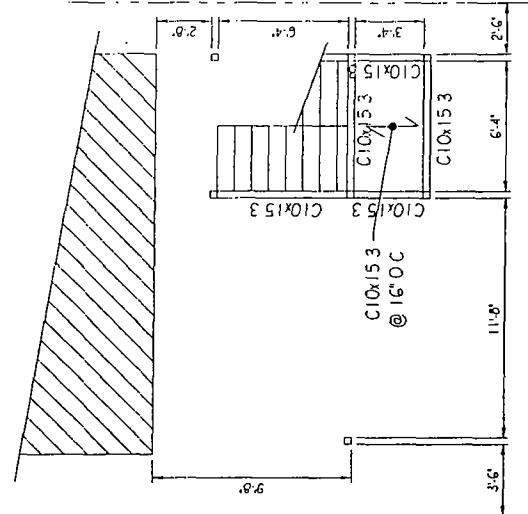


ERECT NEW 3 STORY
3 UNIT BUILDING
WITH 3 PARKING SPACES

2707
W. POLK ST.
CHICAGO
ILLINOIS

NO. DATE DESCRIPTION

A-5



FINAL FOR PUBLICATION

LAM
ARCHITECTS
131 N. LASALLE ST.
SUITE NO. 2145
CHICAGO, ILL. 60602

CONTRACT NO. 100-100-100-100
DATE: 10/1/80
PROJECT: 3 UNIT BUILDING WITH 3 PARKING SPACES
DRAWN BY: J. M. MARTINEZ
CHECKED BY: J. M. MARTINEZ
SCALE: AS SHOWN

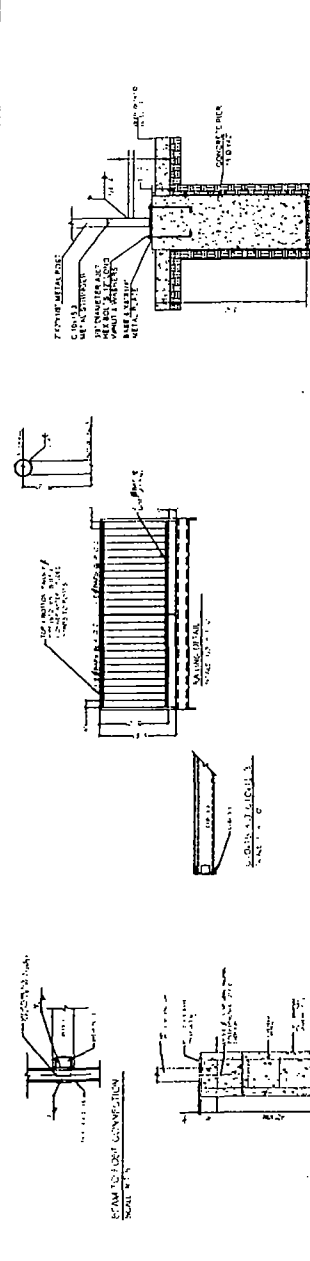
NO.	DATE	DESCRIPTION



ERECT NEW 3 STORY
3 UNIT BUILDING
WITH 3 PARKING SPACES
2707
W. POLK ST.
CHICAGO
ILLINOIS

DATE: 10/1/80
SCALE: AS SHOWN

PORCH DETAILS
A-6



DESIGN LOADS
100 PSF ON STAIRS AND LANDINGS AS PER CBC SECTION 1611.3.2 (900)
AS REQUIRED THE DEAD LOAD AS PER CBC SECTION 1611.3.2 (850) 5 TO 10 PSF
30 PSF FACTOR VERTICALLY FOR STAIRS AND LANDINGS AS PER CBC
SECTION 1611.3.2 (100) AS REQUIRED
200 PSF CONCENTRIC LOAD IN ANY DIRECTION AS PER CBC SECTION 1611.3.2 (100) AS REQUIRED
WINDS ON THE INDIVIDUAL AND GUMPS SHOULD COMPLY WITH SECTION 4.3
SECTION 1611.3.2 (100) OF THE MUNICIPAL CODE OF CHICAGO

GENERAL LATERAL STABILITY - GRAVITY LIAISON LOADS
PERFORM STRUCTURE THAT EXTENDS FROM BUILDING MUST BE INDEPENDENTLY BRACED
TO THE BUILDING TO WHICH IT IS ATTACHED TO BE APPROPRIATE
ANCHORED TO THE STRUCTURE TO ACHIEVE LATERAL RESISTANCE
WINDS ON THE INDIVIDUAL AND GUMPS SHOULD COMPLY WITH SECTION 4.3
SECTION 1611.3.2 (100) OF THE MUNICIPAL CODE OF CHICAGO

STAIR STRINGER FOOTING DETAIL
NOT TO SCALE

DETAIL 2
STAIR STRINGER FOOTING DETAIL
NOT TO SCALE

DETAIL 3
TREAD AND METAL STAIR
NOT TO SCALE

DESIGN LOADS
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD

DESIGN LOADS
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD

DESIGN LOADS
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD
100 PSF LIVE LOAD

FINAL FOR PUBLICATION

S P E C I F I C A T I O N S

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR STRUCTURAL STEEL, CONCRETE AND MASONRY PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC., 100 NORTH MICHIGAN AVENUE, CHICAGO, ILLINOIS 60611.
 2. ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
 3. ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ARCHITECT AND ENGINEER.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 8. ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE AND LOSS.
 9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 10. ALL WORK SHALL BE SUBJECT TO THE SUPERVISION AND CONTROL OF THE ARCHITECT AND ENGINEER.

SECTION 05100 - METALS
 05100-01 - STEEL STRUCTURE
 A. Section Includes:
 1. Steel framing members, including beams, columns, girders, joists, and deck.
 2. Steel deck.
 3. Steel fasteners, including bolts, nuts, washers, and angles.
 4. Steel reinforcement bars (rebar).
 5. Steel pipe and fittings.
 6. Steel plate and shapes.
 7. Steel mesh and fabric.
 8. Steel cladding and panels.
 9. Steel handrails and balustrades.
 10. Steel stairs and ladders.
 11. Steel fireproofing.
 12. Steel painting and finishing.

SECTION 05200 - WOODWORK
 05200-01 - MILLWORK
 A. Section Includes:
 1. Millwork, including doors, windows, and trim.
 2. Millwork, including cabinets and vanities.
 3. Millwork, including stairs and railings.
 4. Millwork, including paneling and wainscoting.
 5. Millwork, including moldings and baseboards.
 6. Millwork, including shutters and louvers.
 7. Millwork, including screens and grilles.
 8. Millwork, including signs and lettering.
 9. Millwork, including furniture and fixtures.
 10. Millwork, including specialty work.

SECTION 05300 - CONCRETE
 05300-01 - FORMWORK
 A. Section Includes:
 1. Formwork, including walls, columns, beams, and slabs.
 2. Formwork, including stairs and ramps.
 3. Formwork, including special shapes and sizes.
 4. Formwork, including accessories and hardware.
 5. Formwork, including bracing and shoring.
 6. Formwork, including painting and finishing.
 7. Formwork, including repair and maintenance.
 8. Formwork, including safety and security.
 9. Formwork, including storage and handling.
 10. Formwork, including disposal and recycling.

SECTION 05400 - MASONRY
 05400-01 - BRICKWORK
 A. Section Includes:
 1. Brickwork, including walls, chimneys, and fireplaces.
 2. Brickwork, including piers and columns.
 3. Brickwork, including arches and vaults.
 4. Brickwork, including terraces and patios.
 5. Brickwork, including walkways and driveways.
 6. Brickwork, including retaining walls and foundations.
 7. Brickwork, including decorative work.
 8. Brickwork, including repair and maintenance.
 9. Brickwork, including safety and security.
 10. Brickwork, including storage and handling.

SECTION 05500 - PAINTS AND COATINGS
 05500-01 - PAINTS AND COATINGS
 A. Section Includes:
 1. Paints and coatings, including primers, sealers, and finishes.
 2. Paints and coatings, including stains and dyes.
 3. Paints and coatings, including varnishes and lacquers.
 4. Paints and coatings, including enamels and epoxies.
 5. Paints and coatings, including specialty finishes.
 6. Paints and coatings, including repair and touch-up.
 7. Paints and coatings, including safety and security.
 8. Paints and coatings, including storage and handling.
 9. Paints and coatings, including disposal and recycling.
 10. Paints and coatings, including application and maintenance.

SECTION 05600 - GLASS
 05600-01 - GLASS CURTAIN WALLS
 A. Section Includes:
 1. Glass curtain walls, including frames and panels.
 2. Glass curtain walls, including hardware and accessories.
 3. Glass curtain walls, including seals and gaskets.
 4. Glass curtain walls, including safety and security.
 5. Glass curtain walls, including storage and handling.
 6. Glass curtain walls, including application and maintenance.
 7. Glass curtain walls, including repair and replacement.
 8. Glass curtain walls, including disposal and recycling.
 9. Glass curtain walls, including safety and security.
 10. Glass curtain walls, including storage and handling.

SECTION 05700 - CERAMIC TILE
 05700-01 - CERAMIC TILE
 A. Section Includes:
 1. Ceramic tile, including walls, floors, and ceilings.
 2. Ceramic tile, including backsplashes and countertops.
 3. Ceramic tile, including showers and tubs.
 4. Ceramic tile, including stairs and ramps.
 5. Ceramic tile, including walkways and driveways.
 6. Ceramic tile, including retaining walls and foundations.
 7. Ceramic tile, including decorative work.
 8. Ceramic tile, including repair and maintenance.
 9. Ceramic tile, including safety and security.
 10. Ceramic tile, including storage and handling.

SECTION 05800 - MECHANICAL
 05800-01 - MECHANICAL
 A. Section Includes:
 1. Mechanical, including heating, ventilation, and air conditioning (HVAC).
 2. Mechanical, including plumbing and piping.
 3. Mechanical, including electrical and lighting.
 4. Mechanical, including fire protection and alarm systems.
 5. Mechanical, including security and access control systems.
 6. Mechanical, including communication and data systems.
 7. Mechanical, including specialty systems.
 8. Mechanical, including repair and maintenance.
 9. Mechanical, including safety and security.
 10. Mechanical, including storage and handling.

SECTION 05900 - ELECTRICAL
 05900-01 - ELECTRICAL
 A. Section Includes:
 1. Electrical, including wiring and conduits.
 2. Electrical, including switches and outlets.
 3. Electrical, including lighting fixtures and panels.
 4. Electrical, including transformers and generators.
 5. Electrical, including motors and drives.
 6. Electrical, including control systems and relays.
 7. Electrical, including specialty equipment.
 8. Electrical, including repair and maintenance.
 9. Electrical, including safety and security.
 10. Electrical, including storage and handling.

SECTION 06000 - FINISHES
 06000-01 - FINISHES
 A. Section Includes:
 1. Finishes, including wall coverings and ceiling treatments.
 2. Finishes, including floor coverings and carpeting.
 3. Finishes, including wall treatments and textures.
 4. Finishes, including decorative treatments and murals.
 5. Finishes, including specialty treatments and finishes.
 6. Finishes, including repair and maintenance.
 7. Finishes, including safety and security.
 8. Finishes, including storage and handling.
 9. Finishes, including application and maintenance.
 10. Finishes, including repair and replacement.

SECTION 06100 - SPECIALTIES
 06100-01 - SPECIALTIES
 A. Section Includes:
 1. Specialties, including signs and lettering.
 2. Specialties, including displays and exhibits.
 3. Specialties, including furniture and fixtures.
 4. Specialties, including art and sculpture.
 5. Specialties, including specialty lighting.
 6. Specialties, including specialty finishes.
 7. Specialties, including specialty equipment.
 8. Specialties, including repair and maintenance.
 9. Specialties, including safety and security.
 10. Specialties, including storage and handling.

SECTION 06200 - PARTITIONS
 06200-01 - PARTITIONS
 A. Section Includes:
 1. Partitions, including walls and doors.
 2. Partitions, including glass and metal.
 3. Partitions, including wood and fabric.
 4. Partitions, including specialty materials.
 5. Partitions, including hardware and accessories.
 6. Partitions, including seals and gaskets.
 7. Partitions, including safety and security.
 8. Partitions, including storage and handling.
 9. Partitions, including application and maintenance.
 10. Partitions, including repair and replacement.

SECTION 06300 - ROOFING
 06300-01 - ROOFING
 A. Section Includes:
 1. Roofing, including membranes and flashings.
 2. Roofing, including insulation and vapor barriers.
 3. Roofing, including gutters and downspouts.
 4. Roofing, including skylights and vents.
 5. Roofing, including specialty materials.
 6. Roofing, including hardware and accessories.
 7. Roofing, including safety and security.
 8. Roofing, including storage and handling.
 9. Roofing, including application and maintenance.
 10. Roofing, including repair and replacement.

SECTION 06400 - EXTERIOR
 06400-01 - EXTERIOR
 A. Section Includes:
 1. Exterior, including walls and columns.
 2. Exterior, including floors and patios.
 3. Exterior, including stairs and ramps.
 4. Exterior, including walkways and driveways.
 5. Exterior, including retaining walls and foundations.
 6. Exterior, including decorative work.
 7. Exterior, including repair and maintenance.
 8. Exterior, including safety and security.
 9. Exterior, including storage and handling.
 10. Exterior, including application and maintenance.

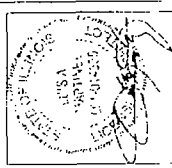
SECTION 06500 - INTERIOR
 06500-01 - INTERIOR
 A. Section Includes:
 1. Interior, including walls and ceilings.
 2. Interior, including floors and stairs.
 3. Interior, including railings and handrails.
 4. Interior, including specialty materials.
 5. Interior, including hardware and accessories.
 6. Interior, including safety and security.
 7. Interior, including storage and handling.
 8. Interior, including application and maintenance.
 9. Interior, including repair and replacement.
 10. Interior, including safety and security.

SECTION 06600 - SITES
 06600-01 - SITES
 A. Section Includes:
 1. Sites, including grading and earthwork.
 2. Sites, including paving and surfacing.
 3. Sites, including drainage and irrigation.
 4. Sites, including landscaping and site furniture.
 5. Sites, including specialty materials.
 6. Sites, including hardware and accessories.
 7. Sites, including safety and security.
 8. Sites, including storage and handling.
 9. Sites, including application and maintenance.
 10. Sites, including repair and replacement.

SECTION 06700 - UTILITIES
 06700-01 - UTILITIES
 A. Section Includes:
 1. Utilities, including water supply and distribution.
 2. Utilities, including sewer and stormwater systems.
 3. Utilities, including gas supply and distribution.
 4. Utilities, including electrical and communication lines.
 5. Utilities, including specialty systems.
 6. Utilities, including hardware and accessories.
 7. Utilities, including safety and security.
 8. Utilities, including storage and handling.
 9. Utilities, including application and maintenance.
 10. Utilities, including repair and replacement.

SECTION 06800 - SPECIALTIES
 06800-01 - SPECIALTIES
 A. Section Includes:
 1. Specialties, including signs and lettering.
 2. Specialties, including displays and exhibits.
 3. Specialties, including furniture and fixtures.
 4. Specialties, including art and sculpture.
 5. Specialties, including specialty lighting.
 6. Specialties, including specialty finishes.
 7. Specialties, including specialty equipment.
 8. Specialties, including repair and maintenance.
 9. Specialties, including safety and security.
 10. Specialties, including storage and handling.

NO.	DATE	DESCRIPTION

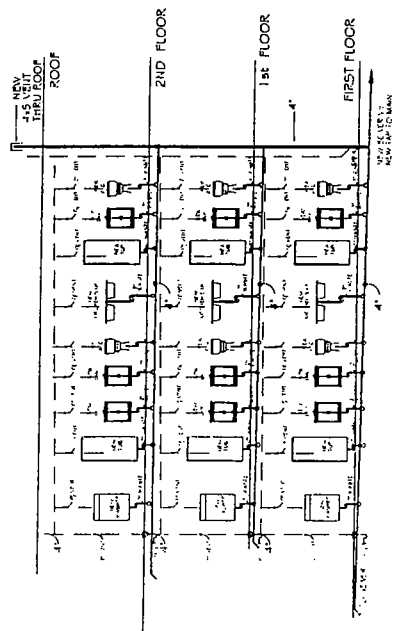


ERECT NEW 3 STORY
 3 UNIT BUILDING
 WITH 3 PARKING SPACES
 2707
 W. POLK ST.
 CHICAGO
 ILLINOIS

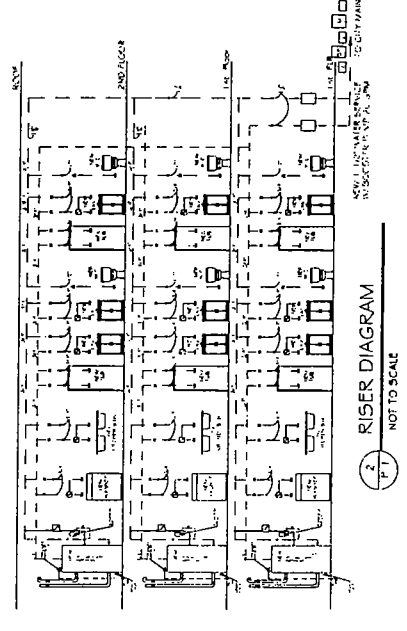
GENERAL NOTES

G-1

FINAL FOR PUBLICATION



1
WASTE STACK DIAGRAM
NOT TO SCALE



2
RISER DIAGRAM
NOT TO SCALE

GENERAL PLUMBING NOTES

1. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL PLUMBING CODE AND THE 2015 ILLINOIS PLUMBING CODE.
2. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL PLUMBING CODE AND THE 2015 ILLINOIS PLUMBING CODE.
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12. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL PLUMBING CODE AND THE 2015 ILLINOIS PLUMBING CODE.
13. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL PLUMBING CODE AND THE 2015 ILLINOIS PLUMBING CODE.
14. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL PLUMBING CODE AND THE 2015 ILLINOIS PLUMBING CODE.
15. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL PLUMBING CODE AND THE 2015 ILLINOIS PLUMBING CODE.

NO.	DATE	DESCRIPTION

CHECKED: _____
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ERECT NEW 3 STORY
3 UNIT BUILDING
WITH 3 PARKING SPACES

2707
W. POLK ST
CHICAGO
ILLINOIS

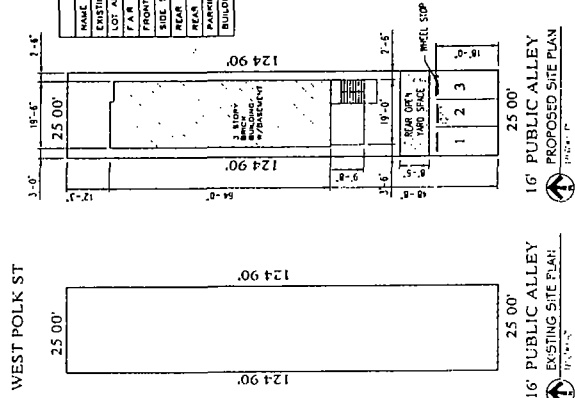
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PLUMBING SCHEMATICS
& NOTES

FINAL FOR PUBLICATION

ERECT NEW 3 STORY 3 UNIT BUILDING WITH 3 PARKING SPACES

2707 WEST POLK STREET
CHICAGO, ILLINOIS



NAME	ZONING DATA	ACTUAL
EXISTING ZONING	R1-4	R1-2
LOT AREA	1,000 SQ. FT.	3,132 SQ. FT.
F.A.R.	1.20	1.20
FRONT SET BACK	12'-5" (AVG. 2 ADJACING LOTS)	12'-3"
SIDE SET BACK	5'-0"	5'-8"
REAR SETBACK	37'-7"	48'-8"
REAR OPEN YARD SPACE	202 SQ. FT.	531 SQ. FT.
PARKING	1 SPACE PER DWELLING UNIT	1 SPACE PER DWELLING UNIT
BUILDING HEIGHT	38'-0" MAX.	32'-7"

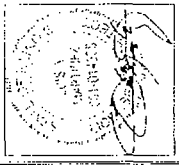
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LUIS A. MARTINEZ
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CHICAGO, IL 60602

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NO.	DATE	DESCRIPTION



ERECT NEW 3 STORY
3 UNIT BUILDING
WITH 3 PARKING SPACES

2707
W. POLK ST.
CHICAGO
ILLINOIS

DATE: 11/11/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN

SITE PLAN

T-1

CERTIFICATION STATEMENTS

THIS IS TO CERTIFY THAT THESE PLANS AND SPECIFICATIONS TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE STANDARD SPECIFICATION FOR FACILITIES FOR THE HANDICAPPED, AUTHORIZED AND ENFORCEABLE UNDER H.B. 2416, ILLINOIS 75TH GENERAL ASSEMBLY, AS PUBLISHED AND DISTRIBUTED BY THE OFFICE OF SUPERVISING ARCHITECT STATE OF ILLINOIS.

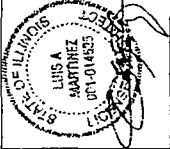
THIS IS TO CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE IN COMPLIANCE WITH ALL CODES AND BUILDING ORDINANCES OF THE CITY OF CHICAGO, STATE OF ILLINOIS

SIGNED: _____ DATE: _____

LUIS A. MARTINEZ

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR 2707 WEST POLK ST., CHICAGO, ILLINOIS COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2012)


 SIGNED: _____ DATE: _____
 LUIS A. MARTINEZ

MANDATORY NOTE
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