



City of Chicago



O2021-4576

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	10/14/2021
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 4-F at 554 W Cullerton St - App No. 20846T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M2-3 Light Industry District symbols and indications as shown on Map No. 4-F in the area bounded by:

A line 100.0 feet north of and parallel to West Cullerton Street; a line 184.0 feet east of and parallel to South Jefferson Street; West Cullerton Street; and a line 160.0 feet east of and parallel to South Jefferson Street

to those of a B2-2 Neighborhood Mixed-Use District.

SECTION 2. This ordinance takes effect after its passage and approval.

Address: 554 W. Cullerton St.

NARRATIVE AND PLANS
554 W. Cullerton St.
TYPE I REGULATIONS

Narrative: The subject property is improved with a two story residential building with two residential dwelling units. The Applicant seeks to rezone the property from a M2-3 Light Industry District to a B2-2 Neighborhood Mixed-Use District to construct a new two story residential building with two residential dwelling units. There will be no parking. The proposed height of the building will be 23'-2". The Applicant will seek relief for reduction in parking.

Lot Area: 2,400 square feet

FAR: 0.75

Floor Area: 1,814 square feet

Residential Dwelling Units: 2

MLA: 1,200 square feet

Height: 23'-2" feet

Automobile Parking: 0*

Setbacks:

Front (West Cullerton):	14'-6" feet
East Side:	4'-0" feet
West Side:	1'-3" feet
Rear:	27'-8" feet **

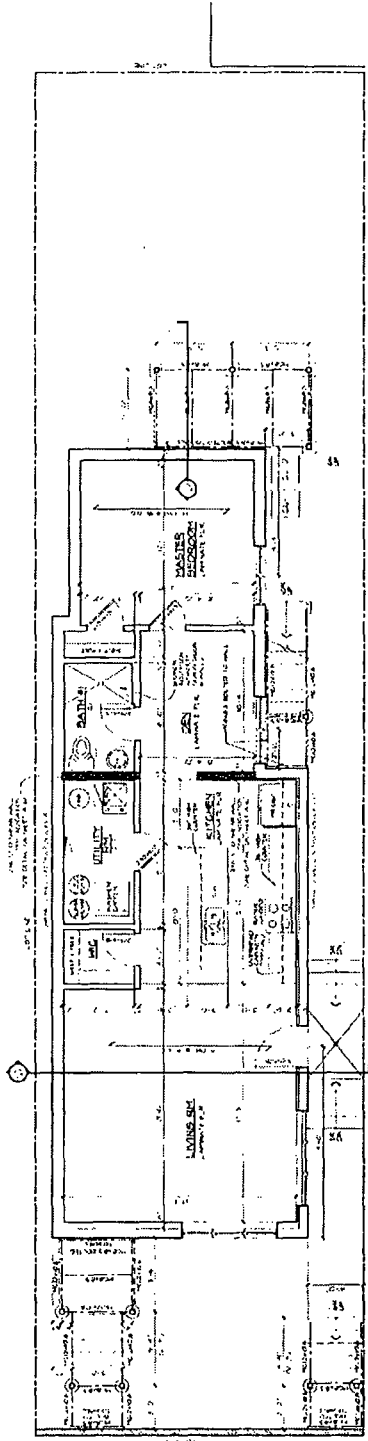
A set of plans is attached.

* The Applicant will seek relief to reduce parking.

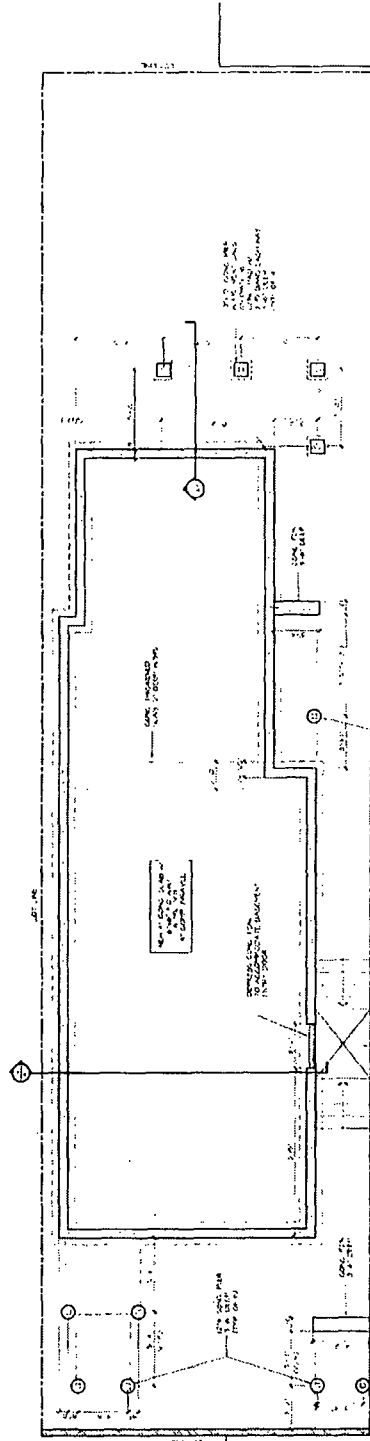
** The Applicant will seek relief to reduce the rear yard setback from the required 30'-0" feet to 27'-8" feet.

A STUDIO ARCHITECTS PLLC
1200 N. LAUREL STREET, SUITE 200
CHICAGO, ILLINOIS 60610
TEL: 312.299.2038

REPLACEMENT OF EXISTING WITH NEW 2 U BUILDING
554 W CULLERION STREET
CHICAGO, ILLINOIS



BASMENT PLAN



FOUNDATION PLAN

TOTAL SQUARE FEET	
1. FLOOR	1,200
2. 2ND FLOOR	1,200
3. 3RD FLOOR	1,200
4. 4TH FLOOR	1,200
5. 5TH FLOOR	1,200
6. 6TH FLOOR	1,200
7. 7TH FLOOR	1,200
8. 8TH FLOOR	1,200
9. 9TH FLOOR	1,200
10. 10TH FLOOR	1,200
11. 11TH FLOOR	1,200
12. 12TH FLOOR	1,200
13. 13TH FLOOR	1,200
14. 14TH FLOOR	1,200
15. 15TH FLOOR	1,200
16. 16TH FLOOR	1,200
17. 17TH FLOOR	1,200
18. 18TH FLOOR	1,200
19. 19TH FLOOR	1,200
20. 20TH FLOOR	1,200
21. 21ST FLOOR	1,200
22. 22ND FLOOR	1,200
23. 23RD FLOOR	1,200
24. 24TH FLOOR	1,200
25. 25TH FLOOR	1,200
26. 26TH FLOOR	1,200
27. 27TH FLOOR	1,200
28. 28TH FLOOR	1,200
29. 29TH FLOOR	1,200
30. 30TH FLOOR	1,200
31. 31ST FLOOR	1,200
32. 32ND FLOOR	1,200
33. 33RD FLOOR	1,200
34. 34TH FLOOR	1,200
35. 35TH FLOOR	1,200
36. 36TH FLOOR	1,200
37. 37TH FLOOR	1,200
38. 38TH FLOOR	1,200
39. 39TH FLOOR	1,200
40. 40TH FLOOR	1,200
41. 41ST FLOOR	1,200
42. 42ND FLOOR	1,200
43. 43RD FLOOR	1,200
44. 44TH FLOOR	1,200
45. 45TH FLOOR	1,200
46. 46TH FLOOR	1,200
47. 47TH FLOOR	1,200
48. 48TH FLOOR	1,200
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61. 61ST FLOOR	1,200
62. 62ND FLOOR	1,200
63. 63RD FLOOR	1,200
64. 64TH FLOOR	1,200
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80. 80TH FLOOR	1,200
81. 81ST FLOOR	1,200
82. 82ND FLOOR	1,200
83. 83RD FLOOR	1,200
84. 84TH FLOOR	1,200
85. 85TH FLOOR	1,200
86. 86TH FLOOR	1,200
87. 87TH FLOOR	1,200
88. 88TH FLOOR	1,200
89. 89TH FLOOR	1,200
90. 90TH FLOOR	1,200
91. 91ST FLOOR	1,200
92. 92ND FLOOR	1,200
93. 93RD FLOOR	1,200
94. 94TH FLOOR	1,200
95. 95TH FLOOR	1,200
96. 96TH FLOOR	1,200
97. 97TH FLOOR	1,200
98. 98TH FLOOR	1,200
99. 99TH FLOOR	1,200
100. 100TH FLOOR	1,200

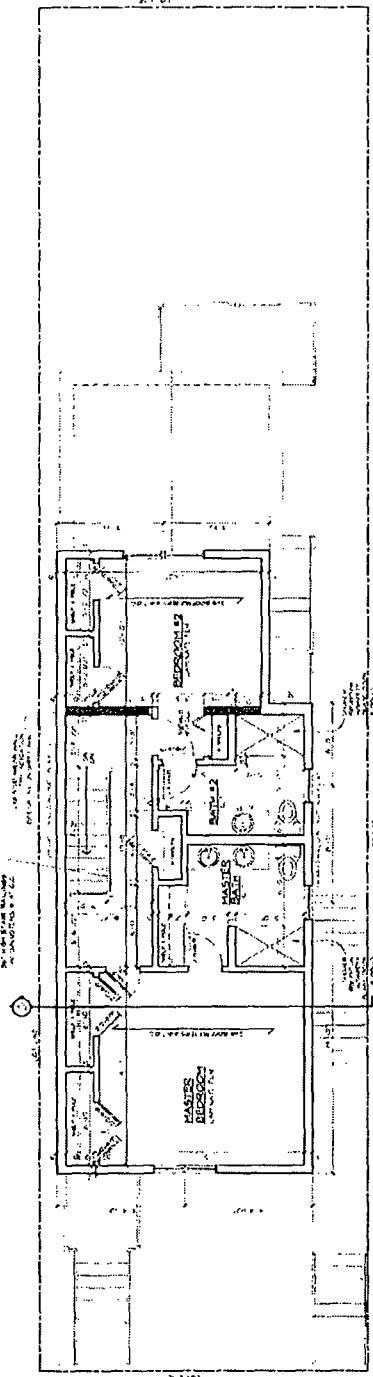


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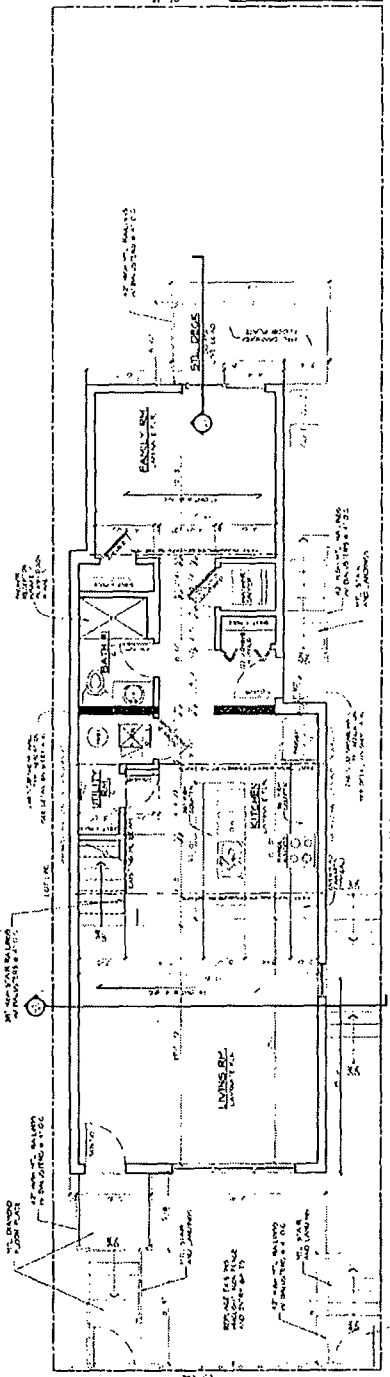
REPLACEMENT OF EXISTING WITH NEW 2 U BUILDING
554 W CULLERTON STREET
CHICAGO, ILLINOIS

DATE	
NO.	
BY	
CHECKED	
SCALE	
PROJECT NO.	
CLIENT	
LOCATION	
DESCRIPTION	

A-3



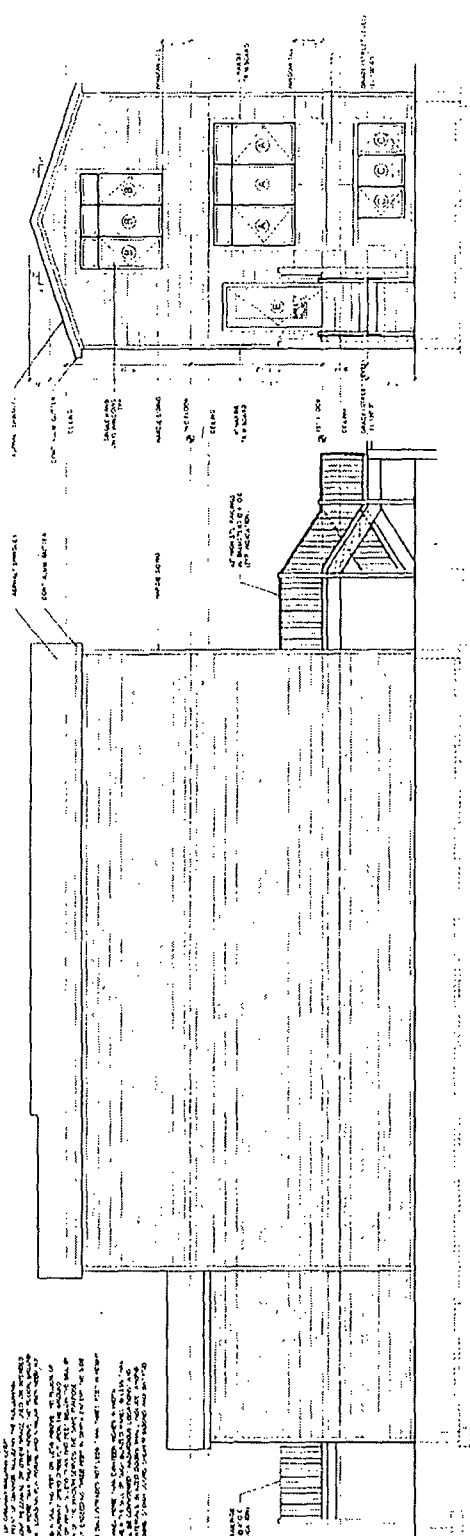
2ND FLOOR PLAN



1ST FLOOR PLAN

FINISH SCHEDULE
1. WALLS: 1/2" GYP BOARD ON STUDS
2. CEILING: 5/8" GYP BOARD
3. FLOOR: 3/4" GYP BOARD ON 2" X 4" JOISTS
4. DOORS: 1 3/4" SOLID CORE
5. WINDOWS: 1/2" GYP BOARD ON 2" X 4" JOISTS
6. STAIRS: 1/2" GYP BOARD ON 2" X 4" JOISTS
7. ELEVATORS: 1/2" GYP BOARD ON 2" X 4" JOISTS
8. MECHANICAL: 1/2" GYP BOARD ON 2" X 4" JOISTS
9. ELECTRICAL: 1/2" GYP BOARD ON 2" X 4" JOISTS
10. PLUMBING: 1/2" GYP BOARD ON 2" X 4" JOISTS

SAFETY REQUIREMENT NOTES:
 1. ALL GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE IBC AND APPLICABLE STATE AND LOCAL CODES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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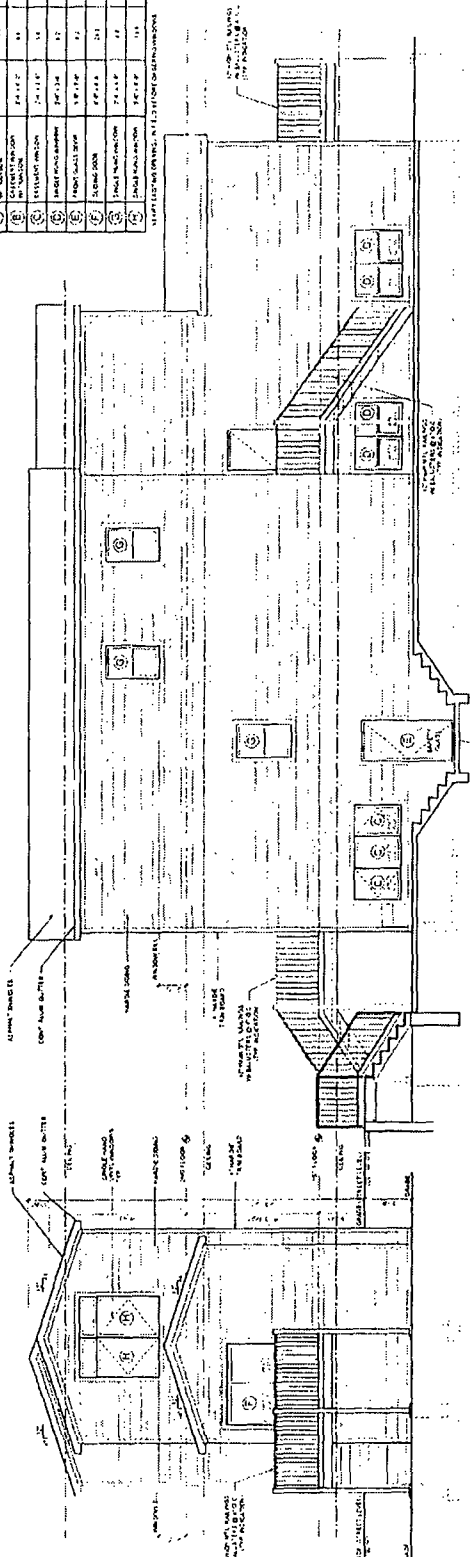


WEST ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WINDOW GLASS DOOR SCHEDULE

NO.	TYPE	FRAME SIZE	GLASS SIZE	GLASS TYPE
1	FIXED WINDOW	24" x 36"	24" x 36"	CL
2	FIXED WINDOW	24" x 36"	24" x 36"	CL
3	FIXED WINDOW	24" x 36"	24" x 36"	CL
4	FIXED WINDOW	24" x 36"	24" x 36"	CL
5	FIXED WINDOW	24" x 36"	24" x 36"	CL
6	FIXED WINDOW	24" x 36"	24" x 36"	CL
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NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION
SCALE: 1/8" = 1'-0"

