



City of Chicago



O2021-1607

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 4/21/2021

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 5-G at 2229 N Clybourn Ave - App No. 20685T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map No. 5-G in the area bounded by

a line 182.3 feet southeast of the intersection of North Clybourn Avenue and North Greenview Avenue, as measured at the northeast right-of-way line of North Greenview Avenue and perpendicular thereto; the alley next northeast of and parallel to North Clybourn Avenue; a line 207.3 feet southeast of the intersection of North Clybourn Avenue and North Greenview Avenue, as measured at the northeast right-of-way line of North Greenview Avenue and perpendicular thereto; and North Clybourn Avenue,

to those of a B2-2 Neighborhood Mixed-Use District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property:

2229 North Clybourn Avenue

17-13-0303-C (1) Narrative Zoning Analysis
2229 North Clybourn Avenue, Chicago, IL

Proposed Zoning: B2-2 Neighborhood Mixed-Use District

Lot Area: 3,000 square feet

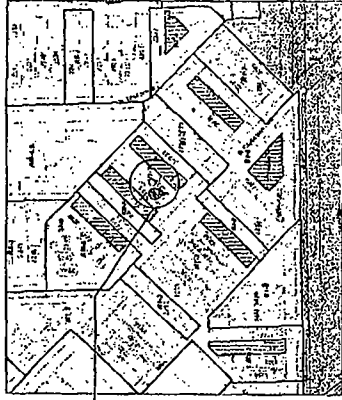
Proposed Land Use: The Applicant is seeking a zoning change to bring the existing three-story building into compliance under the current Zoning Code and thereby to permit the conversion of the existing grade-level retail unit onsite into one (1) additional dwelling unit, for a total of three (3) dwelling units at the subject property. No changes are proposed to the existing building's height, footprint, or setbacks. Onsite garage parking for two (2) vehicles will continue to be provided at the rear of the lot.

- (A) The Project's Floor Area Ratio: 3,889.47 square feet (1.296 FAR)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 1,000 sq. ft. / D.U.
(3 total units proposed)
- (C) The amount of off-street parking: 2 vehicular parking spaces
- (D) Setbacks:
 - a. Front Setback: 0 feet-2.5 inches
 - b. Rear Setback: 64 feet-11.5 inches
 - c. Side Setbacks:
 - North: 0 feet-0.25 inches
 - South: 0 feet-10.75 inches
- (E) Building Height: 37 feet-0 inches

2229 N. CLYBOURN AVENUE

CHICAGO

ILLINOIS

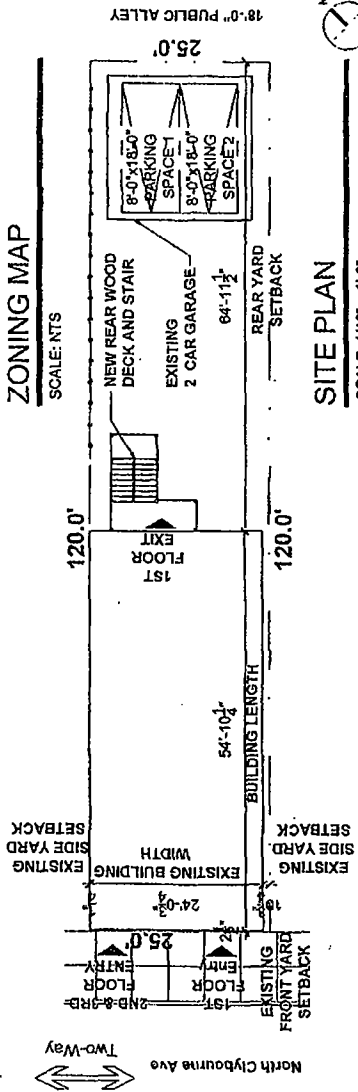


ZONING MAP

SCALE: NTS

AREA OF WORK

2229 N CLYBOURN AVENUE
REQUEST ZONING CHANGE FROM M1-2
(EXISTING) TO B2-2 (PROPOSED)
CONVERT EXISTING GROUND FLOOR RETAIL
SPACE INTO DWELLING UNIT. (3) DWELLING
UNITS TOTAL



SITE PLAN

SCALE: 1/16" = 1'-0"



X I O S ARCHITECTS AND CONSULTANTS LTD.
1011 N. LAKE ST. SUITE 1000
CHICAGO, ILLINOIS 60610
TEL: 312.329.1100
FAX: 312.329.1101

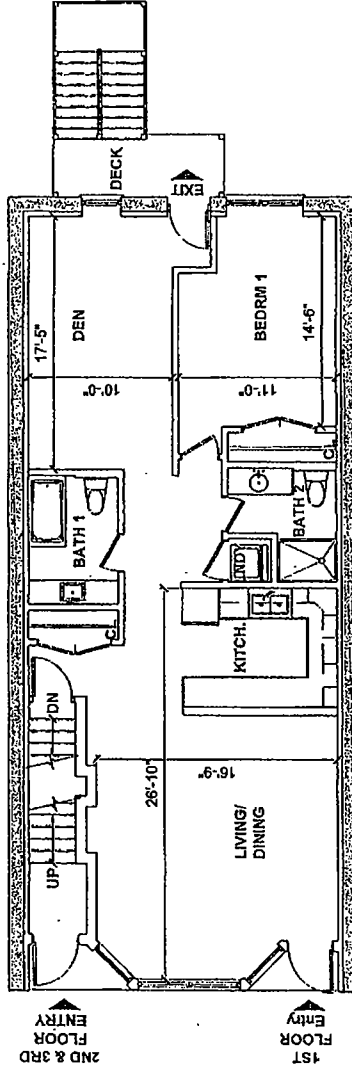
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12-08-20

2229 N. CLYBOURN AVENUE

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NEW FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"
0' 0" 5' 0" 10' 0"

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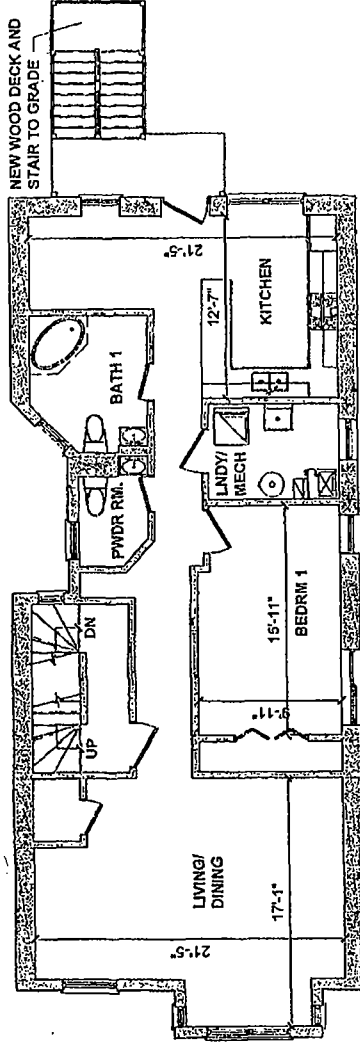
X I O S ARCHITECTS AND CONSULTANTS LTD.

1112 N. WALTON ST. CHICAGO, ILLINOIS 60610
TEL: 312.264.1022 FAX: 312.264.1026

2229 N. CLYBOURN AVENUE

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(FOR REFERENCE ONLY)

EXISTING SECOND FLOOR PLAN



X I O S ARCHITECTS AND CONSULTANTS L.T.D.

188 P. WELLS
CHICAGO, ILLINOIS 60604

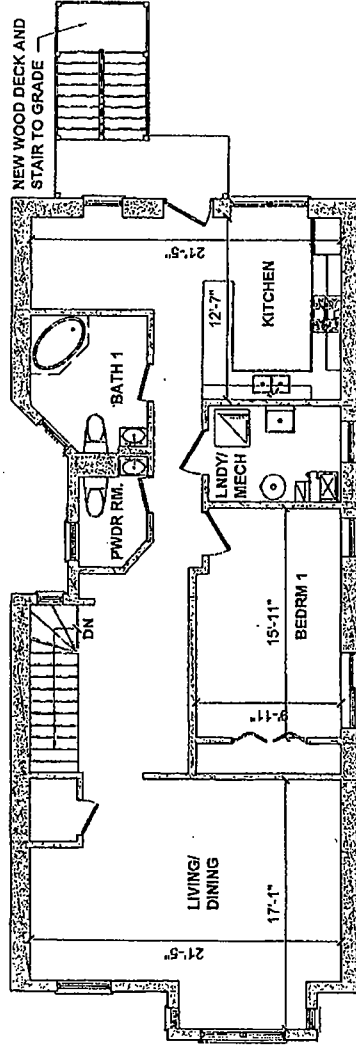
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2229 N. CLYBOURN AVENUE

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EXISTING THIRD FLOOR PLAN



SCALE: 1/8" = 1'-0"



 X 1 0 S ARCHITECTS AND CONSULTANTS L.P.D.
 440 N. WELLS
 CHICAGO, ILLINOIS 60610
 TEL. 312.335.1122
 FAX. 312.335.1121

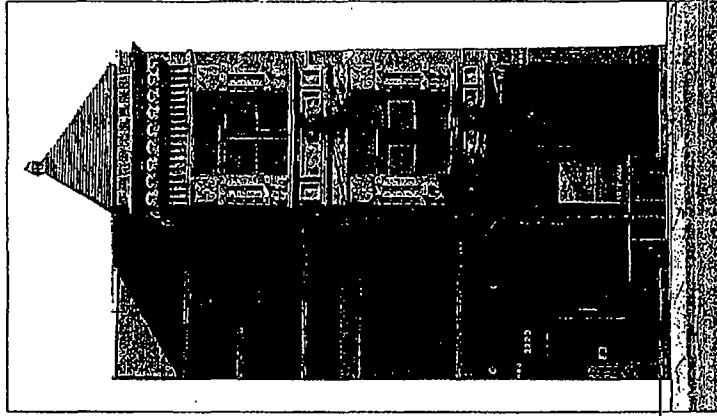
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2229 N. CLYBOURN AVENUE

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- 
 B/ ROOF
 EL: +33'-4"
- 
 T/ 3RD FLOOR
 EL: +23'-10"
- 
 T/ 2ND FLOOR
 EL: +13'-4"
- 
 T/ 1ST FLOOR
 EL: +0'-8"
- 
 T/ GRADE
 EL: +0'-0"

(FOR REFERENCE ONLY)

WEST ELEVATION

SCALE: N.T.S.



X I O S ARCHITECTS AND CONSULTANTS L.T.D.

110 N. WELLS
CHICAGO ILLINOIS 60602
TEL. 312/786-1555
FAX. 312/786-1051

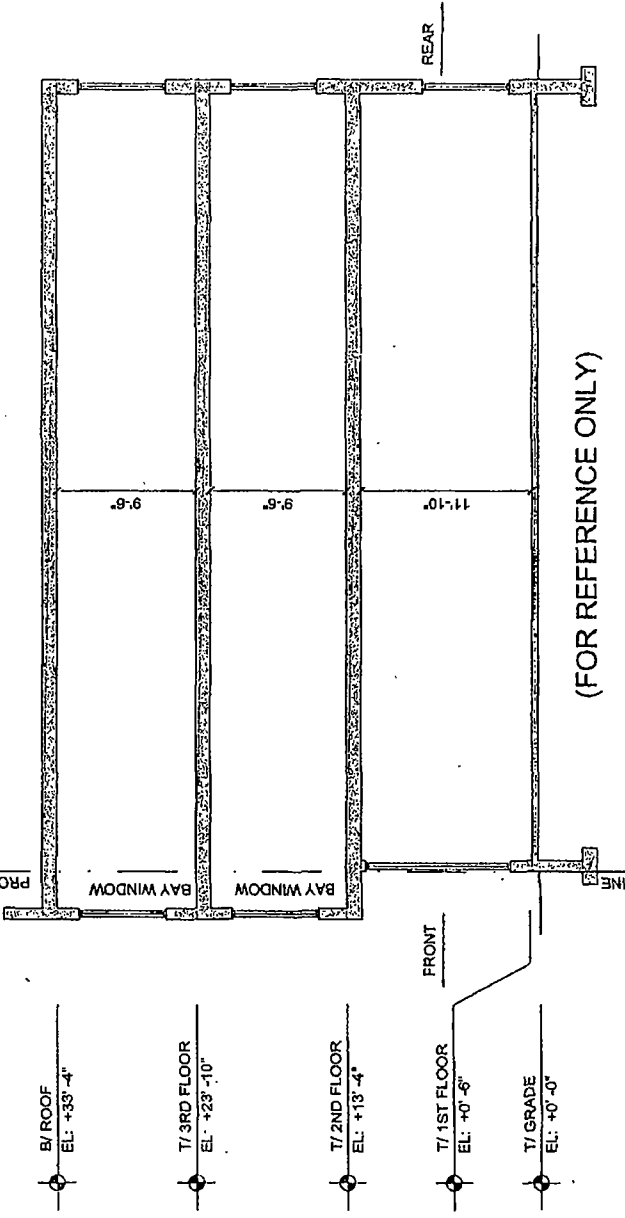
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2229 N. CLYBOURN AVENUE

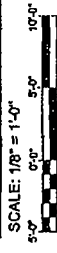
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(FOR REFERENCE ONLY)

EXISTING BUILDING SECTION



X I O S ARCHITECTS AND CONSULTANTS L.T.D.
 1034 N. DELLY
 CHICAGO, ILLINOIS 60610
 TEL. 842.1111 FAX. 842.1112