

Office of the Chicago City Clerk



O2012-4404

Office of the City Clerk

City Council Document Tracking Sheet

Meeting Date:

6/27/2012

Sponsor(s):

Mendoza, Susana A. (Clerk)

Type:

Ordinance

Title:

Zoning Reclassification App No. 17513 - 4015 N Sawyer

Ave

Committee(s) Assignment:

Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning
Ordinance, is hereby amended by changing all of the RS-3 Residential Single-Unit
Detached House) District symbols and indications as shown on Map No. 11-J in area
bound by

North Sawyer Avenue, a line 23.53 feet North of and parallel to the alley next North and parallel to West Irving Park Road, the alley next East and parallel to North Sawyer Avenue, the alley next North and parallel to West Irving Park Road.

to those of a C1-1 Neighborhood Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property:

4015 N Sawyer Avenue

#17513 IN+. OHE: 6-27-2012

CITY OF CHICAGO

 $\{v$

APPLICATION FOR AN AMENDMENT TO THE CHICAGO ZONING ORDINANCE

1.	ADDRESS of the pro	perty Applicant is s	eeking to rezon	e:	
		4015 N Sawyer Av	enue		
2.	Ward Number that pro	operty is located in:	33		
3.	APPLICANT	Chicago Title Land	l Trust Compar	ny #1006000323	
	ADDRESS	4820 W Lawrence			
	CITY Chicago	STATE	Illinois	ZIP CODE_	60630
	PHONE312-65	6-2152 CONTAC	Γ PERSON	Greg Mruk	
4.	Is the Applicant the or Applicant is not the regarding the owner applicant to proceed.	owner of the prop	erty, please pr	ovide the follow	ving information
	OWNER				
	ADDRESS	**************************************		11	
	CITY	STATE		ZIP CODE _	
	PHONE	CONTAC	Γ PERSON		
5.	If the Applicant/Own the rezoning, please p	2 2 •		lawyer as their re	epresentative for
	ATTORNEY	Thomas S. Moore			
	ADDRESS 111 W	Washington Suite	100	CITY_Chica	go
	CITY Chicago	STATE	IL	ZIP CODE _	60602
	PHONE	312-251-1500		FAX312-2	51-1500

Greg Mruk
Barbara Mruk
On what date did the owner acquire legal title to the subject property? 1984
Has the present owner previously rezoned this property? If Yes, when? No
Present Zoning District RS3 Proposed Zoning District C1-1
Lot size in square feet (or dimensions?) $23.53 \times 125.62 = 2,955.84 \text{ sq ft.}$
Current Use of the property Vacant Lot
Reason for rezoning the subject property: A vacant lot to be used for 3 employee parking
spaces and a staging area for a car wash across the alley to the South (3718 W Irving Park Road). Describe the proposed use of the property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building. (BE SPECIFIC) A vacant lot to be used for 3 employee parking spaces and a staging area for a car wash
across the alley to the South (3218 W Irving park Road).
On May 14 th , 2007, the Chicago City Council passed the affordable Requirements Ordinance (ARO) that requires on-site affordable housing units or a financial contribution if residential housing projects receive a zoning change under certain circumstances. Based on the lot size of the project in question and the proposed zoning classification, is this project subject to the Affordable Requirements Ordinance? (See Fact Sheet for more information).
NO X

COUNTY OF COOK	
STATE OF ILLINOIS	
	t duly sworn on oath, states that all of the above
statements and the statements contained in true and correct.	the documents submitted herewith are
tive and correct.	
	I hay forther
·	Signature of Applicant
Subscribed and Sworn to before me this	OFFICIAL SEAL
15th day of leve, 20/2.	HEATHER HASENMILLER
	Notary Public - State of Illinois My Commission Expires Nov 13, 2015
- Heath Hasennell	
Notáry Public	
	Off II o I
ror	Office Use Only
Date of Introduction:	
File Number:	
i ne ivanioei.	
Ward:	

"WRITTEN NOTICE" FORM OF AFFIDAVIT (Section 17-13-0107)

June 20, 2012

Honorable Daniel Solis Chairman, Committee on Zoning 121 North LaSalle Street Room 304, City Hall Chicago, Illinois 60602

The undersigned, _	Thomas S. Moore	, being first duly
sworn on oath, dep	ooses and says the following:	-

The undersigned certifies that he has complied with the requirements of Sec. 17-13-0107, of the Chicago Zoning Ordinance, by sending written notice to such owners who appear to be the owners of the property within the subject area not solely owned by the applicant, and to the owners of all property within 250 feet in each direction of the lot line of the subject property, exclusive of public roads, streets, alleys and other public ways, or a total distance limited to 400 feet. Said "written notice" was sent by First Class U.S. Mail, no more than 30 days before filing the application.

The undersigned certifies that the notice contained the address of the property sought to be rezoned; a statement of the intended use of the property; the name and address of the applicant; the name and address of the owner; and a statement that the applicant intends to file the application for a change in zoning on approximately _____ June 20, 2012.

The undersigned certifies that the applicant has made and bona fide effort to determine the addresses of the parties to be notified under Section 17-13-0107 of the Chicago Zoning Ordinance, and that the accompanying list of names and addresses of surrounding property owners within 250 feet of the subject site is a complete list containing the names and addresses of the people required to be served.

Thomas S Moore

Subscribed and Sworn to before me this 2) the day of the 20/1.

HEATHER HASENMILLER
Notary Public - State of Illinois
My Commission Expires Nov 13, 2015

OFFICIAL SEAL

Notary Public

W:\FORMS\Zoning Forms\Zoning Change\FormAff 11.9-3.1.wpd

Anderson & Moore, p.c.

ATTORNEYS AT LAW

111 WEST WASHINGTON STREET, SUITE 1100 CHICAGO, ILLINOIS 60602

THOMAS S. MOORE
JANE F. ANDERSON

TELEPHONE (312) 251-1500 FACSIMILE (312) 251-1509

June 20, 2012

To Property Owner or Resident:

In accordance with requirements for an Amendment to the Chicago Zoning Ordinance, specifically Section 17-13-0107, please be informed that on or about June 20, 2012, the undersigned will file an application for a change in zoning from RS-3 to C1-1 on behalf the applicant, Chicago Title Land Trust Company #1006000323 for the property located at 4015 N Sawyer Avenue.

The applicant seeks to continue to use this property as a vacant lot to be used for 3 employee parking spaces and a staging area for an existing non-conforming car wash across the alley to the South (3718 W Irving Park Road) which is being rebuilt.

The owner and applicant of the property is Chicago Title Land Trust Company #1006000323 whose business address is 4820 W Lawrence; Chicago, IL 60630. You can reach Greg Mruk at 312-656-2152 if you have any questions.

I am the attorney for the applicant and can be reached at the above number if you have any questions.

Please note the applicant is not seeking to rezone or purchase your property. The applicant is required by law to send this notice because you own property within 250 feet of the property to be rezoned.

Sincerely

Thomas S. Moore

TSM:hah

W:\FORMS\Zoning Forms\Zoning Change\NeighborLtr.wpd

CITY OF CHICAGO ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT

SECTION I –GENERAL INFORMATION

A. Legal name of Disclosing Party submitting this EDS. Include d/b/a/ if applicable:

Chicago Title Land Trust Company #1006000323

Check ONE of the following three boxes:

Indicate whether Disclosing Party submitting this EDS is: 1. [X] the Applicant OR 2. [] a legal entity holding a direct or indirect interest in the Applicant. State the legal name of the Applicant in which Disclosing Party holds an interest: OR 3. [] a specified legal entity with a right of control (see Section II.B.1.b) State the legal name of the entity in which Disclosing Party holds a right of control:				
B. Business address of Disclosing Party: 4820 W Lawrence Chicago, IL 60630				
C. Telephone: 312-656-2152	Fax:	Email		
D. Name of contact person: Greg Mruk				
E. Federal Employer Identification No. (if you have one): F. Brief description of contract, transition or other undertaking (referred to below as the "Matter") to which this EDS pertains. (Include project number and location of property, if applicable):				
Zoning Change-4015 N Sawyer Avenue				
G. Which City agency or department is requesting this EDS? Dept of Housing & Economic Development Bureau of Planning & Zoning If the Matter is a contract being handled by the City's Department of Procurement Services, please complete the following:				
Specification # and Contract #				

SECTION II – DISCLOSURE OF OWNERSHIP INTERESTS

A. NATURE OF DISCLOSING PARTY

1. Indicate the nature of the [] Person [] Publicly registered business of [] Privately held business corpof [] Sole proprietorship [] General partnership* [] Limited partnership* [X] Trust	[] Limited liability company* corporation [] Limited liability partnership*
*Note B.1.b below	
2. For legal entities, the sta	ate (or foreign country) of incorporation or organization, if applicable:
Illinois	
3. For legal entities not org business in the State of Illinois a	anized in the State of Illinois: Has the organization registered to do as a foreign entity?
[] Yes []	No [X] N/A
B. IF THE DISCLOSING PAR	TY IS A LEGAL ENTITY:
NOTE: For not-for-profit corporate are no such members, write the legal titleholder(s). If the entity is a general partnership or joint venture, list manager or any other person or other person or other person or other person.	nes and title of all executive officers and all directors of the entity. Orations, also list below all members, if any, which are legal entities. If the "no members." For trusts, estates or other similar entities, list below partnership, limited partnership, limited liability company, limited liability below the name and title of each general partner, managing member, the entity that controls the day-to-day management of the Disclosing Party. below must submit an EDS on its own behalf.
Name	Title
Greg Mruk Barbara Mruk	Beneficiary Beneficiary

2. Please provide the following information concerning each person or entity having a direct or indirect beneficial interest (including ownership) in excess of 7.5% of the Disclosing Party. Examples of such an interest include shares in a corporation, partnership interest in a partnership or joint venture,

Interest of a member or manager in a limited liability company, or interest of a beneficiary of a trust, estate or other similar entity. If none, state "None." **NOTE:** Pursuant to Section 2-154-030 of the Municipal Code of Chicago ("Municipal Code"), the City may require any such additional information from any applicant which is reasonably intended to achieve full disclosure.

Name	Business Address	Percentage Interest in the Disclosing party	
Greg Mruk	4820 W Lawrence; Chicago, IL 606	530 50%	
Barbara Mruk	4820 W Lawrence; Chicago, IL 600	530 50%	
			—

SECTION III – BUSINESS RELATIONSHIPS WITH CITY ELECTED OFFICIALS

Has the Disclosing Party has a "business relationship." as defined in Chapter 2-156 of the Municipal Code, with any City elected official in the 12 months before the date this EDS is signed?

[] Yes	[X] No
If yes, please identify relationship(s):	below the name(s) of such City elected official(s) and describe such

SECTION IV – DISCLOSURE OF SUBCONTRACTORS & OTHER RETAINED PARTIES

The Disclosing Party must disclose the name and business address of each subcontractor, attorney, lobbyist, accountant, consultant and any other person or entity whom the Disclosing party has retained or expects to retain in connection with the Matter, as well as the nature of the relationship, and the total amount of the fees paid or estimated to be paid. The Disclosing Party is not required to disclose employees who are paid solely through the Disclosing Party's regular payroll.

"Lobbyist" means any person or entity who undertakes to influence any legislative or administrative action on behalf of any person or entity other than: (1) a not-for-profit entity, on an unpaid basis, or (2) himself. "Lobbyist" also means any person or entity any part of whose duties as an employee of another includes undertaking to influence any legislative or administrative action.

If the Disclosing Party is uncertain whether a disclosure is required under this Section, the Disclosing Party, must either ask the City whether disclosure is required or make the disclosure.

Name (indicate whether retained or anticipated to be retained)	Business Address	Relationship to Disclosing Party (subcontractor, attorney, lobbyist, etc)	Fees (indicate whether paid or estimated.) NOTE: "hourlyrate" or "t.b.d." is not an acceptable response.
Anderson & Moore-Atto	orney 111 W W	ashington Ste 1100; Chicago, IL 606	02 Estimated to be
	<u> </u>		\$5,000.00
(Add sheets if necessary)		
[] Check here if the Dis	closing party ha	as not retained, nor expects to retain,	any such persons or entities.
SECTION V—CERTI	FICATIONS		
A. COURT-ORDERED	CHILD SUPP	ORT COMPLIANCE	
		-415, substantial owners of business h their child support obligations thro	
• •	•	ly owns 10% or more of the Disclosions by any Illinois court of competent	- -
[] Yes [X	ζ] No	[] No person directly or indirect Disclosing Party.	tly owns 10% or more of the
If "Yes," has the person is the person in complian		court-approved agreement for payme reement?	nt of all support owned and
[] Yes []	No		
B. FURTHER CERTIF	ICATIONS		

1. Pursuant to Municipal Code Chapter 1-23, Article I ("Article I")(which the Applicant should consult for defined terms (e.g., "doing business") and legal requirements), if the Disclosing Party submitting the EDS is the Applicant and is doing business with the City, then the Disclosing Party certifies as follows: (i) neither the Applicant nor any controlling person is currently indicated or charged with, or has admitted guilt of, or has ever been convicted of, or placed under supervision for, any criminal offense involving actual, attempted, or conspiracy to commit bribery, theft, fraud, forgery, perjury, dishonesty or deceit against an officer or employee of the City or any sister agency; and (ii) the Applicant understands and acknowledges that compliance with Article I is a continuing requirement for doing business with the City. NOTE: If Article I applies to the Applicant, the permanent compliance timeframe in Article I supersedes some five-year compliance timeframes in certification 2 and 3 below.

- 2. The Disclosing Party and, if the Disclosing Party is a legal entity, all of those persons or entities identified in Section II.B.1. of this EDS:
 - a. are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from any transactions by any federal, state or local unit of government;
 - b. have not, within a five-year period preceding that date of this EDS, been convicted of a criminal offense, adjudged guilty, or had a civil judgment rendered against them in connection with: obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; a violation of federal or state antitrust statutes; fraud; embezzlement; theft; forgery; bribery; falsification or destruction of records; making false statements; or receiving stolen property;
 - c. are not presently indicted for or criminally or civilly charges by, a governmental entity (federal, state or local) with committing any of the offenses set forth in clause B.2.b. of this Section V;
 - d. have not, within a five-year period preceding the date of this EDS, had one or more public transaction (federal, state or local) terminated for cause or default; and
 - e. have not, within a five-year period preceding the date of this EDS, been convicted, adjudged guilty, or found liable in a civil proceeding, or in any criminal or civil action, including actions concerning environmental violations, instituted by the City or by the federal government, any state, or any other unit of local government.
 - 3. The certifications in subparts 3, 4 and 5 concern:
 - the Disclosing Party;
 - any "Contractor" (meaning any contractor or subcontractor used by the Disclosing Party in connection with the Matter, including but not limited to any persons or legal entities disclosed under Section IV, "Disclosure of Subcontractors and Other Retained Parties");
 - any "Affiliated Entity" (meaning a person or entity that, directly or indirectly: controls the Disclosing Party, is controlled by the Disclosing Party, or is, with the Disclosing Party, under common control of another person or entity. Indicia of control include, without limitation: interlocking management or ownership; identity of interests among family members, shared facilities and equipment; common use of employees; or organization of a business entity following the ineligibility of a business entity to do business with federal or state or local government, including the City, using substantially the same management, ownership, or principals as the ineligible entity) with respect to Contractors, the term Affiliated Entity means a person or entity that directly or indirectly controls the Contractor, is controlled by it, or, with the Contractor, is under common control of another person or entity;
 - any responsible official of the Disclosing Party, any Contractor or any Affiliated Entity or any other official, agent or employee of the Disclosing Party, any Contractor or any Affiliated Entity, acting pursuant to the direction or authorization of a responsible official of the Disclosing Party, any Contractor or any Affiliated Entity (collectively "Agents").

Neither the Disclosing Party, nor any Contractor, nor any Affiliated Entity of either the Disclosing Party or any Contractor nor any Agents have, during the five years before the date this EDS is signed, or, with respect to a Contractor, an Affiliated Entity, or an Affiliated Entity of a Contractor during the five years before the date of such Contractor's or Affiliated Entity's contract or engagement in connection with the Matter:

- a. bribed or attempted to bribe, or been convicted or adjudged guilty of bribery or attempting to bribe, a public officer or employee of the City, the State of Illinois, or any agency of the federal government or of any state or local government in the United Stated of America, in that officer's or employee's official capacity;
- b agreed or colluded with other bidders, or prospective bidders, or been a party to any such agreement, or been convicted or adjudged guilty of agreement or collusion among bidders or prospective bidders, in restraint of freedom of competition by agreement to bid a fixed price or otherwise; or
- c. made an admission of such conduct described in a. or b. above that is a matter of record, but have not been prosecuted for such conduct; or
- d. violated the provisions of Municipal Code Section 2-92-610 (Living Wage Ordinance).
- 4. Neither the Disclosing Party, Affiliated Entity or Contractor, or any of their employees, officials, agents or partners, is barred from contracting with any unit of state or local government as a result of engaging in or being convicted of (1) bid-rigging in violation of 720 ILCS 5/33E-3; (2) bid-rotating in violation of 720 ILCS 5/33E-4; or (3) any similar offense of any state or of the United Stated of America that contains the same elements as the offense of bid-rigging or bid-rotating.
- 5. Neither the Disclosing Party nor any Affiliated Entity is listed on any of the following lists maintained by the Office of Foreign Assets Control of the U.S. Department of the Treasury or the Bureau of Industry and Security of the U.S. Department of Commerce or their successors: the Specially Designated Nationals List, the Denied Persons Lists, the Unverified List, the Entity List and the Debarred List.
- 6. The Disclosing Party understands and shall comply with the applicable requirements of Chapters 2-55 (Legislative Inspector General), 2-56 (inspector General) and 2-156 (Governmental Ethics) of the Municipal Code.

7. If the Disclosing Party is unable to certify to any of the above statements in this Part B (Further
Certifications), the Disclosing Party must explain below:
N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.
8. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all current employees of the Disclosing Party who were, at any time during the 12-month period preceding the execution date of this EDS, an employee, or elected or appointed official, of the City of Chicago (if none, indicate with "N/A" or "none"). N/A
9. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all gifts that the Disclosing Party has given or caused to be given, at any time during the 12-month period preceding the execution date of this EDS, to an employee, or elected or appointed official, of the City of Chicago. For purposes of this statement, a "gift" does not include: (i) anything made generally available to City employees or to the general public, or (ii) food or drink provided in the course of official City business and having a retail value of less than \$20 per recipient (if non, indicate with a "N/A" or "none"). As to any gift listed below, please also list the name of the City recipient.
C. CERTIFICATION OF STATUS AS FINANCIAL INSTITUTION
1. The Disclosing Party certifies that the Disclosing Party (check one)
[] is [X] is not
a "financial institution" as defined in Section 2-32-455(b) of the Municipal Code.
2. If the Disclosing Party IS a financial institution, then the Disclosing party pledges:
"We are not and will not become a predatory lender as defined in Chapter 2-32 of the Municipal Code. We further pledge that none of our affiliates is, and none of them will become, a predatory lender as defined in Chapter 2-32 of the Municipal Code. We understand that becoming a predatory lender or becoming an affiliate of a predatory lender may result in the loss of the privilege of doing business with the City."
If the Disclosing Party is unable to make this pledge because it or any of its affiliates (as defined in Section 2-32-455(b) of the Municipal Code) is a predatory lender within the meaning of Chapter 2-32 of the Municipal Code, explain here (attach additional pages of necessary):

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.					
D. CERTIFICATION	I REGARDING INTEREST IN C	ITY BUSINESS			
	Any words or terms that are defined in Chapter 2-156 of the Municipal Code have the same meanings when used in this Part D.				
1. In accordance with Section 2-156-110 of the Municipal Code: Does any official or employee of the City have a financial interest in his or her own name or in the name of any other person or entity in the Matter? [] Yes [X] No					
NOTE: If you checked "Yes" to Item D.1., proceed to Items D.2. and D.3. If you checked "No" to Item D.1., proceed to Part E.					
2. Unless sold pursuant to a process of competitive bidding, or otherwise permitted, no City elected official or employee shall have a financial interest in his or her own name or in the name of any other person or entity in the purchase of any property that (i) belongs to the City, or (ii) is sold for taxes or assessments, or (iii) is sold by virtue of legal process at the suit of the City (collectively, "City Property Sale"). Compensation for property taken pursuant to the City's eminent domain power does not constitute a financial interest within the meaning of this Part D.					
Does the Matter involve a City Property Sale?					
[] Yes [] No					
3. If you checked "Yes" to Item D.1., provide the names and business addresses of the City officials or employees having such interest and identify the nature of such interest:					
Name Business Address Nature of Interest					

4. The Disclosing Party further certifies that no prohibited financial interest in the Matter will be acquired by any City official or employee.

E. CERTIFICATION REGARDING SLAVERY ERA BUSINESS

Please check either 1. or 2. below. If the Disclosing Party checks 2., the Disclosing Party must disclose below or in an attachment to this EDS all information required by paragraph 2. Failure to

connection with the Matter voidable by the City.
X 1. The Disclosing Party verifies that the Disclosing Party has searched any and all records of the Disclosing Party and any and all predecessor entities regarding records of investments or profits from slavery, or slaveholder insurance policies during the slavery era (including insurance policies issued to slaveholders that provide coverage for damage to or injury or death of their slaves), and the Disclosing Party has found no such records.
2. The Disclosing Party verifies that, as a result of conducting the search in step 1 above, the Disclosing Party has found records of investments or profits from slavery or slaveholder insurance policies. The Disclosing Party verifies that the following constitutes full disclosure of all such records, including the names of any and all slaves or slaveholders described in those records:
SECTION VI CERTIFICATIONS FOR FEDERALLY-FUNDED MATTERS
NOTE: If the Matter is federally funded, complete this Section VI. If the Matter is not federally funded, proceed to Section VII. For purposes of this Section VI, tax credits allowed by the City and proceeds of debt obligations of the City are not federal funding.
A. CERTIFICATION REGARDING LOBBYING
1. List below the names of all persons or entities registered under the federal Lobbying Disclosure Act of 1995 who have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter: (Add sheets as necessary):
(If no explanation appears or begins on the lines above, or if the letters "NA" or if the work "None" appear, it will be conclusively presumed that the Disclosing Party means that NO persons or entities registered under the Lobbying Disclosure Act of 1995 have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter.)
2. The Disclosing Party has not spent and will not expend any federally appropriated funds to pay any person or entity listed in Paragraph A.1. above for his or her lobbying activities or to pay any person or entity to influence or attempt to influence an officer or employee of any agency, as defined by applicable federal law, a member of Congress, an officer or employee of Congress, or an employee of a member of Congress, in connection with the award of any federally funded contract, making any federally funded grant or loan, entering into any cooperative agreement, or to extend, continue, renew,

amend, or modify and federally funded contract, grant, loan, or cooperative agreement.

- 3. The Disclosing Party will submit an updated certification at the end of each calendar quarter in which there occurs any event that materially affects the accuracy of the statements and information set forth in paragraphs A.1. and A.2. above.
- 4. The Disclosing Party certifies that either: (i) it is not an organization described in section 501(c)(4) of the Internal Revenue code of 1986; or (ii) it is an organization described in section 501(c)(4) of the Internal Revenue Code of 1986 but has not engaged and will not engage in "Lobbying Activities".
- 5. If the Disclosing Party is the applicant, the Disclosing Party must obtain certifications equal in form and substance to paragraphs A.1. through A.4. above from all subcontractors before it awards any subcontract and the Disclosing Party must maintain all such subcontractors' certifications for the duration of the Matter and must make such certifications promptly available to the City upon request.

B. CERTIFICATION REGARDING EQUAL EMPLOYMENT OPPORTUNITY

If the Matter is federally funded, federal regulations require the Applicant and all proposed subcontractors to submit the following information with their bids or in writing at the outset of negotiations.
Is the Disclosing Party the Applicant?
[] Yes [] No
If "Yes," answer the three questions below:
 Have you developed and do you have on file affirmative action programs pursuant to applicable federal regulations? (See 41 CFR Part 60-2). Yes [] No
2. Have you filed with the Joint Reporting Committee, the Director of the Office of Federal contract Compliance Programs, or the Equal Employment Opportunity Commission all reports due under the applicable filing requirements? [] Yes [] No
3. Have you participated in any previous contracts or subcontracts subject to the equal opportunity clause? [] Yes [] No
If you checked "No" to question 1. or 2. above, please provide an explanation:

SECTION VII -- ACKNOWLEDGMENTS, CONTRACT INCORPORATION, COMPLIANCE, PENALTIES, DISCLOSURE

The Disclosing Party understand and agrees that:

- A. The certifications, disclosures, and acknowledgments contained in this EDS will become part of any contract or other agreement between the Applicant and the City in connection with the Matter, whether procurement, City assistance, or other City action, and are material inducements to the City's execution of any contract or taking other action with respect to the Matter. The Disclosing Party understands that it must comply with all statutes, ordinances, and regulations on which this EDS is based.
- B. The City's Governmental Ethics and Campaign Financing Ordinances, Chapters 2-156 and 2-164 of the Municipal Code, impose certain duties and obligations on persons or entities seeking City contracts, work, business, or transactions. The full text of these ordinances and a training program is available on line at www.cityofchicago.org/Ethics, and may also be obtained from the City's Board of Ethics, 740 N.

Sedgwick St., Suite 500, Chicago, IL 60610, (312) 744-9660. The Disclosing Party must comply fully with the applicable ordinances.

- C. If the City determines that any information provided in this EDS is false, incomplete or inaccurate, any contract or other agreement in connection with which it is submitted may be rescinded or be void or voidable, and the City may pursue any remedies under the contract or agreement (if not rescinded or void), at law, or in equity, including terminating the Disclosing Party's participation in the Matter and/or declining to allow the Disclosing Party to participate in other transactions with the City. Remedies at law for a false statement of material fact may include incarceration and an award to the City of treble damages.
- D. It is the City's policy to make this document available to the public on its Internet site and/or upon request. Some or all of the information provided on this EDS and any attachments to this EDS may be made available to the public on the Internet, in response to a Freedom of Information Act request, or otherwise. By completing and signing this EDS, the Disclosing Party waives and releases any possible rights or claims which it may have against the City in connection with the public release of information contained in this EDS and also authorizes the City to verify the accuracy of any information submitted in this EDS.
- E. The information provided in this EDS must be kept current. In the event of changes, the Disclosing Party must supplement this EDS up to the time the City takes action on the Matter. If the Matter is a contract being handled by the City's Department of Procurement Services, the Disclosing Party must update this EDS as the contract requires. **NOTE:** With respect to Matters subject to Article I of Chapter 1-23 of the Municipal Code (imposing **PERMANENT INTELIGIBILITY** for certain specified offenses), the information provided herein regarding eligibility must be kept current for a longer period, as required by Chapter 1-23 and Section 2-154-020 of the Municipal Code.

The Disclosing Party represents and warrants that:

- F.1. The Disclosing Party is not delinquent in the payment of any tax administered by the Illinois Department of Revenue, nor are the Disclosing Party or its Affiliated Entities delinquent in paying any fine, fee, tax or other charge owed to the City. This includes, but is not limited to, all water charges, sewer charges, license fees, parking tickets, property taxes or sales taxes.
- F.2. If the Disclosing Party is the Applicant, the Disclosing Party and its Affiliated Entities will not use, nor permit their subcontractors to use, any facility on the U. S. E.P.A. on the federal Excluded Parties List System ("EPLS) maintained by the U.S. General Services Administration.
- F.3. If the Disclosing Party is the Applicant, the Disclosing Party will obtain from any contractors/subcontractors hired or to be hired in connection with the Matter certifications equal in form and substance to those in F.1. and F.2. above and will not, without the prior written consent of the City, use any such contractor/subcontractor that does not provide such certifications or that the Disclosing Party has reason to believe has not provided or cannot provide truthful certifications.

NOTE: If the Disclosing Party cannot certify as to any of the items in F.1., F.2. or F.3. above, an explanatory statement must be attached to this EDS.

CERTIFICATION

Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS and Appendix A (if applicable) on behalf of the Disclosing Party, and (2) warrants that all certifications and statements contained in this EDS and Appendix A (if applicable) are true, accurate and complete as of the date furnished to the City.

	Tust Company#1006000323		
(Print or type name of l	Disclosing Rarty)		
By, (Sign here)		By: Santora Atruk (Sign here)	
Greg Mruk		Barbara Mruk	
(Print or type name of	person signing)	(Print or type name of person signing)	
Beneficiary		Beneficiary	
(Print or type title of pe	erson signing)	(Print or type title of person signing)	
Signed and sworn to be at Cook County, Illinoi	S/ Puressynull Notary Public	1	
Commission expires:_	OFFICIAL SEAL HEATHER HASENMILLER Notary Public - State of Illinois		

CITY OF CHICAGO ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT APPENDIX A

FAMILIAL RELATIONSHIPS WITH ELECTED CITY OFFICIALS AND DEPARTMENT HEADS

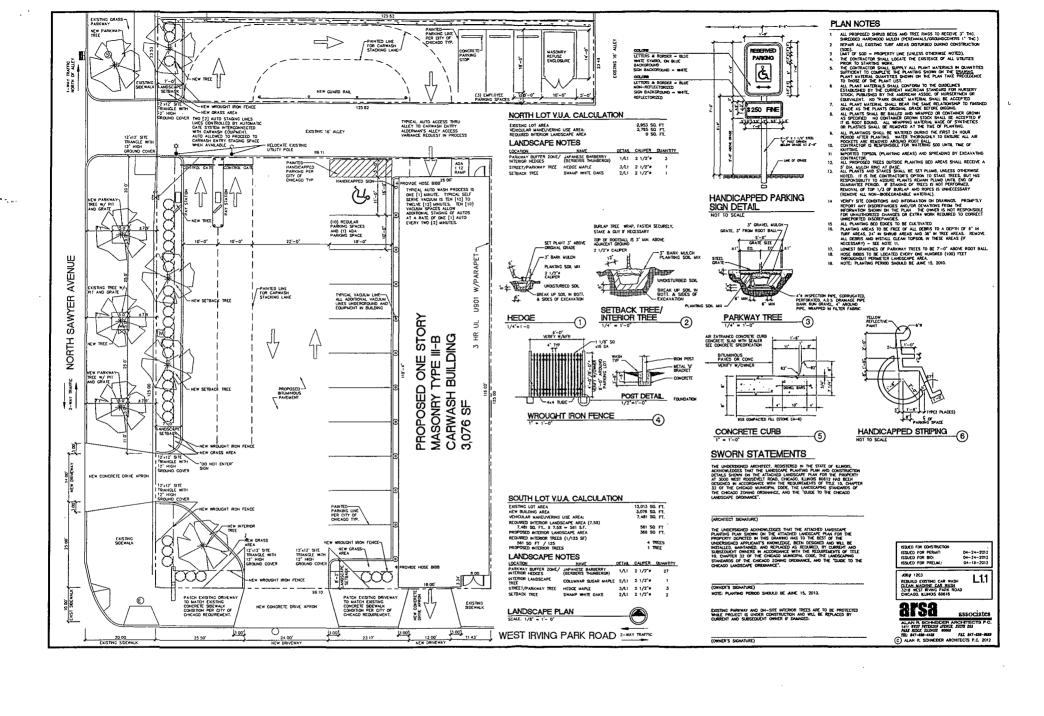
This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5 percent. It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

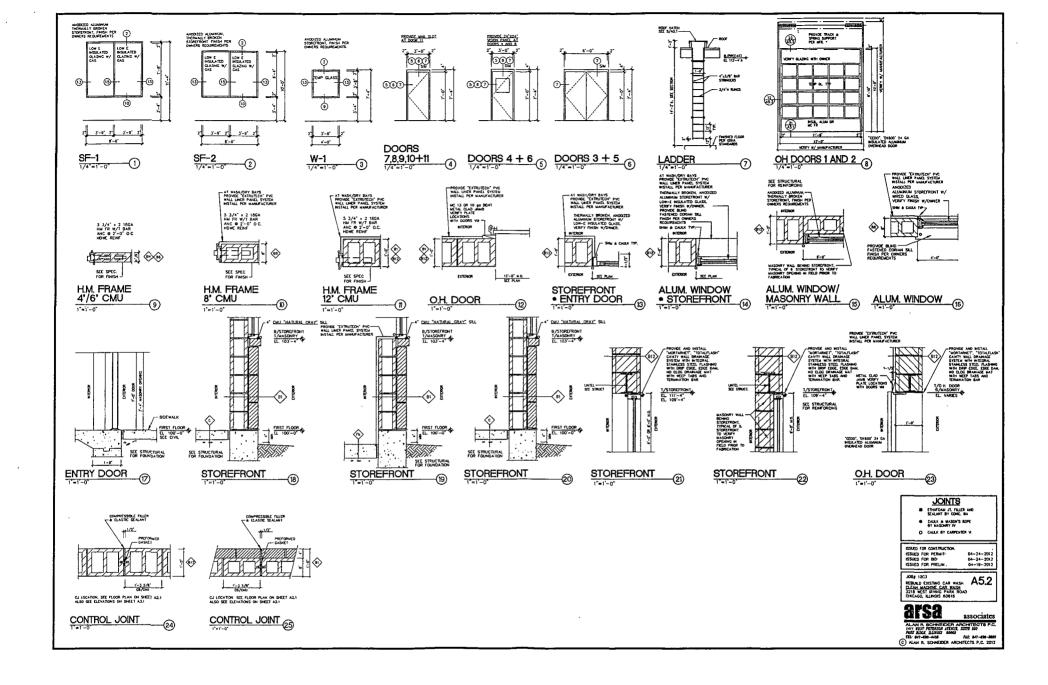
Under Municipal Code Section 2-154-015, the Disclosing Party must disclose whether such Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently has a "familial relationship" with any elected city official or department head. A "familial relationship" exists if, as of the date this EDS is signed, the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof is related, by blood or adoption, to the mayor, any alderman, the city clerk, the city treasurer, or any city department head as parent, child, brother or sister, aunt or uncle, niece or nephew, grandparent, grandchild, father-in-law, mother-in-law, son-in-law, daughter-in-law, stepfather or stepmother, stepson or stepdaughter, stepbrother or stepsister or half-brother or half-sister.

"Applicable Part" means (1) all corporate officers of the Disclosing Party, if the Disclosing Party is a corporation; all partners of the Disclosing party, if the Disclosing Party is a general partnership; all general partners and limited partners of the Disclosing Party, if the Disclosing Party is a limited partnership; all managers, managing members and member of the Disclosing Party, if the Disclosing Party is a limited liability company; (2) all principal officers of the Disclosing Party; and (3) any person having more than a 7.5 percent ownership interest in the Disclosing Party. "Principal officers" means the president, chief operating officer, executive director, chief financial officer, treasurer or secretary of a legal entity or any person exercising similar authority.

Does the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently have a "familial relationship" with an elected city official or department head?

[] Yes	[X] No	
which such person is	s connected; (3) the name a	and title of such person, (2) the name of the legal entity to and title of the elected city official or department head to and (4) the precise nature of such familial relationship.





GENERAL NOTES

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CONTRACTOR.

PROVIDE AND INSTALL ONE POWER SOURCE TO STARTER DISCONNECT PROVIDED BY APROM HEATER XW., CONTROL WIRING BY APROM HEATER XW.

HIGHER TWO.

PROVIDE POWER CONNECTION TO AIR COMPRESSOR, AIR DRIVER, AND
DESPONSERS AS RECURRED. COORDINATION WITH AIR SYSTEMS XIM.
PROVIDE POWER CONSECTION TO VACUUM SYSTEM AS REQUIRED
COORDINATION WITH VACUUM XVA.

COORDANDON WITH VACUUM SYAL PROPERTIES FOR RELPHANE ELUMENT. WERE REQUESTED WITH REPORT AND STREET, METERS FOR RELPHANE ELUMENT. WITH REPORT BELL STREET, METERS FOR COMPANY AND METALL RECESSANT RECEPTALES FOR COMPANY, METALLIS FOR COMPANY AND METALL RECESSANT RECEPTALES FOR COMPANY, METALLIS FOR COMPANY, ME

COORDHATE WITH SENGE CONTRACTOR
PROVIDE AND INSTALL VEHTED PLOOR DRAINS. PROVIDE AND
INSTALL SCREENS AT ALL VEHT LINES PROJECTING ABOVE ROOF.
VEHET PRIEST FLOOR ELEVATION WITH GENERAL CONTRACTOR
COORDHATE WITH EXCLUSION IS CONCRETE BIA, FLOOR TILE DIA. SCHOOL FAMILY ADDRESS AND METHOD STATEMENT OF THE SCHOOL FAMILY WITH WATER PARK AND PRODUCE THE SCHOOL FAMILY WITH WATER PARK AND PRODUCE THE SCHOOL FAMILY WAS THE SCHOOL FAMIL

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XVB HVAC

VICT HYACL

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PROVIDE ELECTRIC UNIT HEATER. ELECTRIC XW TO INSTALL
PROVIDE ELECTRIC CABINET HEATERS FOR TOILETS. ELECTRIC XW.

AL HYAC COUPMENT SHALL COMPLY WITH EER REQUIREMENTS OF ENERGY CODE ALL DAMPER LEAKAGE SHALL COMPLY WITH RECOMPLIENTS OF ENERGY CODE. PROVER AND INSTALL OR SUBCONTRACT FOR ALL LINE VOLTAGE OR LOW VOLTAGE CONTROL MERNE IN CONDUIT, CONTROL DELVELS. STANDING, STANDING, STANDING, STANDING STAN

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PROVIDE AND INSTALL COMBUSTION AR INLETS FOR BOILERS AND
WATER HEATERS. PROVIDE AND INSTALL VENTILATION FOR
METHANICAL AND ILECTRICAL ROOMS. PROVING AND PISTALL GAS PIPPIG AS INDICATED CONTACT AND COORDINATE INSTALLATION OF METER WITH UTILITY. PROVIDE AND INSTALL OR CONTRACT FOR THE INSTALLATION OF THE GAS METER PAID AND RECIBIED PROTECTION.

13. PROVIDE AND INSTALL SETON ULTRAMARK MARKETS DENTIFYING PIPE AND ILLING DIRECTION

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A MINISHER VALLE OF S. ALL JOINTS SHALL BE SHALLD PER

OURSTIFF COOLS.

ENDROY CODE

17. PROVIDE AND INSTALL FLUE AND BREACHING FOR BOILERS WHICH IS PROVIDED BY CARWASH XVG AND OR APROM HEAT XVK. 18. PROVIDE AND SET ALL REQUIRED ROOF RALS, CURBS, PIPE PORTALS, PROVIDE AND INSTALL MIRO 24R GAS PIPE SUPPORTS. ROOFING VIB SHALL FLASH—IN INSULATION WISTALLER SHALL PROVIDE DOCUMENTS CERTIFING R
VALUE PER ENERGY COOL

XVG CAR WASH SYSTEM (DESIGN/BUILD) THE WASH STATE (ULSIGN/BU)

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XVH AIR SYSTEM (DESIGN/BUILD) PROVED PLANNING TOR DIMER AND MEMBER ROVER AND APPROVAL PROVIDED AND ASSISTANCE AND APPROVAL PROVIDED AND ASSISTANCE OF THE PROVED AND ASSISTANCE OF THE PROVIDED AND ASSISTANCE OF THE PROVIDED AND ASSISTANCE AND ASSISTANCE OF THE PROVIDED AND ASSISTANCE OF THE PROVIDED AND ASSISTANCE FOR DEVICE AND EACH DEMONSTRATE THAT DEVICE AND EACH DEMONSTRATE THAT DEVICE AND EACH DEMONSTRATE THAT DEVICE AND EACH DEMONSTRATE THAT

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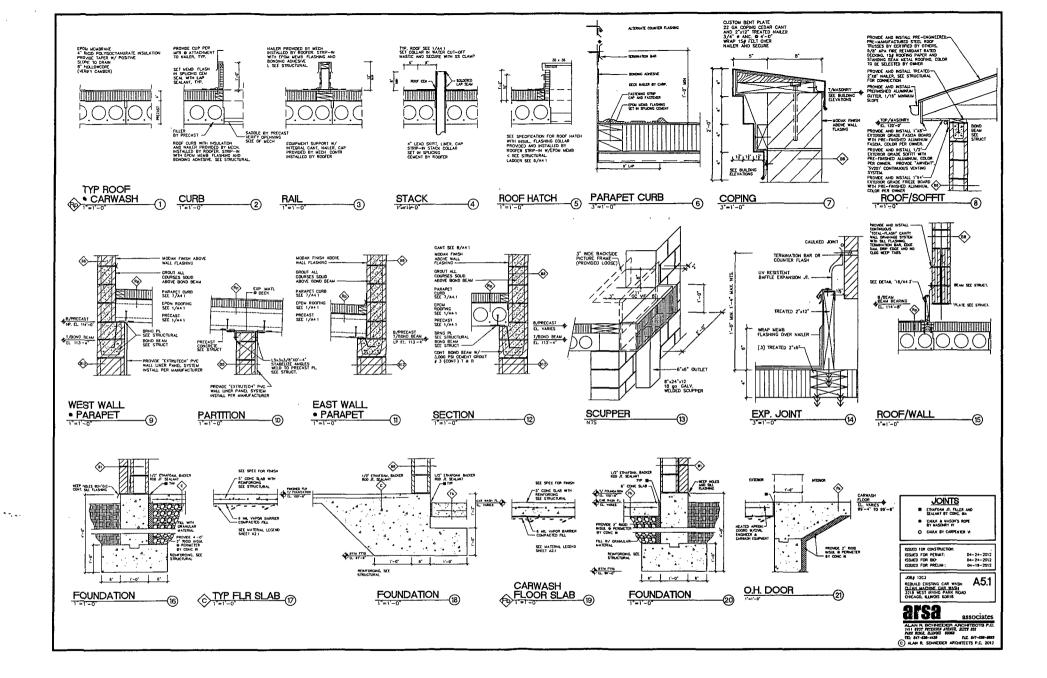
JOB# 12C3 REBURD EXISTING CAR WASH CLEAN MACRINE CAR WASH 3218 WEST RIVING PARK ROAD DECAGO, BLINOIS BOGIS

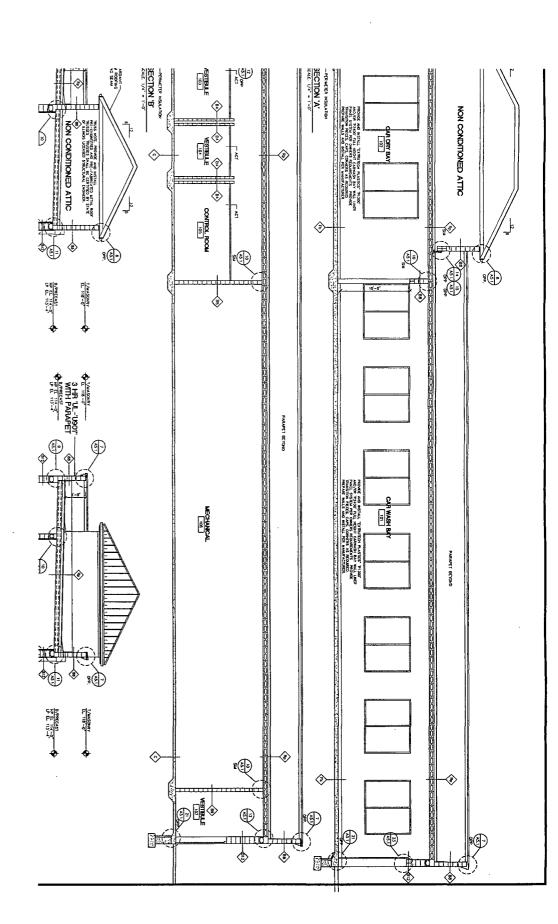


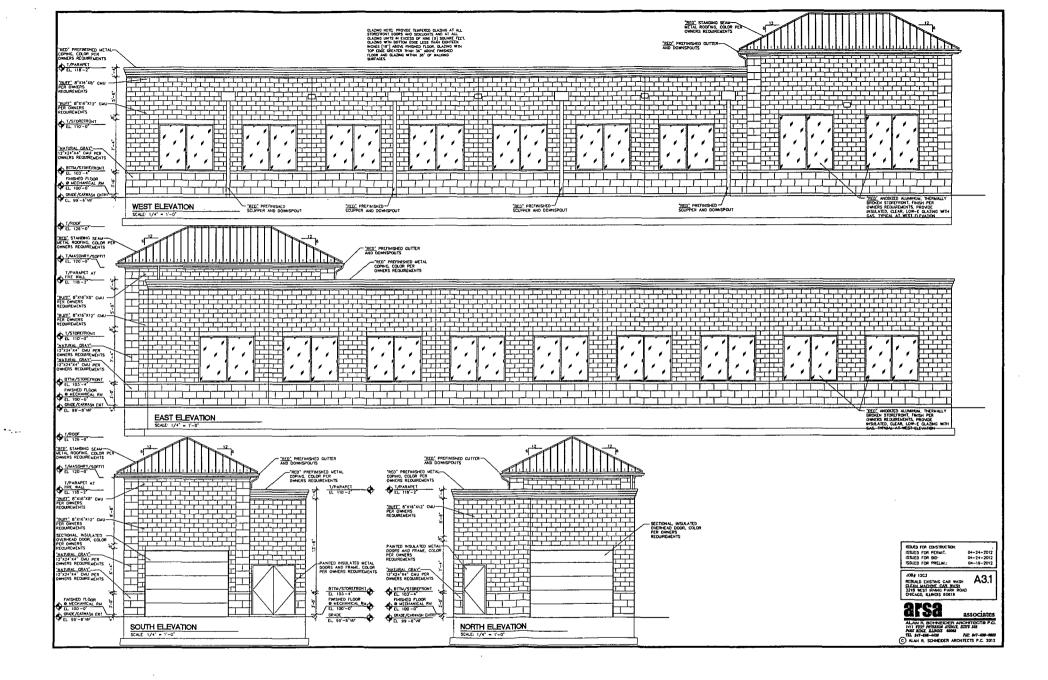
A6.1

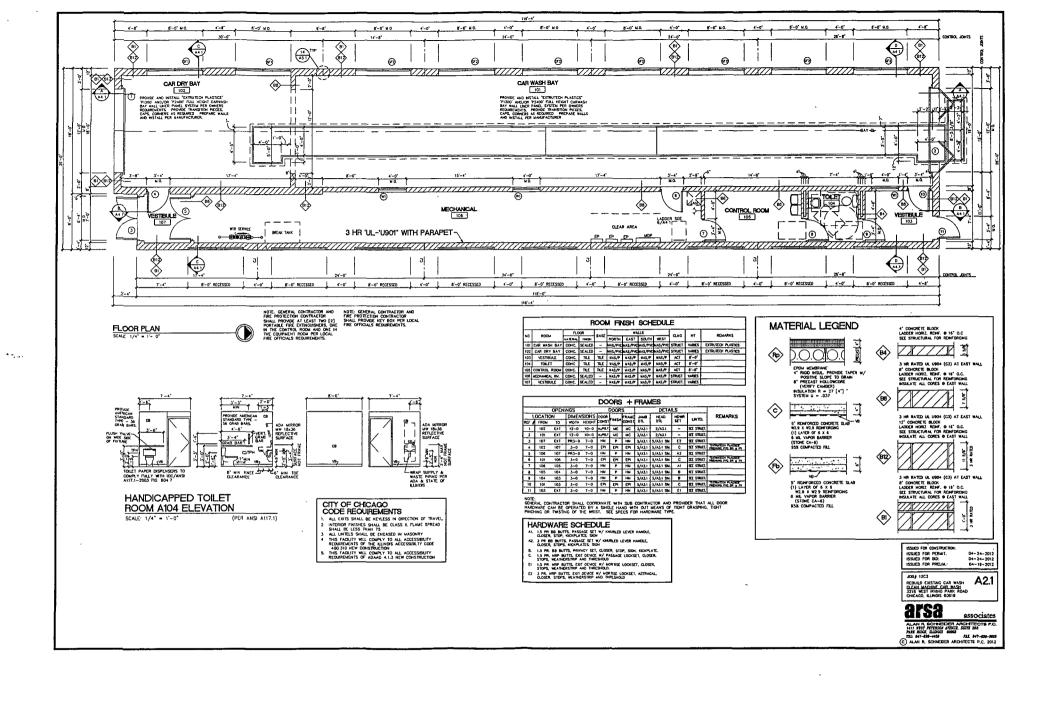
ALAN R BC-NEIDER ARCHITECTS P.C. 1411 FIST PETERSON LITEUT, SUIT 202 PAIN ROCK, BLOOMS BOOM 1511: 547-558-4432 PAI, 547-558-5633 TEL SIT-COS-HOSE PAIL SIT-COS-SISSI

(C) ALAN R. SCHREDER ARCHITECTS P.C. 2012









ENERGY STATEMENT SELF-SERVICE AND AUTOMATIC CARWASH

101 COMPLIANCE

18-13-1014b EXEMPTION • CARWASH

18-13-101.4.2.6 COMMERCIAL BUILDING APPLICABILITY

4.11 NEW BUILDING New hulldings shall comply with Sections 7 or 8

301 THERMAL DESIGN PARAMETERS

18-13-302.1 EXTERIOR DESIGN CONDITIONS

-10 dea F Writer, Design Dry-bulb 92 deg F Summer Design Wel-built 74 deg F Degree days heating Degree days cooling

303 URBAN HEAT ISLANDS

18-13-303.1 ROOF REFLECTANCE

Cray Bollosted EPDM Carisle, Firestone, Centimark, Genflex Read =0.25, actual=0.34

304 MATERIALS, SYSTEMS AND EQUIPMENT

All insulation materials, coulsing and weatherstrapping, fenestration assemblies, mechanical equipment and system components, water heatings equipment and system components, on light injectives shall be institled in operational with the manufacturer's institution instructions as well as the documentation requirements of that code:

Signed and dated certifications by the installers shall be provided for "R" value of add, roof, susface and perimeter insulation, "U" factor + SHCC coefficient and or telescope for ferentration," W" value of duct Installetins, efficiency of complement, water helder energy afficiency. Certifications must be provided to the Architect price to fire lappening.

19-13-304.5.2(2) EXTERIOR NON-GLAZED DOOR

Ha door & frame Ceco Impend+SQT Frame Raqd=0.35,octual door=07 Insulated Overhead Door Overhead Door 425 w/styrene Raqd=0.35,octual door=14

BUILDING ENVELOPE REQUIREMENTS

FOR BUILDINGS WITH LESS THAN 50% QLAZED AREA OF WALLS FENESTRATION [384]/WALL [3800]-10%

80212 MOISTURE CONTROL

Vocar relarder shall have a maximum perm rating of 1.0 Cooler and freezer vapor barriers are reversed and shall be installed for appropriate design criteria.

802.2(1) WNDOW AND GLAZED DOOR AREA 10X - 25X OF ABOVE GRADE WALL AREA

Concrete roof #/ 4'

18-13-802.3.2 SEALING OF BUILDING ENVELOPE

Seems, openings and penetrations in the building envelope shall be seeled with coulking materials or closed with gosketing systems compatible with construction materials and locations

Dompers shall be equipped with motorized dompers with a minimum lookage rate of 3 cfm/sq ft. at 1–0 in = g $\,$

803 BUILDING MECHANICAL SYSTEMS

18-13-803.2.2(4) GAS WARM AIR FURNACES AND UNIT HEATERS

Read AFUE = 80%, actual E = 60% Read AFUE = 80%, actual E = 80%

19-13-803.211 EQUIPMENT SIZING

The design professional shall endeavor to design the systems as close to the design load calculations as practical

803.3.4.1 TEMPERATURE RESET FOR AIR SYSTEMS

Economiters when required shall have controls capable of being reset by at least 25% of the design supply air to room ov temperature difference

803.3.7 PIPING INSULATION

Hot Water <15 = 10 insul, >1.5 = 2.0 insul Liquid lines for process/storage facility refrigeration shall not be insulated

18-13-803.3.8.1 AIR SYSTEM BALANCING

See HVAC Spec., Sheet A61

18-13-803.8.3 MANUALS AND OPERATION INSTRUCTION

See Specification - General Conditions Speet 46

804 SERVICE WATER HEATING

18-13-804.2 WATER HEATER PERFORMANCE

4.5 km Electric Woter Hapter <12KW; read. energy factor > 93~ 00132V; actual factor unit complies w/ASNRAE, IEC per manufacturer

19-13-804.3 HWH TEMPERATURE CONTROLS

Water heater shall be provided with a timy limiting public restroom and handsank water temperature to 110 d.f. per lilinois Plumbing Code

18-13-804.4 HWH HEAT TRAPS

HWH shall be installed with heat traps on supply and discharge piping

18-13-804.5 HWH PIPE INSULATION

Return system piping shall be insulated with minimum of 1" insulation. In non-circulating systems provide a minimum 1/2" of insulation within eight foot of the heater.

19-13-804.6 HWH CONTROLS

If heater is electrically activated, a time clack capable of turning off system during inactive hours will be provided.

805 LIGHTING SYSTEM

18-13-805.2 INTERIOR LIGHTING CONTROLS

Each space shall be equipped with a switch for that space. Each area smaller than 250 sq ft. shall be equipped with a dimmer or alternate switching

18-13-805.2.2 EXTERIOR LIGHTING CONTROLS

Photo cells shall be provided for exterior lighting

18-13-805.3 TANDEM WIRING

Three lamp Suprescent fixtures shall be landern wired when in continuous rows

19-13-805.4.2.2 PORTION OF BUILDING METHOD

Car Wash + Mechanical

806 TOTAL BUILDING PERFORMANCE

16-13-606.4 8TANDARD DESIGN

The actual performance of components insted above meet the energy requirements for a standard dason.

ITEMS NOT REQUIRED

The following Sections do not apply to this project: IR=13-802.2.6 Floors over unconditioned space, IR=13-802.2.8 Below grade walls, IR=13-803.2.7.8 Below grade walls, IR=13-803.2.7.0 Complex MVAC systems [except as noted above]. IR=13-805.5 Service Nater Heating

CITY OF CHICAGO ENERGY CONSERVATION CODE

PRESCRIPTIVE PACKAGE 4,074 SQ. FT 563 SQ. FT. GROSS FLOOR EXTERIOR ENVELOPE GLAZING AREA [ROUGH OPENING] GLAZING AREA % 13.82%

PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS GLAZING MAXIMUM U-FACTOR
ROOF MINIMUM R-VALUE
EXTERIOR WALL MINIMUM R-VALUE
SLAB MINIMUM R-VALUE GAS FIRED FORCED AIR FURNACE 78% AFUE

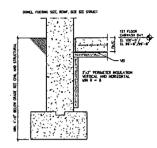
ELECTRIC AIR COOLED AIR CONDITIONING
78.5 MBH 10.3 EER FLECTRIC WATER HEATER





EPOM MEMBRANE
4" RIGO NISLADON
RISLATION RE- 27 [4"]
SYSTEM U = .0.07
PROMOE POSTINE TAPER TO SCUPPER
6" HOLLOWCORE
SEE STRICTURAL (VEREY CAMBER)
ALTERNATE TPO MEMBRANE

TYP. HOLLOWCORE ROOF

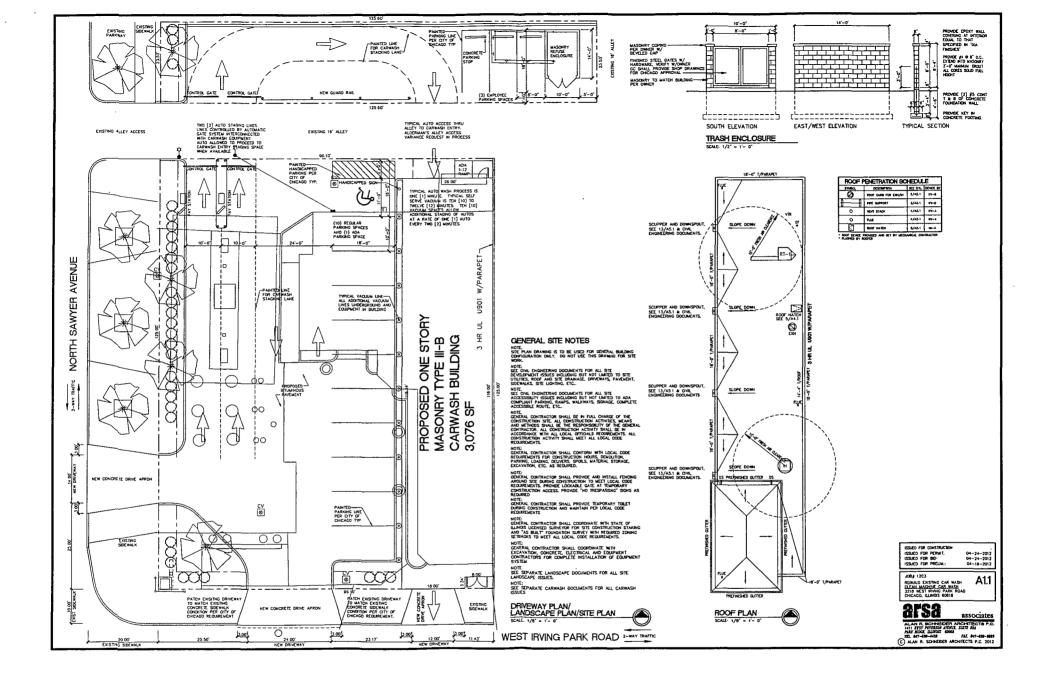


TYP. FOOTING

ISSUED FOR CONSTRUCTION: ISSUED FOR PERMIT, ISSUED FOR BID: ISSUED FOR PRELIM. J08# 12C3 A1.2

arsa associates ALAN R SCHNEDER ARCHITECTS F.C.
101 1937 PSTESSUS ATMUT, SUITZ IAN
MAIL RICK, ELIPMS 60008
TEL MT-531-4032
TEL MT-531-4032

C ALAM R. SCHNEIDER ARCHITECTS P.C. 2012



CITY OF CHICAGO DEPARTMENT OF BUILDINGS GENERAL BUILDING REQUIREMENTS PER CHICAGO ZONING ORDINANCE

ITEM	IŞSUE	CHAPTER/ARTICLE	ORDINANCE ALLOWABLE	ACTUAL	REQUIREMENT N/A	LOCATION/ SHEET NO	AGENCY/ TEST NO.	REMARKS
	EOUIPEMENTS	NEW BULDINGS						
	ZONING DISTRICT	CZO TILE 17		SOUTH B3-1, NORTH RS-3	N/A	ALD MATRIX		PER 17-10-0207-N
1 02	LOT AREA			SOUTH 12,013, NORTH 2,955		ALD MATRIX		
1 03	MAXIMUM FLOOR AREA RATIO	17-3-0403	SOUTH 12, NORTH Q.9	SOUTH 0.26, NORTH 0.0		AT D MATRIX		
1 04	TOTAL BUILDING AREA		SOUTH HANG MORTH ZIGS	SOUTH 3,076 SQ. FT., NORTH D		ALD MATRIX		T
1 05	TOTAL BUILDING VOLUME		N/A	SOUTH 43,064 CU FT. NORTH O		ALD MATRIX		
1 06	BUILDING HEIGHT-NO OF FLOORS	17-3-0408	SOUTH 35', NORTH MONE			ALO MATRIX		
1 07	MINIMUM YAROS				-			
	a) NORTH YARD	17-3-0405-B	SOUTH 2' NORTH 12'	SOUTH 5.7', NORTH 23 53'		A1 1		
	b) SOUTH YARD	17-3-0404		SOUTH 0.0', NORTH 23.53'		At 1		
	c) EAST YARD	17-3-0406	SOUTH O', NORTH 37.7			ALI		
	d) WEST YARD	17-3-0406						
1 08	GRADE ELEVATION (CCD)	17-3-0406	SOUTH D', KORTH 20'	SOUTH 69 7', NORTH 125 6'		A1 1		
			L	SET CIVIL ENGINEERING				
1.09	OFF STREET LOADING	12-10-1100			NA.			
1 10	OFF STREET PARKING	17-10-0207-N	0 SPACES	14 TOTAL SPACES [1 HC SPACE]		A1 1		(1) IS -FIRE HOS PARKET BAY (1) ENT-O' KOLAN PARKET PARK
1,11	BICYCLE PARKING	17-10-0207	O SPACES	0				NOT REDURED
1 12	LANDSCAPING	17-11-0100				SEE SHEET UIJ		
113	TOWNHOUSE DROINANCE				NA			
ULDING!	ECUREMENTS	NEW BLILDINGS						
2 01	OCCUPANCY CLASSIFICATION(S)	3 (13-56-200)		SOUTH H3, NORTH PARKING		AT O MATRIX		CARMASH
2 02	HEIGHT LIMITATIONS	5 (13-48-030)	30'-0"/2 STY	26'-0"/1 STORY	-	A) O MATRIX		· · · · · · · · · · · · · · · · · · ·
	a) EXCEPTIONS TO HEIGHT LIMITATIONS	5 (13-48-040)	/2 311	/	NA .	v anima		ļ
	AREA LIMITATIONS, BASE SOFT.	5 (13-48-050)	15 000 SO FT.	3.076 SQ FT.		A1.D MATRIX		
	1) PERIMETER	J (13-40-030)	13 DOU SU FT,	2,070 SU 71.		ALLU MAJRIX		
_					NA.	L	L	
_	2) TIRE PROJECTION				NA.			ļ
	3) UNLIMITED				NA			
	b) MIXED OCCUPANCY BUILDINGS				NA.			
2 03	TYPES OF CONSTRUCTION	6 (13-60-100)		e1-B		A1 0 MATRIX		
2 04	MIXED OCCUPANCY SEPARATIONS	3 (13-56-280)			NA			
2 05	REO HRS OF FIRE RESISTANCE	5 (13-50-100)						
	EXTERIOR BEARING WALLS	TABLE 6 (13-60-100)	3 HR	3 HR		ALL LEGEND	UL U901	
	EXTERIOR - NONBEARING WALLS	TABLE 6 (13-60-100)	2 HR	3 HR		AT 1 LEGEND	UL U901	
	TYPE # SEPERATION	5 (13-116-050)			NA			
	INTERIOR BEARING WALLS	TABLE 6 (13-60-100)	1 HR	1 HR		A1 1 LEGEND	LE USOI	
	INTERIOR NONBEARING WALLS	TABLE 5 (13-50-100)	O HR	O HR		A1.1 LEGEND	60 2301	
-	COLUMNS	TABLE 6 (13-60-100)	V m	* ···	NA.	2245.00		
							-	
	COLUMNS SUPPORTING ROOFS ONLY	TABLE 6 (13-60-100)			NA.			
	BEAMS	TABLE 6 (13-60-100)			NA .			
	BEAMS SUPPORTING ROOFS ONLY	TABLE 6 (13-60-100)			NA.			
	FLOOR CONSTRUCTION	TABLE 6 (13-60-100)						SLAB ON GRADE
	UPPER LEVEL FLOOR CONSTRUCTION				NA.			
	ROOF CONSTRUCTION	TABLE 6 (13-60-100)	D HR	0 HR		A1.1 LEGEND		PER 6 (13-60-100)1
	ELEVATOR FRAMING	6 (13-60-130)	-		NA.			
2 07 A	MEZZANINE FLOORS (10%)	6 (13-60-160)			NA.			
	UNLIMITED BUILDING MEZZANINE	5 (13-48-020)(2)			NA.			
	BASEMENT CONSTRUCTION	5 (13-60-170)			NA NA			
	DRIVEWAYS AND LOADING SPACES	6 (13-60-210)						
	FIRE RESISTIVE REQUIREMENTS	7 (15-8)						
-"-	-) COS DAOS RECOUNTMENTS	7 (15-8)						
	e) FIRE BARRIER - CONSTRUCTION				NA.			
	b) PARAPETS	7 (15-8-100)	YES	YES		A11 LEGEND	UL U901	ALL EXTERIOR WALLS
	e) STAIRWAY ENCLOSURE	7 (15-8-140)			NA			
	d) ELEVATOR ENCLOSURES	7 (15-6-150)			HA			
	e) ENCLOSURES OF HEATING ROOMS	7 (15-8-190)			N _A			
	1) ENCLOSURES OF WELLS & CHUTES	7 (15-8-170)			NA.			
	g) OTHER ENCLOSURES	7 (15-6-240)	_		NA NA			
		7 (15-8-380)			NA NA			
	1) STORAGE ROOMS OVER 100 SQ FT	7 (15-6-240)(b)			NA NA			
) CLASS S ENGINE ROOM				NA I			
	PIRE - RESISTIVE MATL & CONST	7 (15–12)						
• "								
		7 (15-12-350)			NA.			
2 12	ACCEPTED ENGINEERING PRACTICE. RECOGNIZED AGENCES	7 (15~12-050)			NA	-		
		9 (15-15)						
		9 (15-16-010)			NA NA			
		9 (15-16-030)						
		9 (13-16-030)			NA			
	EMPITS							
			SWING	SWING		A2.1 PLAN		
3 02	MINIMUM NUMBER OF EXITS	10 (13-160-050)(a)(b)	1	2		AZ 1 PLAN		
	TRAVEL DISTANCE TO EXITS	10 (13-160-110)	75'-0"	70'0"		A2.1 PLAN		
	o) INCREASES PERMITTED (SPRINKLED)	10 (13-160-150)			NA.			
	b) DEAD END CORRIDOR	10 (13-160-160)			NA			
3 04	CAPACITY OF EXITS	10 (13-160-210)	BUILDING AREA 3 076/100 = 31	2 × 36 = 72		A1 D MATRIX		3 (13-58-320)
3 05	MINIMUM WIDTH OF EXITS	1D (13-160-220)	3'~0" PER OR	3'-D" PER DR				
	SWING OF EXIT DOORS			out		A2 1 PLAN		
	HARDWARE		LÉVER	LEVER		SHEET A2.1		HARDWARE SCHEDULE SHEET A
	REVOLVING DOORS	10 (13-160-270)			NA			
	LANDINGS	10 (13-160-310)			NA			
3.10	HANDRAILS	10 (13-160-320)			NA			
					NA NA			
	CONSTRUCTION	10 (13-160-330)						
3 11		10 (13-160-330) 7 (15-8-140)			NA NA			

ITEM	DESCRIPTION	CC	DE	SECTION	ORDINANCE REQUIREMENTS	ACTUAL	REQUIREMENT N/A	LOCATION/ SHEET NO.	AGENCY/ TEST NO.	REMARKS
ACCERSE	SLITY									
	AUTO CAUNDRY	ILLINOIS ACCESSIBIT	ITY CODE (IAC)- NEW CONSTRUCTION	400 310				A2.1 NOTES A2.1 PLAN		
		IAC		400.320	1			A2.1 NOTES		
		IAC - MULTI STOR NEW CONSTRUCTION		400.350-360			HA			
		IAC PUBLIC FACILIT	IES, ADDITIONS	400.410			NA.			
	1	IAC PUBLIC FACILIT	IES, ALTERATIONS	400 510			NA			
		IAC HISTORIC PRES	ERVATION	400 610			NA .			
PRIVATELY	Y AND GOVERNMENT	RINDED FACILITIES, I	RWATELY FUNDED HOU	SINO, GOVERNME	ENT PUNDED HOUS	ang .				
	FACILITIES NEW (ONSTRUCTION AND					NA			
	EXISTING BEING	LTERED		1			NA '			
HVATELY	Y FUNDED HOUSING						NA .			
COVERNA	ENT FUNDED HOUSEN	a .					NA .			

ITEM	ISSUE	CHAPTER/ARTICLE	ORDINANCE REQUIREMENT	ACTUAL	REQUIREMENT N/A	LOCATION/ SHEET NO.	TEST NO.	REMARKS
EHTICA	CIRCULATION							
	N/A						ــــــــــــــــــــــــــــــــــــــ	l
DEMOUT	TON							
	N/A						<u></u>	
STRUCTU	RAL							
	SEE STRUCTURAL DRAWINGS	1	1		l	5-1, 5-2 5-3	L	1 STORY MASCHRY BURLDINGS FOR CARWASH USE
	STRUCTURAL CALCULATIONS					CALCS		
AR / VO	ITEATION							
	VENTILATION	28 (18-26-403.1)		YES	1	SEE HVAC		VENT SCHEDULE, EXH
	FAI LOCATION	28 (15-25-401.5.2)		N/A		N/A		t
	COOLERS, FREEZERS	28 (18-28-403 3.2]		H/A		N/A		
	UNIT HEATERS	28 (18-28-920.4)		YES		SEE HVAC		10" CLEAR ABOVE FIN. FLOOR
		L			1		1	
CTION OF								
	N/A		.1		1			t .
LARM	9							
	NEW TOILETS	29(18-29)	YES	YES		SEE PLUMBING		(1) NEW TOILET
	NEW FLOOR DRAINS	29(15-29-412)	YES	YES		SEE PLUMBING	<u>L</u>	
	HAND SINK	29(18-29-418)	YES	YES		SEE PLUMBING		
	OIL SEPARATOR	29(18-29-1002)	YES	YES		SEE PLUMBING		
	HOT WATER HEATER	29(18-29-501)	YES	YES		SEE PLUMBING		
	CAR WASH ECHAPMENT		YES	YES		SEE CARWASH		SEE CARWASH EQUIPMENT DRAWN
	T	1						
LECTRO	CAL							
_	SERVICE	18-27-230	YES	YES		SEE ELECTRICAL		NEW 800 AMP 30 480/2779
	CONDUCTORS	18-27-346	YES	YES		SEE ELECTRICAL		RIGID CONDUIT FOR WASHBAY & R
	STARTERS AND DISCONNECTS	18-27-380	YES	YES		SEE ELECTRICAL		HEMA 4 FOR WASHBAY & ROOF
	FLÉXIBLE CORDS	18-27-400		N/A		H/A		
	LICHTING	18-27-410	YES	YES		SEE ELECTRICAL	<u> </u>	
	APPLIANCES	18-27-422		N/A		H/A	<u> </u>	
	MECHANICAL	18-27-424	YES	YES		SEE ELECTRICAL		
	HEAT TRACE	18-27-427		N/A		K/A		
	MOTORS	18-27-430	YES	YES		SEE ELECTRICAL		
	AIR CONDITIONING & REFRIGERATION	18-27-440		N/A		H/A		
	HAZARDOUS	18-27-424		N/A		N/A		
	ELEVATORS	16-27-620		H/A		N/A	\perp	
	BATTERY CHARGERS	18-27-625		N/A		H/A	L	
	EMERGENCY SYSTEMS	18-27-700	YES	YES	1	SEE ELECTRICAL		CLASS 3 BATTERY PACKS

REQUIREMENT FOR ALL CONTRACTORS

ALL CONTRACTORS SHALL COMPLY WITH THE CITY OF CHICAGO ENERGY CODE AND ALL OF ITS REQUIREMENTS INCLUDING BUT NOT LIMITED TO:

PRODUCT IDENTIFICATION
PRODUCT INSTALLATION
EQUIPMENT EFFICIENCY
SYSTEM MANTENANCE
SYSTEM CONTROLS
SYSTEM CONTROLS
SYSTEM CONTROLS
PRODUCT AND SYSTEM CERTIFICATION

ALL CONTRACTORS SHALL SUBMIT ALL INFORMATION AS REQUIRED FOR TIMELY APPROVAL BY CITY OF CHICAGO BUILDING DEPARTMENT INSPECTORS.

I CREITY THAT I AM A REGISTERD ENERGY PROFESSIONAL (REP.). I ALSO CREITY
THAT TO THE REST OF MY PROFESSIONAL HONGEDOE AND BLUET HAVE THE ATTACHED
THAT OF THE REST OF MY PROFESSIONAL HONGEDOE AND BLUET HAVE THAT AND STORT A USE STORT MASCORITY CANASCH BULDINGS. DE ENERGY CORRESPONDED
THE UNRIGHAL CODE OF CHICAGO, BULDINGS DECEPT WATER HEATER, DAMPERS AND
OF THE UNRIGHAL CODE OF CHICAGO, BULDINGS DECEPT WATER HEATER, DAMPERS AND
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UNRIGHD CHICAGO, BULDINGS DECEPT WATER HEATER, DAMPERS AND
UNRIGHD CHICAGO, BULDINGS DECEPT WATER HEATER, DAMPERS AND
UNRIGHD CHICAGO, BULDINGS DECEPT WATER HEATER, DAMPERS AND
THE WINCOLD THAT AS NON-COUNTED SPACES.

ALAN R. SCHNEIDER, ILLINDIS REG # 7829 (LICENSE EXPIRES 11-30-2012) PROFESSIONAL DESIGN LICENSE # 184-002957 (1-007829)

ALAN R SCHNEIDER, ILLINOIS REG. # 7829 (UCENSE EXPRES 11-30-2012) PROFESSIONAL DESIGN LICENSE # 184-002957 (1-007829)

BUILDING OWNER GREGORY MRUK
CLEAN MACHINE CAR WASH
3218 WEST IRVING PARK ROAD
CHCAGO, ILLINOIS 50618 PHONE 312-656-2152 FAX 847-825-6991 CIVIL ENGINEERING BERNARD BONO, P.E. BONO CONSULTING. INC. 1018 BUSSE HIGHWAY PARK RIDGE, BLINDIS 60018 PHONE 847-823-3300 FAX 847-823-3303 STRUCTURE ENGINEERING NATING SCHILETTE, P.E.
ROSERI L. MEISER ASSOCIATES, LTD.
1835 ROHLWING ROAD, SUITE C
ROLLING MEADOWS, ILLINOIS 80008 PHONE 847-749-0923 FAX 888-870-1716 MECHANICAL ENGINEERING ELECTRICAL ENGINEERING PLUMBING ENGINEERING NOVA ENGINEERING, PC 3546 RIDGE ROAD LANSING, KLINOIS 60438 PHONE 708-889-0885 FAX 708-889-0204 CAR WASH EOUPMENT DAVE DALESANDRO
CARMASH SERVICES, INC.
1338 ENTERPRISE DRIVE
ROMEDVILLE, HAINOIS 60446

DRAWING SHEET INDEX CIVIL ENGINEERING SEE CIVIL DWGS BY BONG ENGINEERING

SEE CHIL DWGS BY BOND CHORLERING AROHTECHURA. A10 - CHICAGO CODE WATRIX A11 - SITE PLAN, ROOF PLANS & DETAILS A21 - FLOOR PLAN, SOCHOULES, TOILETS A31 - BRIGHOR GEVATIONS A31 - BRIGHOR GEVATIONS A31 - BRIGHOR DETAILS A33 - BRIGHOR DETAILS A33 - BRIGHOR DETAILS A13 - BRIGHOR DETAILS A13 - BRIGHOR DETAILS

LANDSCAPE L1 0 - LANDSCAPE PLAN & DETAILS

LIO - L'AUSSEAR PAN & DETALS STRUTTURA . SI - 9 PECITICATION & DETALS . SI - 10 PECITICATION NO FRANCE PANS . SI - 10 PECITICATION NO FRANCE PANS . SI - 10 PECITICATION . PANS . PAN

ELECTRICAL
E10 - ELECTRICAL LIGHTING PLAN
E20 - ELECTRICAL POWER PLAN E3.0 - ELECTRICAL SPEOFICATION, NOTES
SCHEDULES & RISERS
DI1.0 - EMERGENCY LIGHTING PLAN

EQUIPMENT F1.1 - DIAGRAMMATIC EQUIPMENT PLAN

ISSUED FOR CONSTRUCTION. ISSUED FOR PERMIT: ISSUED FOR BID. ISSUED FOR PRELIM

JOBY 12C3
REBUILD EXISTING CAR WASH
CLEAN MACHINE CAR WASH
3218 WEST IRVING PARK ROAD
CHICAGO, BLINICIS 60618

arsa associates ALAN R. BOCHAEDER ARCHTECT P.C.

1111 FEST PITERSUL MENTE, SIMT 103

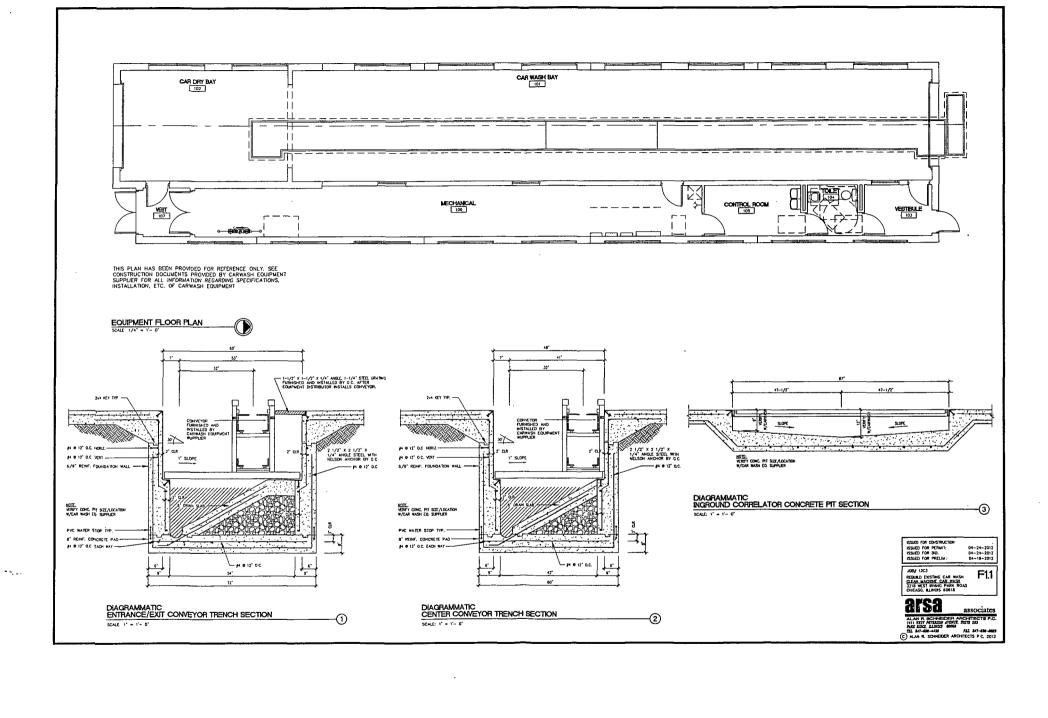
FAM EDICE, ELINIS 10048

TEL 147-158-4539

FAL 147-158-4539

C. ALAN R. SONEDER ARCHTECTS P.C. 2012

A1.0



5812 W. HIGGINS AVENUE CHICAGO, ILLINOIS 60630



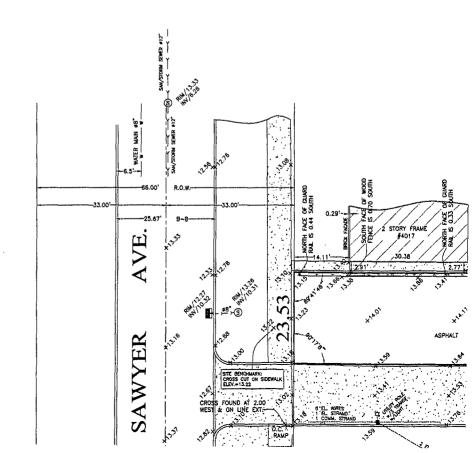
MM SURVEY

PROFESSIONAL DESIGN

TOPOGRAPH

LOT 23 IN BLOCK 4 IN BOLDENWEEC THE EAST ½ OF THE SOUTHEAST ½ (OF THE THIRD PRINCIPAL MERIDIAN,

COMMONLY KNOWN AS: 4015 N. SAI TOTAL LAND AREA = 2,953 sq.ft.



ING CO., INC. PHONE:(773)282-5900 FAX: (773)282-9424 a FIRM No. 184-003233 **ICAL SURVEY** ' ('S ADDITION TO GRANT PARK, A SUBDIVISION OF F SECTION 14, TOWNSHIP 40 NORTH, RANGE 13, EAST IN COOK COUNTY, ILLINOIS. YER AVE., CHICAGO, ILLINOIS TRASH CONTAINER

'ARK RD.

GEND:

- - - SANITARY LINE - - - STORM LINE

- - WATER LINE

AS --- - GAS LINE

CONCRETE PAVEMENT

- CHAIN LINK FENCE

- IRON FENCE

- WOOD FENCE

- BACK OF CURB

- RIGHT OF WAY

- ELECTRIC PAINT MARK

- WATER PAINT MARK

- GAS PAINT MARK - COMM, PAINT MARK

- PARKING STALL COUNT

- FOUNDATION

- DOWN SPOUT

- DEPRESSED CURB

- TOP OF FOUNDATIO

- TOP OF FINISHED FLOOR

0 - CATCH BASIN - WATER MANHOLE **₩**₩

- COMM. MANHOLE ①

0

X\$X8.

Œ

- GAS MANHOLE

- SEWER MANHOLE

- ELECTRIC MANHOLE

EE 1 - INLET

- FIRE HYDRANT

- GAS VALVE

- WATER VALVE

- CONTROL VALVE - CENTER LINE

- STREET SIGN

- LIGHT POST/WALL LIGHT

- POWER POLE W/WIRES

- COMMUNICATION (TELEPHONE, INTERNET, ETC.)

- DECIDUOUS TREE W/DIA

the above described property and that the plat hereon drawn is a correct representation of said survey. - EVERGREEN TREE W/DIA. - CENTER LINE

State of Illinois

County of Cook

AND/OR TITLE POLICY.

We, M M Surveying Co., Inc., do hereby certify that we have surveyed

LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED

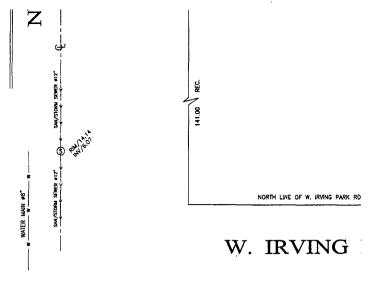
BY THE CLIENT AND MUST BE COMPARED WITH DEED

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS

NO CORNERS WERE MONUMENTED PER CUSTOMER REQUEST.

REG. ILL. Land Surveyor No. 35-2522 LIC. EXP. NOVEMBER 30, 2012

PROFESSIONAL LAND SURVEYOR STATE OF THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.



BENCHMARK: No. 407 LOCATED AT 10.0 FEET WEST OF EAST LINE OF N. TROY AVE. AND 15.2 FEET NORTH OF ALLEY SOUTH OF W. IRVING PARK RD. ELEV. = 12.304 CHICAGO BENCHMARK DATUM Order No.----79141 FLOOD CERTIFICATION: (PER FEMA WEBSITE) THE PROPERTY DESCRIBED ABOVE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA FLOODWAY MAPPER: N./A. FLOODWAY ON PROPERTY: NO. MAP USED: RATE MAP. COMMUNITY NAME: CHICAGO, CITY OF. COMMUNITY NUMBER: 1070214. PANEL NUMBER: 1070214. PANEL NUMBER: 1070214. PANEL NUMBER: 107044. PANEL FIGURE 17031C0404. J. EFFECTIVE DATE: AUGUST 19. 2008. FLOOD ZONE: M. BASE FLOOD ELEVATION FROM FIRM (±0.5FT): N./A. NGVD 1988. Scale: 1 inch=----FEET ARSA (ALAN R. SCHNEIDER ARCHITECT)
Ordered by:

REFER TO #59372, #79065