



Office of the Chicago City
Clerk



O2012-4404

Office of the City Clerk

City Council Document Tracking Sheet

Meeting Date:	6/27/2012
Sponsor(s):	Mendoza, Susana A. (Clerk)
Type:	Ordinance
Title:	Zoning Reclassification App No. 17513 - 4015 N Sawyer Ave
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS-3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No. 11-J in area bound by

North Sawyer Avenue, a line 23.53 feet North of and parallel to the alley next North and parallel to West Irving Park Road, the alley next East and parallel to North Sawyer Avenue, the alley next North and parallel to West Irving Park Road.

to those of a C1-1 Neighborhood Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property: 4015 N Sawyer Avenue

#17513
INT. DATE: 6-27-2012

CITY OF CHICAGO

APPLICATION FOR AN AMENDMENT TO
THE CHICAGO ZONING ORDINANCE

1. ADDRESS of the property Applicant is seeking to rezone:

4015 N Sawyer Avenue

2. Ward Number that property is located in: 33

3. APPLICANT Chicago Title Land Trust Company #1006000323

ADDRESS 4820 W Lawrence

CITY Chicago STATE Illinois ZIP CODE 60630

PHONE 312-656-2152 CONTACT PERSON Greg Mruk

4. Is the Applicant the owner of the property? YES NO If the Applicant is not the owner of the property, please provide the following information regarding the owner and attach written authorization from the owner allowing the applicant to proceed.

OWNER _____

ADDRESS _____

CITY _____ STATE _____ ZIP CODE _____

PHONE _____ CONTACT PERSON _____

5. If the Applicant/Owner of the property has obtained a lawyer as their representative for the rezoning, please provide the following information:

ATTORNEY Thomas S. Moore

ADDRESS 111 W Washington Suite 1100 CITY Chicago

CITY Chicago STATE IL ZIP CODE 60602

PHONE 312-251-1500 FAX 312-251-1500

6. If the applicant is a legal entity (Corporation, LLC, Partnership, Etc.) please provide the names of all owners as disclosed on the Economic Disclosure Statements.

Greg Mruk

Barbara Mruk

7. On what date did the owner acquire legal title to the subject property? 1984

8. Has the present owner previously rezoned this property? If Yes, when?

No

9. Present Zoning District RS3 Proposed Zoning District C1-1

10. Lot size in square feet (or dimensions?) 23.53 x 125.62 = 2,955.84 sq ft.

11. Current Use of the property Vacant Lot

12. Reason for rezoning the subject property: A vacant lot to be used for 3 employee parking spaces and a staging area for a car wash across the alley to the South (3718 W Irving Park Road).

13. Describe the proposed use of the property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building. (BE SPECIFIC)

A vacant lot to be used for 3 employee parking spaces and a staging area for a car wash

across the alley to the South (3218 W Irving park Road).

14. On May 14th, 2007, the Chicago City Council passed the affordable Requirements Ordinance (ARO) that requires on-site affordable housing units or a financial contribution if residential housing projects receive a zoning change under certain circumstances. Based on the lot size of the project in question and the proposed zoning classification, is this project subject to the Affordable Requirements Ordinance? (See Fact Sheet for more information).

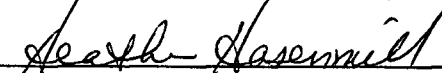
YES _____ NO X

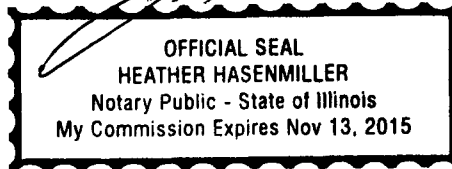
COUNTY OF COOK
STATE OF ILLINOIS

Greg Mruk, being first duly sworn on oath, states that all of the above statements and the statements contained in the documents submitted herewith are true and correct.


Signature of Applicant

Subscribed and Sworn to before me this
5th day of June, 2012.


Notary Public



For Office Use Only

Date of Introduction: _____

File Number: _____

Ward: _____

"WRITTEN NOTICE"
FORM OF AFFIDAVIT
(Section 17-13-0107)

June 20, 2012

Honorable Daniel Solis
Chairman, Committee on Zoning
121 North LaSalle Street
Room 304, City Hall
Chicago, Illinois 60602

The undersigned, Thomas S. Moore, being first duly sworn on oath, deposes and says the following:

The undersigned certifies that he has complied with the requirements of Sec. 17-13-0107, of the Chicago Zoning Ordinance, by sending written notice to such owners who appear to be the owners of the property within the subject area not solely owned by the applicant, and to the owners of all property within 250 feet in each direction of the lot line of the subject property, exclusive of public roads, streets, alleys and other public ways, or a total distance limited to 400 feet. Said "written notice" was sent by First Class U.S. Mail, no more than 30 days before filing the application.

The undersigned certifies that the notice contained the address of the property sought to be rezoned; a statement of the intended use of the property; the name and address of the applicant; the name and address of the owner; and a statement that the applicant intends to file the application for a change in zoning on approximately June 20, 2012.

The undersigned certifies that the applicant has made and bona fide effort to determine the addresses of the parties to be notified under Section 17-13-0107 of the Chicago Zoning Ordinance, and that the accompanying list of names and addresses of surrounding property owners within 250 feet of the subject site is a complete list containing the names and addresses of the people required to be served.

Thomas S Moore

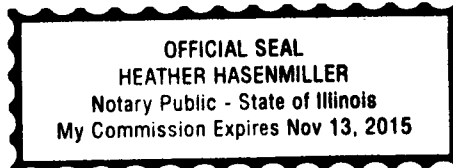


Subscribed and Sworn to before me
this 20th day of June, 2012



Notary Public

W:\FORMS\Zoning Forms\Zoning Change\FormAff 11.9-3.1.wpd



ANDERSON & MOORE, P.C.

ATTORNEYS AT LAW

111 WEST WASHINGTON STREET, SUITE 1100

CHICAGO, ILLINOIS 60602

THOMAS S. MOORE
JANE F. ANDERSON

TELEPHONE (312) 251-1500
FACSIMILE (312) 251-1509

June 20, 2012

To Property Owner or Resident:

In accordance with requirements for an Amendment to the Chicago Zoning Ordinance, specifically Section 17-13-0107, please be informed that on or about June 20, 2012, the undersigned will file an application for a change in zoning from RS-3 to C1-1 on behalf the applicant, Chicago Title Land Trust Company #1006000323 for the property located at 4015 N Sawyer Avenue.

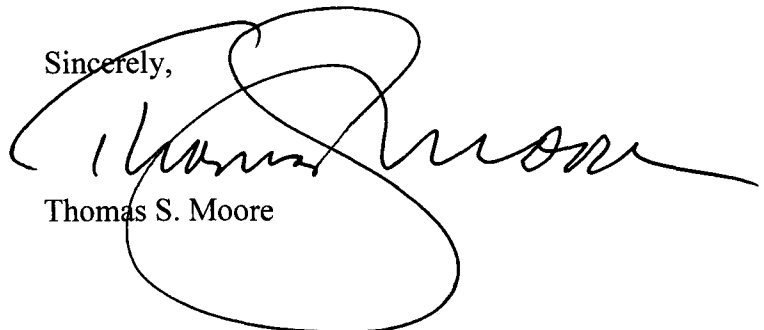
The applicant seeks to continue to use this property as a vacant lot to be used for 3 employee parking spaces and a staging area for an existing non-conforming car wash across the alley to the South (3718 W Irving Park Road) which is being rebuilt.

The owner and applicant of the property is Chicago Title Land Trust Company #1006000323 whose business address is 4820 W Lawrence; Chicago, IL 60630. You can reach Greg Mruk at 312-656-2152 if you have any questions.

I am the attorney for the applicant and can be reached at the above number if you have any questions.

Please note the applicant is not seeking to rezone or purchase your property. The applicant is required by law to send this notice because you own property within 250 feet of the property to be rezoned.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to read 'Thomas S. Moore', is written over the typed name below it.

Thomas S. Moore

TSM:hah

W:\FORMS\Zoning Forms\Zoning Change\NeighborLtr.wpd

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT
AND AFFIDAVIT**

SECTION I –GENERAL INFORMATION

A. Legal name of Disclosing Party submitting this EDS. Include d/b/a/ if applicable:

Chicago Title Land Trust Company #1006000323

Check ONE of the following three boxes:

Indicate whether Disclosing Party submitting this EDS is:

1. the Applicant

OR

2. a legal entity holding a direct or indirect interest in the Applicant. State the legal name of the Applicant in which Disclosing Party holds an interest: _____

OR

3. a specified legal entity with a right of control (see Section II.B.1.b) State the legal name of the entity in which Disclosing Party holds a right of control: _____

B. Business address of Disclosing Party: 4820 W Lawrence
Chicago, IL 60630

C. Telephone: 312-656-2152 Fax: _____ Email _____

D. Name of contact person: Greg Mruk

E. Federal Employer Identification No. (if you have one): _____

F. Brief description of contract, transition or other undertaking (referred to below as the “Matter”) to which this EDS pertains. (Include project number and location of property, if applicable):

Zoning Change-4015 N Sawyer Avenue

G. Which City agency or department is requesting this EDS? Dept of Housing & Economic Development
Bureau of Planning & Zoning

If the Matter is a contract being handled by the City’s Department of Procurement Services, please complete the following:

Specification # _____ and Contract # _____

SECTION II – DISCLOSURE OF OWNERSHIP INTERESTS

A. NATURE OF DISCLOSING PARTY

1. Indicate the nature of the Disclosing Party:

- Person
- Publicly registered business corporation
- Privately held business corporation
- Sole proprietorship
- General partnership*
- Limited partnership*
- Trust
- Limited liability company*
- Limited liability partnership*
- Joint venture*
- Not-for-profit corporation
(Is the not-for-profit corporation also a 501(c)(3))?
 Yes No
- Other (please specify)

*Note B.1.b below

2. For legal entities, the state (or foreign country) of incorporation or organization, if applicable:

Illinois

3. For legal entities not organized in the State of Illinois: Has the organization registered to do business in the State of Illinois as a foreign entity?

- Yes
- No
- N/A

B. IF THE DISCLOSING PARTY IS A LEGAL ENTITY:

1. List below the full names and title of all executive officers and all directors of the entity.

NOTE: For not-for-profit corporations, also list below all members, if any, which are legal entities. If there are no such members, write “no members.” For trusts, estates or other similar entities, list below the legal titleholder(s).

If the entity is a general partnership, limited partnership, limited liability company, limited liability partnership or joint venture, list below the name and title of each general partner, managing member, manager or any other person or entity that controls the day-to-day management of the Disclosing Party.

NOTE: Each legal entity listed below must submit an EDS on its own behalf.

Name	Title
<u>Greg Mruk</u>	<u>Beneficiary</u>
<u>Barbara Mruk</u>	<u>Beneficiary</u>

2. Please provide the following information concerning each person or entity having a direct or indirect beneficial interest (including ownership) in excess of 7.5% of the Disclosing Party. Examples of such an interest include shares in a corporation, partnership interest in a partnership or joint venture,

Interest of a member or manager in a limited liability company, or interest of a beneficiary of a trust, estate or other similar entity. If none, state "None." **NOTE:** Pursuant to Section 2-154-030 of the Municipal Code of Chicago ("Municipal Code"), the City may require any such additional information from any applicant which is reasonably intended to achieve full disclosure.

Name	Business Address	Percentage Interest in the Disclosing party
Greg Mruk	4820 W Lawrence; Chicago, IL 60630	50%
Barbara Mruk	4820 W Lawrence; Chicago, IL 60630	50%

SECTION III – BUSINESS RELATIONSHIPS WITH CITY ELECTED OFFICIALS

Has the Disclosing Party has a "business relationship." as defined in Chapter 2-156 of the Municipal Code, with any City elected official in the 12 months before the date this EDS is signed?

Yes No

If yes, please identify below the name(s) of such City elected official(s) and describe such relationship(s):

SECTION IV – DISCLOSURE OF SUBCONTRACTORS & OTHER RETAINED PARTIES

The Disclosing Party must disclose the name and business address of each subcontractor, attorney, lobbyist, accountant, consultant and any other person or entity whom the Disclosing party has retained or expects to retain in connection with the Matter, as well as the nature of the relationship, and the total amount of the fees paid or estimated to be paid. The Disclosing Party is not required to disclose employees who are paid solely through the Disclosing Party's regular payroll.

"Lobbyist" means any person or entity who undertakes to influence any legislative or administrative action on behalf of any person or entity other than: (1) a not-for-profit entity, on an unpaid basis, or (2) himself. "Lobbyist" also means any person or entity any part of whose duties as an employee of another includes undertaking to influence any legislative or administrative action.

If the Disclosing Party is uncertain whether a disclosure is required under this Section, the Disclosing Party, must either ask the City whether disclosure is required or make the disclosure.

Name (indicate whether retained or anticipated to be retained)	Business Address	Relationship to Disclosing Party (subcontractor, attorney, lobbyist, etc)	Fees (indicate whether paid or estimated.) NOTE: "hourlyrate" or "t.b.d." is not an acceptable response.
--	------------------	---	---

<u>Anderson & Moore-Attorney 111 W Washington Ste 1100; Chicago, IL 60602</u>	<u>Estimated to be</u> <u>\$5,000.00</u>
---	---

(Add sheets if necessary)

Check here if the Disclosing party has not retained, nor expects to retain, any such persons or entities.

SECTION V –CERTIFICATIONS

A. COURT-ORDERED CHILD SUPPORT COMPLIANCE

Under Municipal Code Section 2-92-415, substantial owners of business entities that contract with the City must remain in compliance with their child support obligations throughout the term of the contract.

Has any person who directly or indirectly owns 10% or more of the Disclosing Party been declared in arrearage on any child support obligations by any Illinois court of competent jurisdiction?

Yes No No person directly or indirectly owns 10% or more of the Disclosing Party.

If "Yes," has the person entered into a court-approved agreement for payment of all support owned and is the person in compliance with that agreement?

Yes No

B. FURTHER CERTIFICATIONS

1. Pursuant to Municipal Code Chapter 1-23, Article I ("Article I")(which the Applicant should consult for defined terms (e.g., "doing business") and legal requirements), if the Disclosing Party submitting the EDS is the Applicant and is doing business with the City, then the Disclosing Party certifies as follows: (i) neither the Applicant nor any controlling person is currently indicated or charged with, or has admitted guilt of, or has ever been convicted of, or placed under supervision for, any criminal offense involving actual, attempted, or conspiracy to commit bribery, theft, fraud, forgery, perjury, dishonesty or deceit against an officer or employee of the City or any sister agency; and (ii) the Applicant understands and acknowledges that compliance with Article I is a continuing requirement for doing business with the City. **NOTE:** If Article I applies to the Applicant, the permanent compliance timeframe in Article I supersedes some five-year compliance timeframes in certification 2 and 3 below.

2. The Disclosing Party and, if the Disclosing Party is a legal entity, all of those persons or entities identified in Section II.B.1. of this EDS:

- a. are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from any transactions by any federal, state or local unit of government;
- b. have not, within a five-year period preceding that date of this EDS, been convicted of a criminal offense, adjudged guilty, or had a civil judgment rendered against them in connection with: obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; a violation of federal or state antitrust statutes; fraud; embezzlement; theft; forgery; bribery; falsification or destruction of records; making false statements; or receiving stolen property;
- c. are not presently indicted for or criminally or civilly charged by, a governmental entity (federal, state or local) with committing any of the offenses set forth in clause B.2.b. of this Section V;
- d. have not, within a five-year period preceding the date of this EDS, had one or more public transactions (federal, state or local) terminated for cause or default; and
- e. have not, within a five-year period preceding the date of this EDS, been convicted, adjudged guilty, or found liable in a civil proceeding, or in any criminal or civil action, including actions concerning environmental violations, instituted by the City or by the federal government, any state, or any other unit of local government.

3. The certifications in subparts 3, 4 and 5 concern:

- the Disclosing Party;
- any "Contractor" (meaning any contractor or subcontractor used by the Disclosing Party in connection with the Matter, including but not limited to any persons or legal entities disclosed under Section IV, "Disclosure of Subcontractors and Other Retained Parties");
- any "Affiliated Entity" (meaning a person or entity that, directly or indirectly: controls the Disclosing Party, is controlled by the Disclosing Party, or is, with the Disclosing Party, under common control of another person or entity. Indicia of control include, without limitation: interlocking management or ownership; identity of interests among family members, shared facilities and equipment; common use of employees; or organization of a business entity following the ineligibility of a business entity to do business with federal or state or local government, including the City, using substantially the same management, ownership, or principals as the ineligible entity) with respect to Contractors, the term Affiliated Entity means a person or entity that directly or indirectly controls the Contractor, is controlled by it, or, with the Contractor, is under common control of another person or entity;
- any responsible official of the Disclosing Party, any Contractor or any Affiliated Entity or any other official, agent or employee of the Disclosing Party, any Contractor or any Affiliated Entity, acting pursuant to the direction or authorization of a responsible official of the Disclosing Party, any Contractor or any Affiliated Entity (collectively "Agents").

Neither the Disclosing Party, nor any Contractor, nor any Affiliated Entity of either the Disclosing Party or any Contractor nor any Agents have, during the five years before the date this EDS is signed, or, with respect to a Contractor, an Affiliated Entity, or an Affiliated Entity of a Contractor during the five years before the date of such Contractor's or Affiliated Entity's contract or engagement in connection with the Matter:

- a. bribed or attempted to bribe, or been convicted or adjudged guilty of bribery or attempting to bribe, a public officer or employee of the City, the State of Illinois, or any agency of the federal government or of any state or local government in the United States of America, in that officer's or employee's official capacity;
- b. agreed or colluded with other bidders, or prospective bidders, or been a party to any such agreement, or been convicted or adjudged guilty of agreement or collusion among bidders or prospective bidders, in restraint of freedom of competition by agreement to bid a fixed price or otherwise; or
- c. made an admission of such conduct described in a. or b. above that is a matter of record, but have not been prosecuted for such conduct; or
- d. violated the provisions of Municipal Code Section 2-92-610 (Living Wage Ordinance).

4. Neither the Disclosing Party, Affiliated Entity or Contractor, or any of their employees, officials, agents or partners, is barred from contracting with any unit of state or local government as a result of engaging in or being convicted of (1) bid-rigging in violation of 720 ILCS 5/33E-3; (2) bid-rotating in violation of 720 ILCS 5/33E-4; or (3) any similar offense of any state or of the United States of America that contains the same elements as the offense of bid-rigging or bid-rotating.

5. Neither the Disclosing Party nor any Affiliated Entity is listed on any of the following lists maintained by the Office of Foreign Assets Control of the U.S. Department of the Treasury or the Bureau of Industry and Security of the U.S. Department of Commerce or their successors: the Specially Designated Nationals List, the Denied Persons Lists, the Unverified List, the Entity List and the Debarred List.

6. The Disclosing Party understands and shall comply with the applicable requirements of Chapters 2-55 (Legislative Inspector General), 2-56 (Inspector General) and 2-156 (Governmental Ethics) of the Municipal Code.

7. If the Disclosing Party is unable to certify to any of the above statements in this Part B (Further Certifications), the Disclosing Party must explain below:

N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

8. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all current employees of the Disclosing Party who were, at any time during the 12-month period preceding the execution date of this EDS, an employee, or elected or appointed official, of the City of Chicago (if none, indicate with "N/A" or "none").

N/A

9. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all gifts that the Disclosing Party has given or caused to be given, at any time during the 12-month period preceding the execution date of this EDS, to an employee, or elected or appointed official, of the City of Chicago. For purposes of this statement, a "gift" does not include: (i) anything made generally available to City employees or to the general public, or (ii) food or drink provided in the course of official City business and having a retail value of less than \$20 per recipient (if non, indicate with a "N/A" or "none"). As to any gift listed below, please also list the name of the City recipient.

N/A

C. CERTIFICATION OF STATUS AS FINANCIAL INSTITUTION

1. The Disclosing Party certifies that the Disclosing Party (check one)

is is not

a "financial institution" as defined in Section 2-32-455(b) of the Municipal Code.

2. If the Disclosing Party IS a financial institution, then the Disclosing party pledges:

"We are not and will not become a predatory lender as defined in Chapter 2-32 of the Municipal Code. We further pledge that none of our affiliates is, and none of them will become, a predatory lender as defined in Chapter 2-32 of the Municipal Code. We understand that becoming a predatory lender or becoming an affiliate of a predatory lender may result in the loss of the privilege of doing business with the City."

If the Disclosing Party is unable to make this pledge because it or any of its affiliates (as defined in Section 2-32-455(b) of the Municipal Code) is a predatory lender within the meaning of Chapter 2-32 of the Municipal Code, explain here (attach additional pages of necessary):

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

D. CERTIFICATION REGARDING INTEREST IN CITY BUSINESS

Any words or terms that are defined in Chapter 2-156 of the Municipal Code have the same meanings when used in this Part D.

1. In accordance with Section 2-156-110 of the Municipal Code: Does any official or employee of the City have a financial interest in his or her own name or in the name of any other person or entity in the Matter?

Yes No

NOTE: If you checked "Yes" to Item D.1., proceed to Items D.2. and D.3. If you checked "No" to Item D.1., proceed to Part E.

2. Unless sold pursuant to a process of competitive bidding, or otherwise permitted, no City elected official or employee shall have a financial interest in his or her own name or in the name of any other person or entity in the purchase of any property that (i) belongs to the City, or (ii) is sold for taxes or assessments, or (iii) is sold by virtue of legal process at the suit of the City (collectively, "City Property Sale"). Compensation for property taken pursuant to the City's eminent domain power does not constitute a financial interest within the meaning of this Part D.

Does the Matter involve a City Property Sale?

Yes No

3. If you checked "Yes" to Item D.1., provide the names and business addresses of the City officials or employees having such interest and identify the nature of such interest:

Name	Business Address	Nature of Interest

4. The Disclosing Party further certifies that no prohibited financial interest in the Matter will be acquired by any City official or employee.

E. CERTIFICATION REGARDING SLAVERY ERA BUSINESS

Please check either 1. or 2. below. If the Disclosing Party checks 2., the Disclosing Party must disclose below or in an attachment to this EDS all information required by paragraph 2. Failure to

comply with these disclosure requirements may make any contract entered into with the City in connection with the Matter voidable by the City.

 X 1. The Disclosing Party verifies that the Disclosing Party has searched any and all records of the Disclosing Party and any and all predecessor entities regarding records of investments or profits from slavery, or slaveholder insurance policies during the slavery era (including insurance policies issued to slaveholders that provide coverage for damage to or injury or death of their slaves), and the Disclosing Party has found no such records.

 2. The Disclosing Party verifies that, as a result of conducting the search in step 1 above, the Disclosing Party has found records of investments or profits from slavery or slaveholder insurance policies. The Disclosing Party verifies that the following constitutes full disclosure of all such records, including the names of any and all slaves or slaveholders described in those records:

SECTION VI -- CERTIFICATIONS FOR FEDERALLY-FUNDED MATTERS

NOTE: If the Matter is federally funded, complete this Section VI. If the Matter is not federally funded, proceed to Section VII. For purposes of this Section VI, tax credits allowed by the City and proceeds of debt obligations of the City are not federal funding.

A. CERTIFICATION REGARDING LOBBYING

1. List below the names of all persons or entities registered under the federal Lobbying Disclosure Act of 1995 who have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter: (Add sheets as necessary):

(If no explanation appears or begins on the lines above, or if the letters "NA" or if the work "None" appear, it will be conclusively presumed that the Disclosing Party means that NO persons or entities registered under the Lobbying Disclosure Act of 1995 have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter.)

2. The Disclosing Party has not spent and will not expend any federally appropriated funds to pay any person or entity listed in Paragraph A.1. above for his or her lobbying activities or to pay any person or entity to influence or attempt to influence an officer or employee of any agency, as defined by applicable federal law, a member of Congress, an officer or employee of Congress, or an employee of a member of Congress, in connection with the award of any federally funded contract, making any federally funded grant or loan, entering into any cooperative agreement, or to extend, continue, renew, amend, or modify and federally funded contract, grant, loan, or cooperative agreement.

3. The Disclosing Party will submit an updated certification at the end of each calendar quarter in which there occurs any event that materially affects the accuracy of the statements and information set forth in paragraphs A.1. and A.2. above.

4. The Disclosing Party certifies that either: (i) it is not an organization described in section 501(c)(4) of the Internal Revenue code of 1986; or (ii) it is an organization described in section 501(c)(4) of the Internal Revenue Code of 1986 but has not engaged and will not engage in "Lobbying Activities".

5. If the Disclosing Party is the applicant, the Disclosing Party must obtain certifications equal in form and substance to paragraphs A.1. through A.4. above from all subcontractors before it awards any subcontract and the Disclosing Party must maintain all such subcontractors' certifications for the duration of the Matter and must make such certifications promptly available to the City upon request.

B. CERTIFICATION REGARDING EQUAL EMPLOYMENT OPPORTUNITY

If the Matter is federally funded, federal regulations require the Applicant and all proposed subcontractors to submit the following information with their bids or in writing at the outset of negotiations.

Is the Disclosing Party the Applicant?

Yes No

If "Yes," answer the three questions below:

1. Have you developed and do you have on file affirmative action programs pursuant to applicable federal regulations? (See 41 CFR Part 60-2).

Yes No

2. Have you filed with the Joint Reporting Committee, the Director of the Office of Federal contract Compliance Programs, or the Equal Employment Opportunity Commission all reports due under the applicable filing requirements?

Yes No

3. Have you participated in any previous contracts or subcontracts subject to the equal opportunity clause?

Yes No

If you checked "No" to question 1. or 2. above, please provide an explanation:

SECTION VII -- ACKNOWLEDGMENTS, CONTRACT INCORPORATION, COMPLIANCE, PENALTIES, DISCLOSURE

The Disclosing Party understand and agrees that:

A. The certifications, disclosures, and acknowledgments contained in this EDS will become part of any contract or other agreement between the Applicant and the City in connection with the Matter, whether procurement, City assistance, or other City action, and are material inducements to the City's execution of any contract or taking other action with respect to the Matter. The Disclosing Party understands that it must comply with all statutes, ordinances, and regulations on which this EDS is based.

B. The City's Governmental Ethics and Campaign Financing Ordinances, Chapters 2-156 and 2-164 of the Municipal Code, impose certain duties and obligations on persons or entities seeking City contracts, work, business, or transactions. The full text of these ordinances and a training program is available on line at www.cityofchicago.org/Ethics, and may also be obtained from the City's Board of Ethics, 740 N.

Sedgwick St., Suite 500, Chicago, IL 60610, (312) 744-9660. The Disclosing Party must comply fully with the applicable ordinances.

C. If the City determines that any information provided in this EDS is false, incomplete or inaccurate, any contract or other agreement in connection with which it is submitted may be rescinded or be void or voidable, and the City may pursue any remedies under the contract or agreement (if not rescinded or void), at law, or in equity, including terminating the Disclosing Party's participation in the Matter and/or declining to allow the Disclosing Party to participate in other transactions with the City. Remedies at law for a false statement of material fact may include incarceration and an award to the City of treble damages.

D. It is the City's policy to make this document available to the public on its Internet site and/or upon request. Some or all of the information provided on this EDS and any attachments to this EDS may be made available to the public on the Internet, in response to a Freedom of Information Act request, or otherwise. By completing and signing this EDS, the Disclosing Party waives and releases any possible rights or claims which it may have against the City in connection with the public release of information contained in this EDS and also authorizes the City to verify the accuracy of any information submitted in this EDS.

E. The information provided in this EDS must be kept current. In the event of changes, the Disclosing Party must supplement this EDS up to the time the City takes action on the Matter. If the Matter is a contract being handled by the City's Department of Procurement Services, the Disclosing Party must update this EDS as the contract requires. **NOTE:** With respect to Matters subject to Article I of Chapter 1-23 of the Municipal Code (imposing **PERMANENT INTELIGIBILITY** for certain specified offenses), the information provided herein regarding eligibility must be kept current for a longer period, as required by Chapter 1-23 and Section 2-154-020 of the Municipal Code.

The Disclosing Party represents and warrants that:

F.1. The Disclosing Party is not delinquent in the payment of any tax administered by the Illinois Department of Revenue, nor are the Disclosing Party or its Affiliated Entities delinquent in paying any fine, fee, tax or other charge owed to the City. This includes, but is not limited to, all water charges, sewer charges, license fees, parking tickets, property taxes or sales taxes.

F.2. If the Disclosing Party is the Applicant, the Disclosing Party and its Affiliated Entities will not use, nor permit their subcontractors to use, any facility on the U. S. E.P.A. on the federal Excluded Parties List System ("EPLS) maintained by the U.S. General Services Administration.

F.3. If the Disclosing Party is the Applicant, the Disclosing Party will obtain from any contractors/subcontractors hired or to be hired in connection with the Matter certifications equal in form and substance to those in F.1. and F.2. above and will not, without the prior written consent of the City, use any such contractor/subcontractor that does not provide such certifications or that the Disclosing Party has reason to believe has not provided or cannot provide truthful certifications.

NOTE: If the Disclosing Party cannot certify as to any of the items in F.1., F.2. or F.3. above, an explanatory statement must be attached to this EDS.

CERTIFICATION

Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS and Appendix A (if applicable) on behalf of the Disclosing Party, and (2) warrants that all certifications and statements contained in this EDS and Appendix A (if applicable) are true, accurate and complete as of the date furnished to the City.

Chicago Title and Trust Company #1006000323
(Print or type name of Disclosing Party)

By: [Signature]
(Sign here)

Greg Mruk
(Print or type name of person signing)

Beneficiary
(Print or type title of person signing)

By: [Signature]
(Sign here)

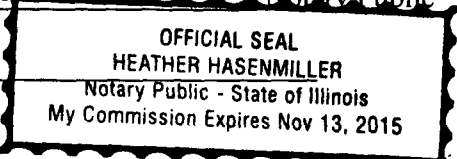
Barbara Mruk
(Print or type name of person signing)

Beneficiary
(Print or type title of person signing)

Signed and sworn to before me on (date) 6-15-12
at Cook County, Illinois

[Signature] Notary Public

Commission expires:



**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX A**

FAMILIAL RELATIONSHIPS WITH ELECTED CITY OFFICIALS AND DEPARTMENT HEADS

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5 percent. It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

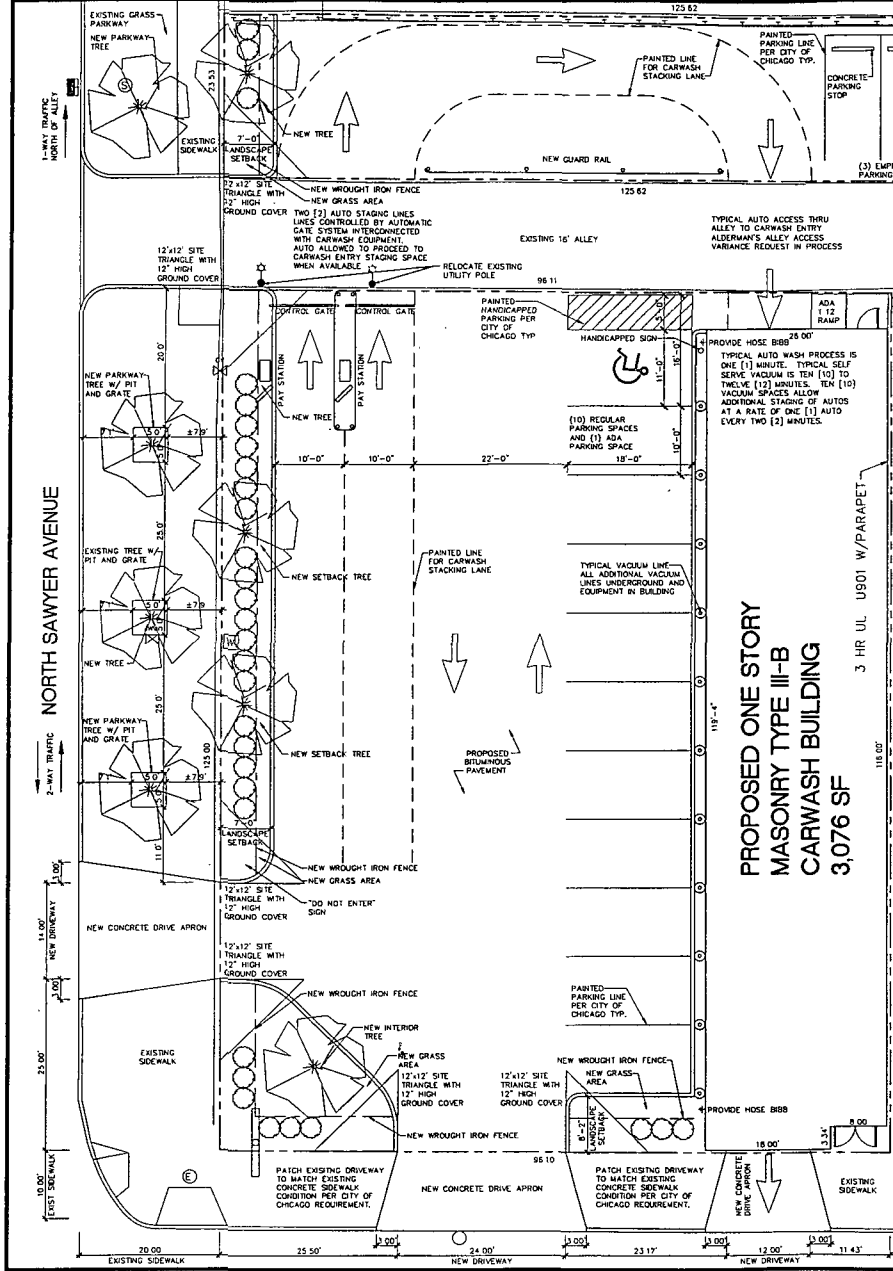
Under Municipal Code Section 2-154-015, the Disclosing Party must disclose whether such Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently has a "familial relationship" with any elected city official or department head. A "familial relationship" exists if, as of the date this EDS is signed, the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof is related, by blood or adoption, to the mayor, any alderman, the city clerk, the city treasurer, or any city department head as parent, child, brother or sister, aunt or uncle, niece or nephew, grandparent, grandchild, father-in-law, mother-in-law, son-in-law, daughter-in-law, stepfather or stepmother, stepson or stepdaughter, stepbrother or stepsister or half-brother or half-sister.

"Applicable Part" means (1) all corporate officers of the Disclosing Party, if the Disclosing Party is a corporation; all partners of the Disclosing party, if the Disclosing Party is a general partnership; all general partners and limited partners of the Disclosing Party, if the Disclosing Party is a limited partnership; all managers, managing members and member of the Disclosing Party, if the Disclosing Party is a limited liability company; (2) all principal officers of the Disclosing Party; and (3) any person having more than a 7.5 percent ownership interest in the Disclosing Party. "Principal officers" means the president, chief operating officer, executive director, chief financial officer, treasurer or secretary of a legal entity or any person exercising similar authority.

Does the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently have a "familial relationship" with an elected city official or department head?

[] Yes [X] No

If yes, please identify below (1) the name and title of such person, (2) the name of the legal entity to which such person is connected; (3) the name and title of the elected city official or department head to whom such person has a familial relationship, and (4) the precise nature of such familial relationship.



NORTH LOT V.I.A. CALCULATION

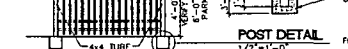
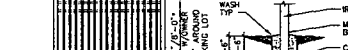
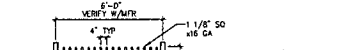
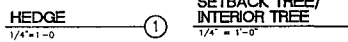
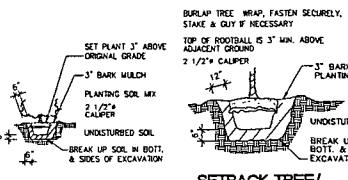
EXISTING LOT AREA	2,853 SQ. FT.
VEHICULAR MANEUVERING USE AREA	2,795 SQ. FT.
REQUIRED INTERIOR LANDSCAPE AREA	0 SQ. FT.

LANDSCAPE NOTES

LOCATION	NAME	DETAIL	CALIPER	QUANTITY
PARKWAY BUFFER ZONE/ INTERIOR HEDGES	JAPANESE BARBERRY (BERBERIS THUNBERGII)	1/1"	2 1/2"	3
STREET/PARKWAY TREE	HEDGE MAPLE	3/1"	2 1/2"	1
SETBACK TREE	SWAMP WHITE OAKS	2/1"	2 1/2"	1

PROVIDE HOSE BIBB 25' 00"

TYPICAL AUTO WASH PROCESS IS ONE (1) MINUTE. TYPICAL SELF SERVICE VACUUM IS TEN (10) TO TWELVE (12) MINUTES. TEN (10) VACUUM SPACES ALLOW ADDITIONAL STAGING OF AUTOS AT A RATE OF ONE (1) AUTO EVERY TWO (2) MINUTES.



SOUTH LOT V.I.A. CALCULATION

EXISTING LOT AREA	12,013 SQ. FT.
NEW BUILDING AREA	3,076 SQ. FT.
VEHICULAR MANEUVERING USE AREA	7,481 SQ. FT.
REQUIRED INTERIOR LANDSCAPE AREA (7.5%)	895 SQ. FT.
PROPOSED INTERIOR LANDSCAPE AREA	368 SQ. FT.
REQUIRED INTERIOR TREES (1/125 SF)	4 TREES
PROPOSED INTERIOR TREES	1 TREE

LANDSCAPE NOTES

LOCATION	NAME	DETAIL	CALIPER	QUANTITY
PARKWAY BUFFER ZONE/ INTERIOR HEDGES	JAPANESE BARBERRY (BERBERIS THUNBERGII)	1/1"	2 1/2"	27
INTERIOR LANDSCAPE	COLUMNAR SUGAR MAPLE	2/1"	2 1/2"	1
STREET/PARKWAY TREE	HEDGE MAPLE	3/1"	2 1/2"	3
SETBACK TREE	SWAMP WHITE OAKS	2/1"	2 1/2"	2

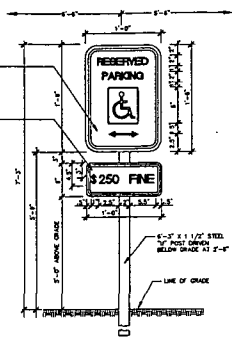
PROVIDE HOSE BIBB 8' 00"

PATCH EXISTING DRIVEWAY TO MATCH EXISTING CONCRETE SIDEWALK CONDITION PER CITY OF CHICAGO REQUIREMENT.

NEW CONCRETE DRIVE APRON

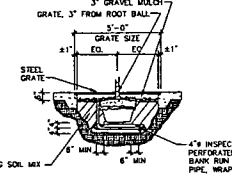
LANDSCAPE PLAN

SCALE: 1/8" = 1' - 0"



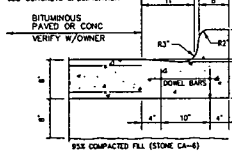
HANDICAPPED PARKING SIGN DETAIL

NOT TO SCALE



PARKWAY TREE

1/4" = 1' - 0"



CONCRETE CURB

1" = 1' - 0"

SWORN STATEMENTS

THE UNDERSIGNED ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANNING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 3000 WEST ROOSEVELT ROAD, CHICAGO, ILLINOIS 60618 HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE 'GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE'.

(ARCHITECT SIGNATURE)

THE UNDERSIGNED ACKNOWLEDGES THAT THE ATTACHED LANDSCAPE PLANNING PLAN SHOWN ON THIS DRAWING HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE 'GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE'.

(OWNER'S SIGNATURE)

NOTE: PLANTING PERIOD SHOULD BE JUNE 15, 2013.

EXISTING PARKWAY AND ON-SITE INTERIOR TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED.

(OWNER'S SIGNATURE)

PLAN NOTES

- ALL PROPOSED SHRUB BEDS AND TREE BEDS TO RECEIVE 3" THICK SHREDED HARDWOOD MULCH (PRE-WEALTH/GOODRICH/EVERETT 1" THICK)
- REPAIR ALL EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION (500)
- LIMIT OF 500 = PROPERTY LINE (UNLESS OTHERWISE NOTED).
- THE CONTRACTOR SHALL LOCATE THE EXISTENCE OF ALL UTILITIES PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING. PLANT MATERIAL QUANTITIES SHOWN ON THE PLAN TAKE PRECEDENCE TO THOSE OF THE PLANT LIST.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT. NO "PARK GRADE" MATERIAL SHALL BE ACCEPTED.
- ALL PLANT MATERIAL SHALL BEAM THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK SHALL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THOROUGHLY TO ENSURE ALL AIR POCKETS ARE REMOVED FROM THE ROOT ZONE. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOO UNTIL THE TIME OF PLANTING.
- IMPORTED TOPSOIL (PLANTING AREAS) AND SPREADING BY EXCAVATING CONTRACTOR.
- ALL PROPOSED TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 5" DIA. MULCH RING AT PLANT.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL END OF GUARANTEED PERIOD. IF STAKED TREES IS NOT PERFORMED, REMOVAL OF TOP 1/3 OF BURLAP AND ROPES IS UNNECESSARY (REMOVE ALL NON-Biodegradable MATERIAL).
- VERIFY SITE CONDITIONS AND INFORMATION ON DRAWINGS. PROMPTLY REPORT ANY DISCREPANCIES AND/OR DEVIATIONS FROM THE INFORMATION SHOWN ON THE PLAN. THE OWNER IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
- ALL PLANTING BED EDGES TO BE CULTIVATED.
- PLANTING AREAS TO BE FREE OF ALL DEBRIS TO A DEPTH OF 6" IN TURF AREAS, 24" IN SHRUB AREAS AND 36" IN TREE AREAS. REMOVE ALL DEBRIS AND INSTALL CLEAN TOPSOIL IN THESE AREAS (IF NECESSARY) - SEE NOTE 11.
- LOWEST BRANCHES OF PARKWAY TREES TO BE 7'-0" ABOVE ROOT BALL. HOSE BIBBS TO BE LOCATED EVERY ONE HUNDRED (100) FEET THROUGHOUT PERIMETER LANDSCAPE AREA.
- NOTE: PLANTING PERIOD SHOULD BE JUNE 15, 2010.

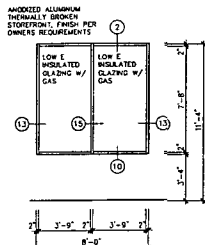
ISSUED FOR CONSTRUCTION	04-24-2012
ISSUED FOR PERMIT	04-24-2012
ISSUED FOR BIDS	04-19-2012
ISSUED FOR PRELIM:	04-19-2012

JOB # 1303
 RESULT EXISTING CAR WASH
 CLEAN WASHING CAR WASH
 3000 WEST ROOSEVELT ROAD
 CHICAGO, ILLINOIS 60618

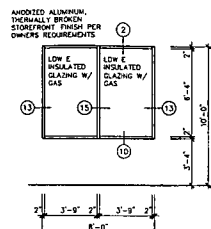
L11

arsa associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1411 WEST PULASKI AVENUE, SUITE 300
 PEARL STREET BUILDING, ROOM 300
 CHICAGO, ILLINOIS 60618
 TEL: 847-638-4438 FAX: 847-638-8859

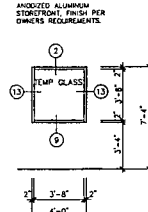
ALAN R. SCHNEIDER ARCHITECTS P.C. 2012



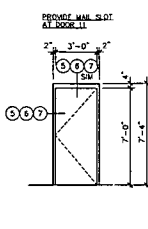
SF-1
1/4"=1'-0" ①



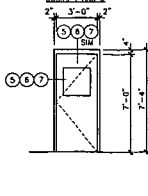
SF-2
1/4"=1'-0" ②



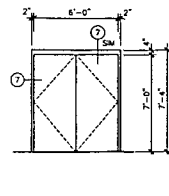
W-1
1/4"=1'-0" ③



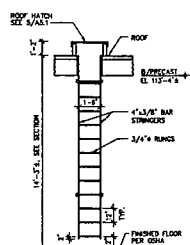
DOORS
7,8,9,10+11
1/4"=1'-0" ④



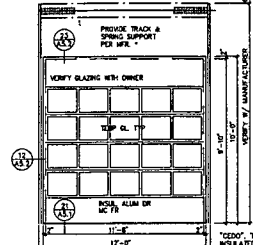
DOORS 4 + 6
1/4"=1'-0" ⑤



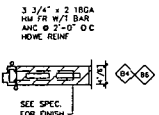
DOORS 3 + 5
1/4"=1'-0" ⑥



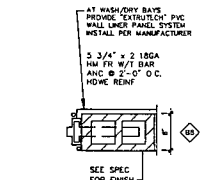
LADDER
1/4"=1'-0" ⑦



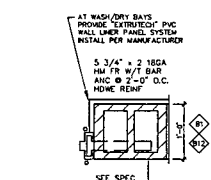
OH DOORS 1 AND 2
1/4"=1'-0" ⑧



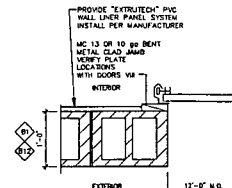
H.M. FRAME
4/6" CMU
1"=1'-0" ⑨



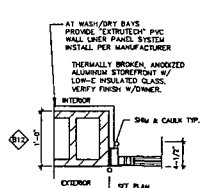
H.M. FRAME
8" CMU
1"=1'-0" ⑩



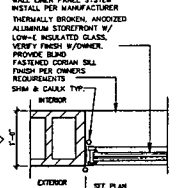
H.M. FRAME
12" CMU
1"=1'-0" ⑪



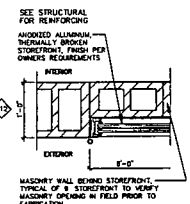
O.H. DOOR
1"=1'-0" ⑫



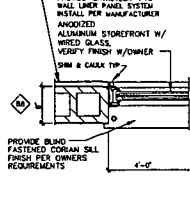
STOREFRONT
ENTRY DOOR
1"=1'-0" ⑬



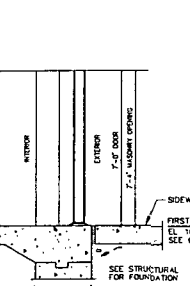
ALUM. WINDOW
STOREFRONT
1"=1'-0" ⑭



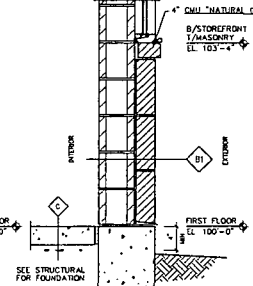
ALUM. WINDOW/
MASONRY WALL
1"=1'-0" ⑮



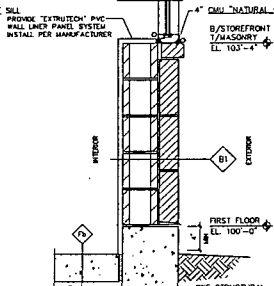
ALUM. WINDOW
1"=1'-0" ⑯



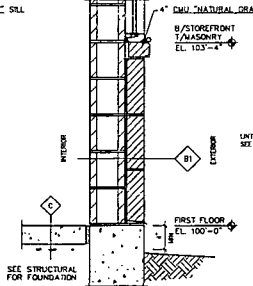
ENTRY DOOR
1"=1'-0" ⑰



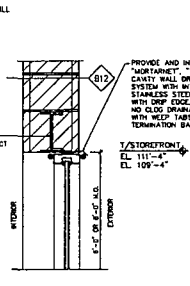
STOREFRONT
1"=1'-0" ⑱



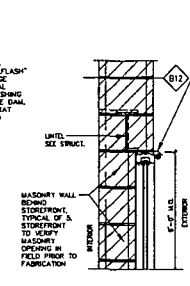
STOREFRONT
1"=1'-0" ⑲



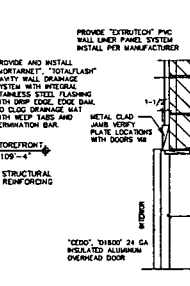
STOREFRONT
1"=1'-0" ⑳



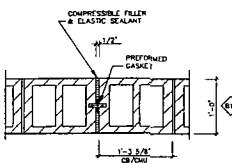
STOREFRONT
1"=1'-0" ㉑



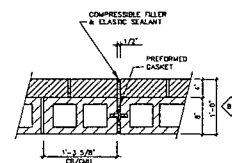
STOREFRONT
1"=1'-0" ㉒



O.H. DOOR
1"=1'-0" ㉓



CONTROL JOINT
1"=1'-0" ㉔



CONTROL JOINT
1"=1'-0" ㉕

JOINTS

- ETHAFON J. FILLER AND SEALANT BY CONC. BA
- CALK & MASON'S ROPE BY MASONRY IV
- CALK BY CARPENTER II

ISSUED FOR CONSTRUCTION: 04-24-2012
 ISSUED FOR BID: 04-24-2012
 ISSUED FOR PRELIM.: 04-19-2012

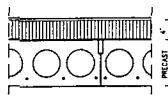
JULY 1903
 REPAIR EXISTING CAR WASH
 CLEAN MACHINE CAR WASH
 3218 WEST GIVING PARK ROAD
 CHICAGO, ILLINOIS 60618

A5.2

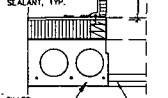
arsa associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1111 WEST PETERSON AVENUE, SUITE 200
 PINE RIDGE BLVD #2000
 TEL: 847-638-4428 FAX: 847-638-8889

© ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

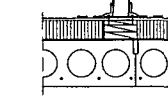
EPDM MEMBRANE
4" RIGID POLYISOCYANURATE INSULATION
PROVIDE TAPER W/ POSITIVE
SLOPE TO DRAIN
8" HOLLOWCORE
(KERF CHAMFER)



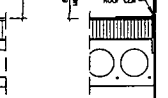
PROVIDE CUP PER
W/ 8" ATTACHMENT
TO NAILED, TYP.



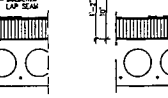
NAILER PROVIDED BY MECH
INSTALLED BY ROOFER. STRIP-IN
WITH EPDM MEMB FLASHING AND
BONDING ADHESIVE.
SEE STRUCTURAL.



TYP. ROOF SEE 1/A4.1
SET COLLAR IN WATER CUT-OFF
MASTIC AND SECURE WITH SS CLAMP



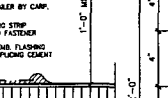
4" LEAD SHIRT, UNLS. CAP
STRIP-IN STACK COLLAR
SET IN SPACING
CEMENT BY ROOFER



SEE SPECIFICATION FOR ROOF HATCH
WITH INSUL., FLASHING COLLAR
PROVIDED AND INSTALLED BY
ROOFER. STRIP-IN W/ EPDM MEMB
< SEE STRUCTURAL
LADDER SEE 8/A4.1



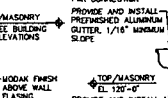
ALTERNATE COUNTER FLASHING



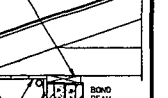
CUSTOM BENT PLATE
22 GA COPING CEDAR CANT
AND 2"x12" TREATED HAULER
3/4" x ANC. @ 4'-0"
WRAP 15# FELT OVER
NAILER AND SECURE.



PROVIDE AND INSTALL PRE-ENGINEERED,
PRE-MANUFACTURED STEEL ROOF
TRUSSES BY CERTIFIED BY OTHERS,
5/8" APA FIRE RETARDANT RATED
SECTIONS, 15# ROOFING PAPER AND
STANDING SEAM METAL ROOFING, COLOR
TO BE SELECTED BY OWNER.



PROVIDE AND INSTALL TREATED
2"x8" NAILER, SEE STRUCTURAL
PROVIDE AND INSTALL
PRE-FINISHED ALUMINUM
GUTTER, 1/16" MINIMUM
SLOPE.



TYP ROOF
CARWASH 1
1"=1'-0"

CURB 2
1"=1'-0"

RAIL 3
1"=1'-0"

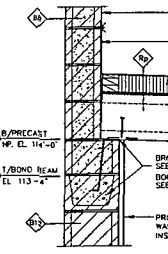
STACK 4
1"=1'-0"

ROOF HATCH 5
1"=1'-0"

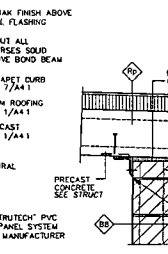
PARAPET CURB 6
3"=1'-0"

COPING 7
3"=1'-0"

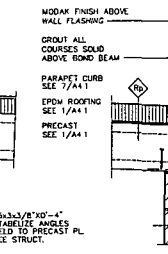
ROOF/SOFFT 8
1"=1'-0"



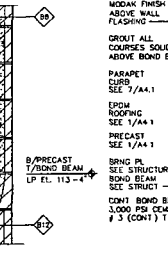
WEST WALL
PARAPET 9
1"=1'-0"



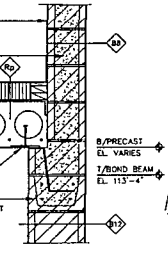
PARTITION 10
1"=1'-0"



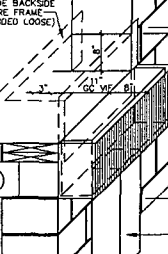
EAST WALL
PARAPET 11
1"=1'-0"



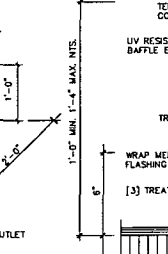
SECTION 12
1"=1'-0"



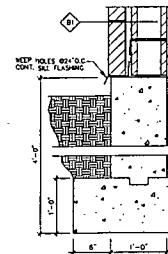
SCUPPER 13
NTS



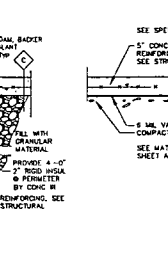
EXP. JOINT 14
3"=1'-0"



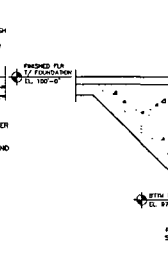
ROOF/WALL 15
1"=1'-0"



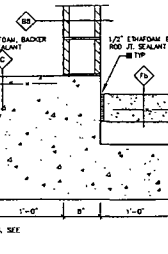
FOUNDATION 16
1"=1'-0"



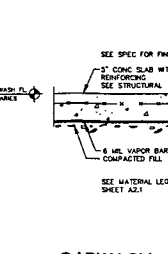
TYP FLR SLAB 17
1"=1'-0"



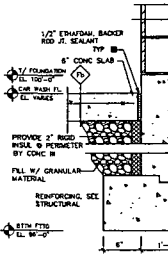
FOUNDATION 18
1"=1'-0"



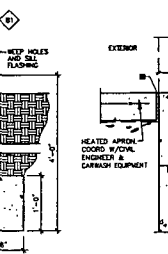
CARWASH
FLOOR SLAB 19
1"=1'-0"



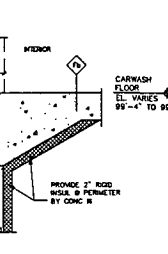
FOUNDATION 20
1"=1'-0"



O.H. DOOR 21
1"=1'-0"



FOUNDATION 22
1"=1'-0"



FOUNDATION 23
1"=1'-0"

JOINTS

- EMBEDMENT JOINT FILLER AND SEALANT BY CONC. BA
- CAULK & MASON'S ROPE BY MASONRY
- CAULK BY CARPENTER

ISSUED FOR CONSTRUCTION: 04-24-2012
ISSUED FOR PERMIT: 04-24-2012
ISSUED FOR BID: 04-24-2012
ISSUED FOR PRELIM: 04-18-2012

JOB# 1203
REBUILD EXISTING CAR WASH
CLEAN MACHINE, CAR WASH
3010 WEST BRONC PASE ROAD
CHICAGO, ILLINOIS 60618

A5.1

arsa associates

ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PULASKI AVENUE, SUITE 201
PAPER ENGINEERING
TEL: 877-636-4438 FAX: 877-636-8839

© ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

GLAZING NOTE: PROVIDE TEMPERED GLAZING AT ALL STOREFRONT DOORS AND WINDOWS AND AT ALL GLAZING UNITS IN EXCESS OF NINE (9) SQUARE FEET. GLAZING WITH BOTTOM EDGE LESS THAN EIGHTEEN INCHES (18") ABOVE FINISHED FLOOR. GLAZING WITH TOP EDGE GREATER THAN 36" ABOVE FINISHED FLOOR AND GLAZING WITHIN 36" OF WALKING SURFACES.

"RED" PREFINISHED METAL CORNING, COLOR PER OWNERS REQUIREMENTS
 1/PARAPET
 EL. 118'-2"
 "BLUE" 8"x16"x8" CMU PER OWNERS REQUIREMENTS
 "BLUE" 8"x16"x12" CMU PER OWNERS REQUIREMENTS
 1/STOREFRONT
 EL. 110'-0"
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 BTM/STOREFRONT
 EL. 103'-4"
 FINISHED FLOOR @ MECHANICAL RM
 EL. 100'-0"
 GRADE/CARWASH ENTRY
 EL. 99'-8 1/2"

WEST ELEVATION
 SCALE: 1/4" = 1'-0"

"RED" STANDING SEAM METAL ROOFING, COLOR PER OWNERS REQUIREMENTS
 "RED" PREFINISHED GUTTER AND DOWNSPOUTS

1/ROOF
 EL. 128'-0"
 "RED" STANDING SEAM METAL ROOFING, COLOR PER OWNERS REQUIREMENTS
 1/MASONRY SOFFIT
 EL. 120'-0"
 1/PARAPET AT FIRE WALL
 EL. 118'-2"
 "BLUE" 8"x16"x8" CMU PER OWNERS REQUIREMENTS
 "BLUE" 8"x16"x12" CMU PER OWNERS REQUIREMENTS
 1/STOREFRONT
 EL. 110'-0"
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 BTM/STOREFRONT
 EL. 103'-4"
 FINISHED FLOOR @ MECHANICAL RM
 EL. 100'-0"
 GRADE/CARWASH ENTRY
 EL. 99'-8 1/2"

EAST ELEVATION
 SCALE: 1/4" = 1'-0"

1/ROOF
 EL. 128'-0"
 "RED" STANDING SEAM METAL ROOFING, COLOR PER OWNERS REQUIREMENTS
 1/MASONRY SOFFIT
 EL. 120'-0"
 1/PARAPET AT FIRE WALL
 EL. 118'-2"
 "BLUE" 8"x16"x8" CMU PER OWNERS REQUIREMENTS
 "BLUE" 8"x16"x12" CMU PER OWNERS REQUIREMENTS
 SECTIONAL INSULATED OVERHEAD DOOR, COLOR PER OWNERS REQUIREMENTS
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 FINISHED FLOOR @ MECHANICAL RM
 EL. 100'-0"
 GRADE/CARWASH ENTRY
 EL. 99'-8 1/2"

SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

"RED" PREFINISHED METAL CORNING, COLOR PER OWNERS REQUIREMENTS
 1/PARAPET
 EL. 118'-2"

"BLUE" 8"x16"x12" CMU PER OWNERS REQUIREMENTS
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 BTM/STOREFRONT
 EL. 103'-4"
 FINISHED FLOOR @ MECHANICAL RM
 EL. 100'-0"
 GRADE/CARWASH ENTRY
 EL. 99'-8 1/2"

NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

"RED" PREFINISHED METAL CORNING, COLOR PER OWNERS REQUIREMENTS
 1/PARAPET
 EL. 118'-2"

"BLUE" 8"x16"x12" CMU PER OWNERS REQUIREMENTS
 "NATURAL GRAY" 12"x24"x4" CMU PER OWNERS REQUIREMENTS
 BTM/STOREFRONT
 EL. 103'-4"
 FINISHED FLOOR @ MECHANICAL RM
 EL. 100'-0"
 GRADE/CARWASH ENTRY
 EL. 99'-8 1/2"

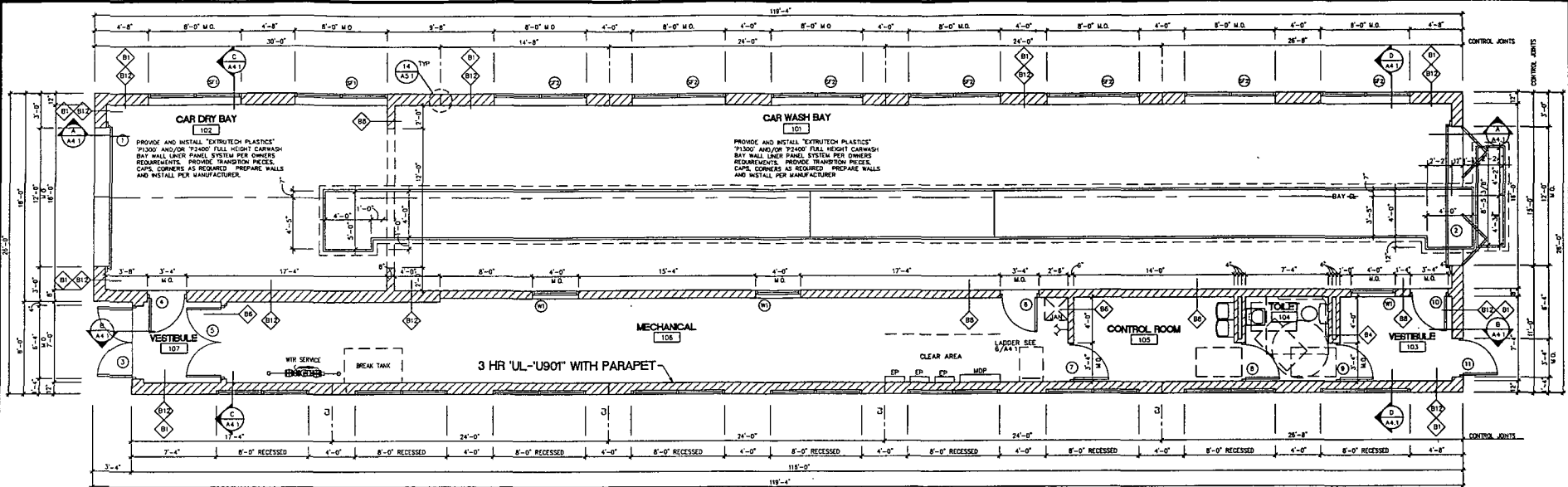
SECTIONAL INSULATED OVERHEAD DOOR, COLOR PER OWNERS REQUIREMENTS

ISSUED FOR CONSTRUCTION: 04-24-2012
 ISSUED FOR PERMIT: 04-24-2012
 ISSUED FOR BID: 04-24-2012
 ISSUED FOR PRELIM: 04-19-2012

JOB# 1013
 REBUILD EXISTING CAR WASH
 CLEAN MACHINE CAR WASH
 3014 WEST BRING PARK ROAD
 CHICAGO, ILLINOIS 60618

ARSA associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1414 WEST PETERSON AVENUE, SUITE 200
 PALEYS BLVD, ELSTON
 CHICAGO, ILLINOIS 60642
 TEL: 847-638-4438 FAX: 847-638-8889
 © ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

A3.1



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: GENERAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR SHALL PROVIDE AT LEAST TWO (2) PORTABLE FIRE EXTINGUISHERS, ONE IN THE CONTROL ROOM AND ONE IN THE EQUIPMENT ROOM PER LOCAL FIRE OFFICIALS REQUIREMENTS.

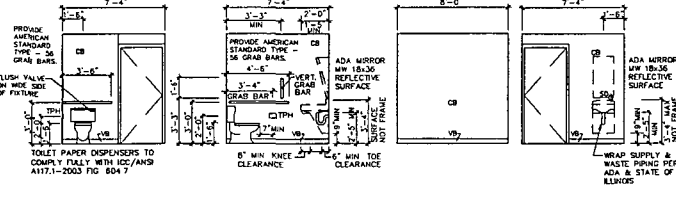
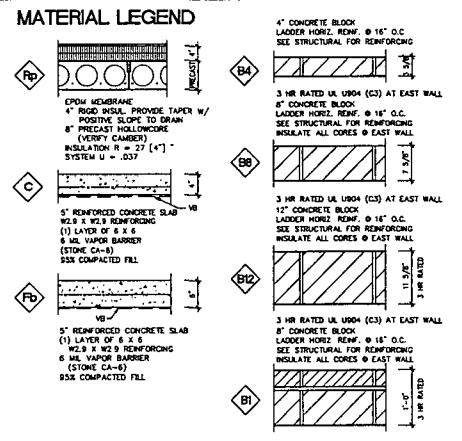
NOTE: GENERAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR SHALL PROVIDE KEY BOX PER LOCAL FIRE OFFICIALS REQUIREMENTS.

ROOM FINISH SCHEDULE											
NO	ROOM	FLOOR	MATERIAL	FINISH	WALLS				GLASS	MT	REMARKS
					NORTH	EAST	SOUTH	WEST			
101	CAR WASH BAY	CONC.	SEALED	-	MAS/P	MAS/P	MAS/P	MAS/P	STRUCT.	VARIABLES	EXTRUDED PLASTICS
102	CAR DRY BAY	CONC.	SEALED	-	MAS/P	MAS/P	MAS/P	MAS/P	STRUCT.	VARIABLES	EXTRUDED PLASTICS
103	VESTIBULE	CONC.	TILE	TILE	MAS/P	MAS/P	MAS/P	MAS/P	ACT	8'-0"	
104	TOILET	CONC.	TILE	TILE	MAS/P	MAS/P	MAS/P	MAS/P	ACT	8'-0"	
105	CONTROL ROOM	CONC.	TILE	TILE	MAS/P	MAS/P	MAS/P	MAS/P	ACT	8'-0"	
106	MECHANICAL RM.	CONC.	SEALED	-	MAS/P	MAS/P	MAS/P	MAS/P	STRUCT.	VARIABLES	
107	VESTIBULE	CONC.	SEALED	-	MAS/P	MAS/P	MAS/P	MAS/P	STRUCT.	VARIABLES	

DOORS + FRAMES											
NO	LOCATION	DIMENSIONS	DOOR	FRAME	DETAILS		LIMIT	REMARKS			
					FINISH	HEAD					
1	102 EXT	12'-0" x 10'-0"	ALUM/ML	MC	MC	S/A31	2/A31	-	SEE STRUCT.		
2	101 EXT	12'-0" x 10'-0"	ALUM/ML	MC	MC	S/A31	2/A31	-	SEE STRUCT.		
3	107 EXT	PRE-3'-0" x 7'-0"	HM	P	HM	S/A31	S/A31 SM	E3	SEE STRUCT.		
4	102	107	3'-0" x 7'-0"	EP	EP	S/A31	S/A31 SM	C	SEE STRUCT.		
5	106	107	PRE-3'-0" x 7'-0"	HM	P	HM	S/A31	S/A31 SM	A2	SEE STRUCT.	
6	101	106	3'-0" x 7'-0"	EP	EP	S/A31	S/A31 SM	C	SEE STRUCT.		
7	106	105	3'-0" x 7'-0"	HM	P	HM	S/A31	S/A31 SM	A1	SEE STRUCT.	
8	105	104	3'-0" x 7'-0"	HM	P	HM	S/A31	S/A31 SM	B	SEE STRUCT.	
9	104	103	3'-0" x 7'-0"	HM	P	HM	S/A31	S/A31 SM	B	SEE STRUCT.	
10	101	103	3'-0" x 7'-0"	EP	EP	S/A31	S/A31 SM	C	SEE STRUCT.		
11	103	EXT	3'-0" x 7'-0"	HM	P	HM	S/A31	S/A31 SM	E1	SEE STRUCT.	

NOTE: GENERAL CONTRACTOR SHALL COORDINATE WITH SUB CONTRACTOR AND PROVIDER THAT ALL DOOR HARDWARE CAN BE OPERATED BY A SINGLE HAND WITH OUT MEANS OF TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST. SEE SPECS FOR HARDWARE TYPE.

HARDWARE SCHEDULE	
A1.	1.5 PR. DB BUTTS, PASSAGE SET W/ KNURLED LEVER HANDLE, CLOSER, STOP, NOPLATES, SON
A2.	3 PR. BB BUTTS, PASSAGE SET W/ KNURLED LEVER HANDLE, CLOSER, STOPS, NOPLATES, SON
B.	1.5 PR. BB BUTTS, PRIVACY SET, CLOSER, STOP, SIGN, NOPLATES, SON
C.	1.5 PR. HRP BUTTS, EXT DEVICE W/ PASSAGE LOCKSET, CLOSER, STOPS, WEATHERSTRIP AND THRESHOLD
E1.	1.5 PR. HRP BUTTS, EXT DEVICE W/ HORISE LOCKSET, CLOSER, STOPS, WEATHERSTRIP AND THRESHOLD
E2.	3 PR. HRP BUTTS, EXT DEVICE W/ HORISE LOCKSET, ASTRIAGAL, CLOSER, STOPS, WEATHERSTRIP AND THRESHOLD



HANDICAPPED TOILET ROOM A104 ELEVATION
SCALE: 1/4" = 1'-0" (PER ANSI A117.1)

CITY OF CHICAGO CODE REQUIREMENTS

1. ALL EXITS SHALL BE RECESS IN DIRECTION OF TRAVEL
2. INTERIOR FINISHES SHALL BE CLASS II FLAME SPREAD SHALL BE LESS THAN 75
3. ALL LINTELS SHALL BE ENCASED IN MASONRY
4. THIS FACILITY WILL COMPLY TO ALL ACCESSIBILITY REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE 400 310 NEW CONSTRUCTION
5. THIS FACILITY WILL COMPLY TO ALL ACCESSIBILITY REQUIREMENTS OF ADAAG 4.1.3 NEW CONSTRUCTION

ISSUED FOR CONSTRUCTION: 04-24-2012
 ISSUED FOR PERMIT: 04-24-2012
 ISSUED FOR BID: 04-19-2012

JOB# 1203
 NEW/LOU EXISTING CAR WASH CLEAN MACHINE, CAR WASH 3216 WEST BRIND PARK ROAD CHICAGO, ILLINOIS 60618

A21

arsa associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1411 WEST PETERSON AVENUE, SUITE 500
 PEARL RIVER, ILLINOIS 60088
 TEL: 815-438-4438 FAX: 815-438-9883
 © ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

**ENERGY STATEMENT
SELF-SERVICE AND AUTOMATIC CARWASH**

101 COMPLIANCE

18-13-101.4b
EXEMPTION - CARWASH
The space is used for self-service, mechanical and automated car wash.

18-13-101.4.2.8
COMMERCIAL BUILDING APPLICABILITY

411
NEW BUILDING
New buildings shall comply with Sections 7 or 8.

301 THERMAL DESIGN PARAMETERS

18-13-301.1
EXTERIOR DESIGN CONDITIONS

The following design criteria shall be used:
 Winter, Design Dry-bulb -10 deg. F
 Summer, Design Dry-bulb 92 deg. F
 Summer, Design Wet-bulb 74 deg. F
 Degree days heating 8151 HDD
 Degree days cooling 1015 HDD

303 URBAN HEAT ISLANDS

18-13-303.1
ROOF REFLECTANCE
Gray Ballasted EPDM Concrete, Freeston, Cemilmark, Genflex Reqd=0.25, actual=0.34

304 MATERIALS, SYSTEMS AND EQUIPMENT

All insulation materials, caulking and weatherstripping, fenestration assemblies, mechanical equipment and system components, water heating equipment and system components, and lighting fixtures shall be installed in accordance with the manufacturer's installation instructions as well as the documentation requirements of the code.

Signed and dated certifications by the installers shall be provided for: "R" value of wall, roof, sub-floor and perimeter insulation, "U" factor = "SHGC" coefficient and or leakage for fenestration; "R" value of duct insulation; efficiency of boilers + unit heaters, EER of HVAC units, lighting fixture's ASTM E283 compliance, water heater energy efficiency. Certifications must be provided to the Architect prior to final payments.

18-13-304.52(2)
EXTERIOR NON-GLAZED DOOR

1/2" door & frame	Deep Insulated 501 Frame	System Uj Value
Insulated Overhead Door	Overhead Door 426 w/41/19mc	Reqd=0.35, actual door= 07 Reqd=0.35, actual door= 14

802 BUILDING ENVELOPE REQUIREMENTS

FOR BUILDINGS WITH LESS THAN 50% GLAZED AREA OF WALLS FENESTRATION [384]/WALL [3800]-10X

802.12
MOISTURE CONTROL

Vapor retarder shall have a maximum perm rating of 1.0. Cooler and freezer vapor barriers are reversed and shall be installed for appropriate design criteria.

802.2(1)
WINDOW AND GLAZED DOOR AREA 10X - 25% OF ABOVE GRADE WALL AREA

Perimeter insulation 4" rigid Insul	Reqd. R = 8, actual = 13
Concrete roof w/ 4" Iso Insul	Reqd R = 19, actual = 27
Masonry D Carwash	Reqd R = 0; non occupied, 0.24(U) x 50x(TD) = 12 btuh per E.C.

18-13-802.3.2
SEALING OF BUILDING ENVELOPE

Seams, openings and penetrations in the building envelope shall be sealed with caulking materials or closed with gasketing systems compatible with construction materials and locations.

18-13-802.3.3
DAMPERS

Dampers shall be equipped with motorized dampers with a minimum leakage rate of 3 cfm/46 ft. at 1-0 in. g.

803 BUILDING MECHANICAL SYSTEMS

18-13-803.2.2(4)
GAS WARM AIR FURNACES AND UNIT HEATERS

>225MBH Furnace	Reqd AFUE = 80%, actual E = 80%
Unit Heater	Reqd AFUE = 80%, actual E = 80%

18-13-803.2.11
EQUIPMENT SIZING

The design professional shall endeavor to design the systems as close to the design load calculations as practical.

803.3.4.1
TEMPERATURE RESET FOR AIR SYSTEMS

Economizers when required shall have controls capable of being reset by at least 25% of the design supply air to room or temperature difference.

803.3.7
PIPING INSULATION

Hot Water <1.5" = 1.0" Insul, >1.5" = 2.0" Insul
Liquid lines for process/storage facility refrigeration shall not be insulated.

18-13-803.3.8.1
AIR SYSTEM BALANCING

See HVAC Spec., Sheet A6.1

18-13-803.8.3
MANUALS AND OPERATION INSTRUCTION

See Specification - General Conditions Sheet A6.

804 SERVICE WATER HEATING

18-13-804.2
WATER HEATER PERFORMANCE

4.5 kw Electric Water Heater <12KW, reqd. energy factor > 0.93-00132V, actual factor unit complies w/ASHRAE, IEC per manufacturer

18-13-804.3
HWH TEMPERATURE CONTROLS

Water heater shall be provided with a low limiting public restroom and handout water temperature to 110 °F per Bimac Plumbing Code.

18-13-804.4
HWH HEAT TRAPS

HWH shall be installed with heat traps on supply and discharge piping.

18-13-804.5
HWH PIPE INSULATION

Return system piping shall be insulated with minimum of 1" insulation. In non-circulating systems provide a minimum 1/2" of insulation within eight foot of the heater.

18-13-804.6
HWH CONTROLS

If heater is electrically activated, a time clock capable of turning off system during inactive hours shall be provided.

805 LIGHTING SYSTEM

18-13-805.2
INTERIOR LIGHTING CONTROLS

Each space shall be equipped with a switch for that space. Each area smaller than 250 sq ft. shall be equipped with a dimmer or alternate switching.

18-13-805.2.2
EXTERIOR LIGHTING CONTROLS

Photo cells shall be provided for exterior lighting.

18-13-805.3
TANDEM WIRING

Three lamp fluorescent fixtures shall be tandem wired when in continuous rows.

18-13-805.4.2.2
PORTION OF BUILDING METHOD

Car Wash = Mechanical Exempt

806 TOTAL BUILDING PERFORMANCE

18-13-806.4
STANDARD DESIGN

The actual performance of components listed above meet the energy requirements for a standard design.

ITEMS NOT REQUIRED

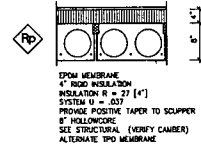
The following Sections do not apply to this project:
 18-13-802.2.6 Floors over unconditioned space, 18-13-802.2.8 Below grade walls, 18-13-803.2.5 Hydronic system controls, 18-13-803.3 Complex HVAC systems (except as noted above), 18-13-804 Service Water Heating

CITY OF CHICAGO ENERGY CONSERVATION CODE

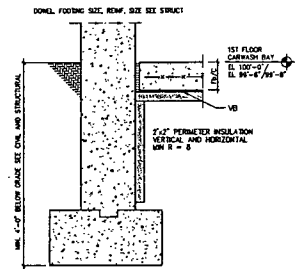
PRESCRIPTIVE PACKAGE
 GROSS FLOOR EXTERIOR ENVELOPE 4,074 SQ. FT.
 GLAZING AREA [ROUGH OPENING] 563 SQ. FT.
 GLAZING AREA % 13.82%

PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS
 GLAZING U-FACTOR 0.35
 ROOF MINIMUM R-VALUE R=20
 EXTERIOR WALL MINIMUM R-VALUE R=5
 SLAB MINIMUM R-VALUE R=12

GAS FIRED FORCED AIR FURNACE 78% AFUE
 ELECTRIC AIR COOLED AIR CONDITIONING 10.3 EER
 ELECTRIC WATER HEATER



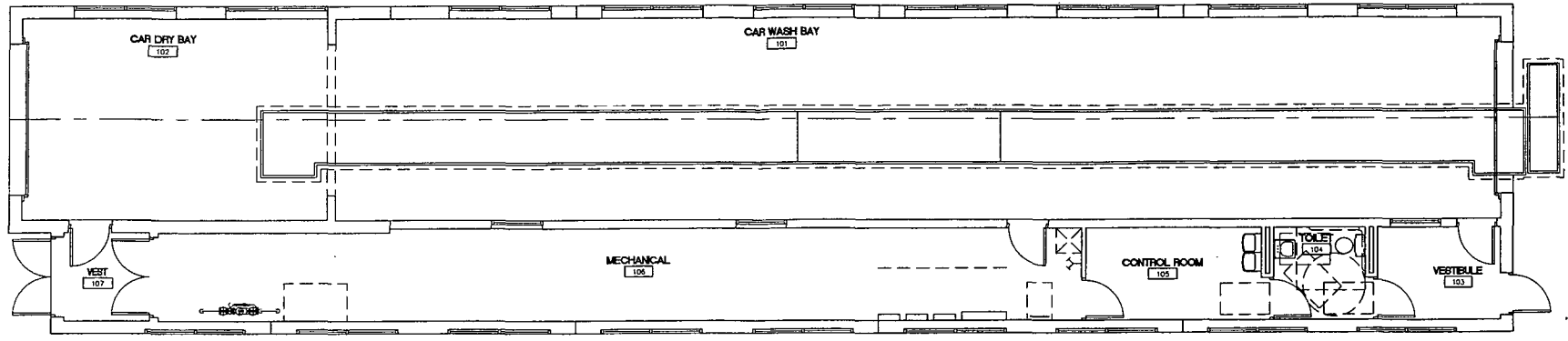
TYP. HOLLOWCORE ROOF
NOT TO SCALE



TYP. FOOTING
NOT TO SCALE

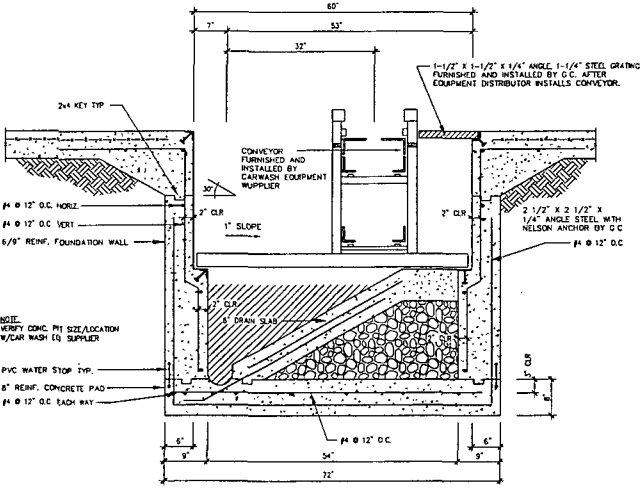
ISSUED FOR CONSTRUCTION:	04-24-2012
ISSUED FOR PERMIT:	04-24-2012
ISSUED FOR BID:	04-24-2012
ISSUED FOR PRELIM.:	04-18-2012
JOB # 1203	A12
REBUILD EXISTING CAR WASH CLEAN ALLEGHEE CAR WASH 3318 WEST BRING PARK ROAD CHICAGO, ILLINOIS 60618	

arsa associates
 ALAN R. SCHNEIDER ARCHITECTS P.C.
 1411 WEST PULASKI AVENUE, SUITE 200
 CHICAGO, ILLINOIS 60607
 TEL. 847-438-4458 FAX 847-438-2889
 © ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

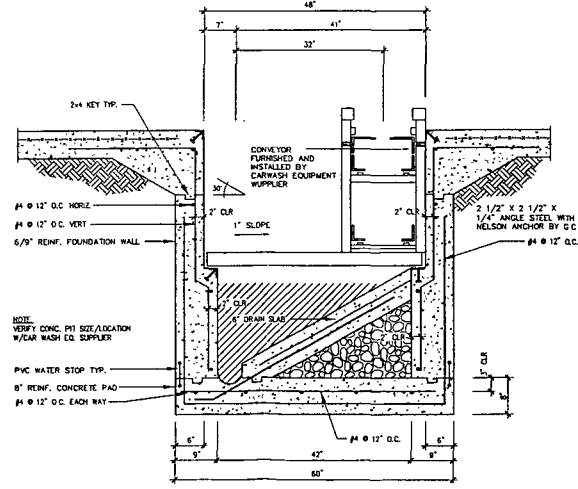


THIS PLAN HAS BEEN PROVIDED FOR REFERENCE ONLY. SEE CONSTRUCTION DOCUMENTS PROVIDED BY CARWASH EQUIPMENT SUPPLIER FOR ALL INFORMATION REGARDING SPECIFICATIONS, INSTALLATION, ETC. OF CARWASH EQUIPMENT

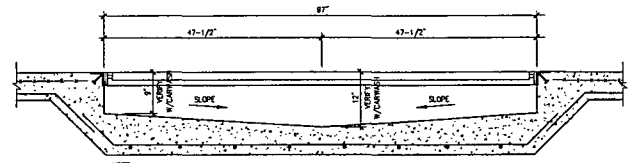
EQUIPMENT FLOOR PLAN
SCALE 1/4" = 1'-0"



DIAGRAMMATIC ENTRANCE/EXIT CONVEYOR TRENCH SECTION
SCALE 1" = 1'-0"



DIAGRAMMATIC CENTER CONVEYOR TRENCH SECTION
SCALE 1" = 1'-0"



DIAGRAMMATIC INGROUND CORRELATOR CONCRETE PIT SECTION
SCALE 1" = 1'-0"

ISSUED FOR CONSTRUCTION: 04-24-2012
ISSUED FOR PERMIT: 04-24-2012
ISSUED FOR BID: 04-24-2012
ISSUED FOR PRELIM: 04-18-2012

JOB# 1203
REBUILD EXISTING CAR WASH
CLEAR MAINTENANCE CAR WASH
3218 WEST IRVING PARK ROAD
CHICAGO, ILLINOIS 60618

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
141 WEST PETERSON AVENUE, SUITE 200
PARK RIDGE, ILLINOIS 60068
TEL: 847-268-4438 FAX: 847-268-3889
© ALAN R. SCHNEIDER ARCHITECTS P.C. 2012

F1.1

5812 W. HIGGINS AVENUE
CHICAGO, ILLINOIS 60630



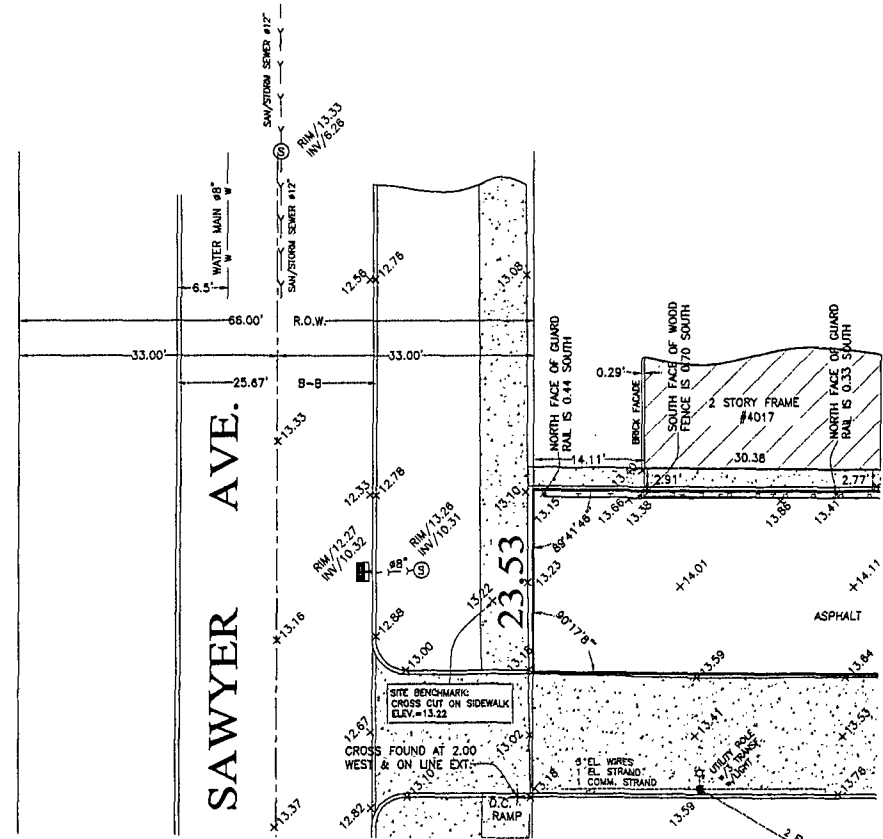
MM SURVEY

PROFESSIONAL DESIGN

TOPOGRAPH

LOT 23 IN BLOCK 4 IN BOLDENWEEC
THE EAST 1/2 OF THE SOUTHEAST 1/4 C
OF THE THIRD PRINCIPAL MERIDIAN,

COMMONLY KNOWN AS: 4015 N. SAWYER
TOTAL LAND AREA = 2,953 sq.ft.



ING CO., INC.

FIRM No. 184-003233

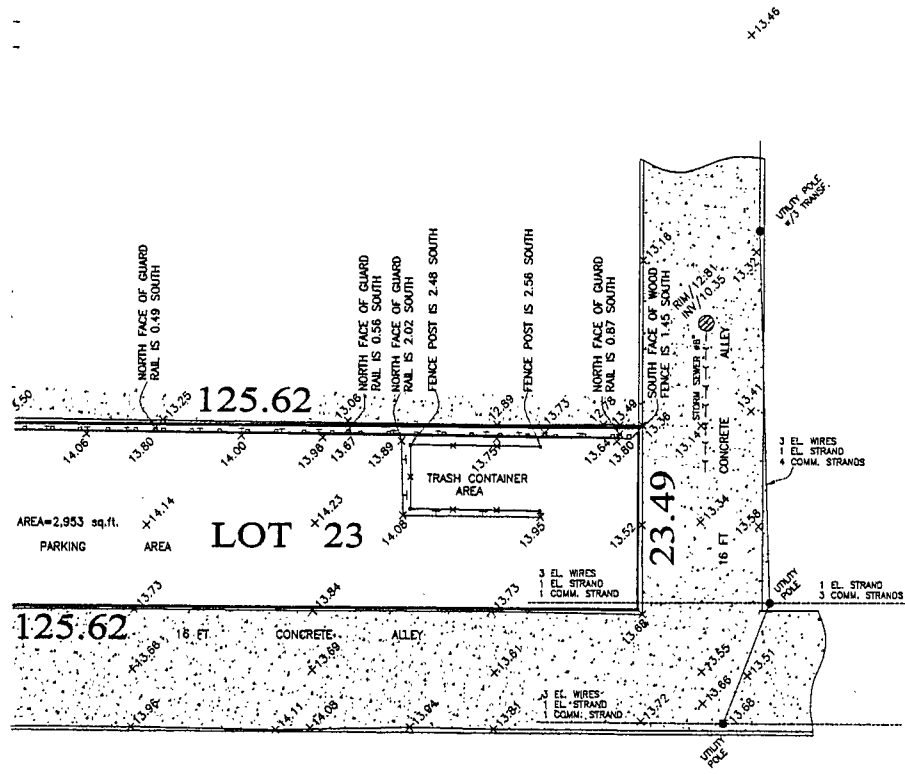
ICAL SURVEY

F

PHONE: (773) 282-5900
FAX: (773) 282-9424

'S ADDITION TO GRANT PARK, A SUBDIVISION OF
F SECTION 14, TOWNSHIP 40 NORTH, RANGE 13, EAST
IN COOK COUNTY, ILLINOIS.

YER AVE., CHICAGO, ILLINOIS



PARK RD.



G E N D :

- | | | | |
|------------|-------------------------|-----|-----------------------------|
| - - - - - | - SANITARY LINE | ⊙ | - SEWER MANHOLE |
| - - - - - | - STORM LINE | ⊗ | - CATCH BASIN |
| # - - - - | - WATER LINE | ⊕ | - WATER MANHOLE |
| AS - - - - | - GAS LINE | ⊙ | - COMM. MANHOLE |
| ▭ | - CONCRETE PAVEMENT | ⊙ | - GAS MANHOLE |
| ▭ | - CHAIN LINK FENCE | E ⊕ | - ELECTRIC MANHOLE |
| ▭ | - IRON FENCE | ⊕ | - INLET |
| ▭ | - WOOD FENCE | ⊕ | - FIRE HYDRANT |
| - | - BACK OF CURB | ⊕ | - GAS VALVE |
| - | - RIGHT OF WAY | ⊕ | - WATER VALVE |
| - | - ELECTRIC PAINT MARK | ⊕ | - CONTROL VALVE |
| - | - WATER PAINT MARK | ⊕ | - CENTER LINE |
| - | - GAS PAINT MARK | ⊕ | - DECIDUOUS TREE w/DIA. |
| - | - COMM. PAINT MARK | ⊕ | - EVERGREEN TREE w/DIA. |
| - | - PARKING STALL COUNT | ⊕ | - CENTER LINE |
| - | - FOUNDATION | ⊕ | - STREET SIGN |
| - | - DOWN SPOUT | ⊕ | - LIGHT POST/WALL LIGHT |
| - | - DEPRESSED CURB | ⊕ | - POWER POLE W/WIRES |
| ND | - TOP OF FOUNDATIO | ⊕ | - COMMUNICATION |
| :FLR | - TOP OF FINISHED FLOOR | ⊕ | (TELEPHONE, INTERNET, ETC.) |

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.

LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH DEED AND/OR TITLE POLICY.

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

NO CORNERS WERE MONUMENTED PER CUSTOMER REQUEST.

State of Illinois
County of Cook ^{SS}

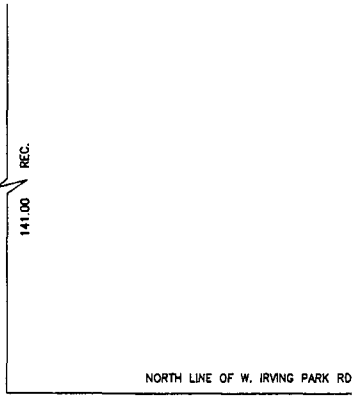
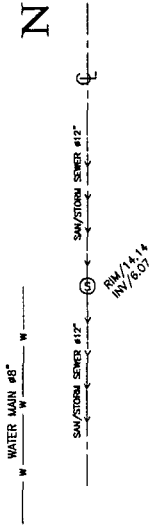
We, M M Surveying Co., Inc., do hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.

Signature: M. Mihajlovic

Date: 05-18-2012

REG. ILL. Land Surveyor No. 35-2522
LIC. EXP. NOVEMBER 30, 2012

N



W. IRVING



BENCHMARK No. 407
 LOCATED AT 10.0 FEET WEST OF EAST LINE OF N. TROY AVE. AND
 15.2 FEET NORTH OF ALLEY SOUTH OF W. IRVING PARK RD.
 ELEV. = 12.304 CHICAGO BENCHMARK DATUM

Order No. 79141
 Scale: 1 inch = 16 FEET
 Field Completion Date: APRIL 26, 2012
 Ordered by: ARSA (ALAN R. SCHNEIDER ARCHITECT)

REFER TO #59372, #79065

FLOOD CERTIFICATION: (PER FEMA WEBSITE)
 THE PROPERTY DESCRIBED ABOVE IS NOT LOCATED IN A SPECIAL
 FLOOD HAZARD AREA.
 FLOODWAY MAPPED: N/A
 FLOODWAY ON PROPERTY: NO
 MAP USED: RATE MAP
 COMMUNITY NAME: CHICAGO CITY OF
 COMMUNITY NUMBER: 170074
 PANEL NUMBER: 0404
 MAP NUMBER: 1703100404 J
 EFFECTIVE DATE: AUGUST 19, 2008
 FLOOD ZONE: X
 BASE FLOOD ELEVATION FROM FIRM (± 0.5 FT): N/A NGVD 1988.

F
D
D
T
T