



City of Chicago



O2021-2115

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	5/26/2021
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 11-G at 4533-4535 N Clark St - App No. 20735T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

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ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing C1-2 Neighborhood Commercial District symbols and indications as shown on Map No. 11-G in the area bounded by

A line 228.18 feet south of and parallel to West Wilson Avenue; a line 60.00 feet east of and parallel to North Clark Street; a line 223.18 feet south of and parallel to West Wilson Avenue; the alley next east and parallel to North Clark Street; a line 291.18 south of and parallel to West Wilson Avenue; a line 60.00 feet east of and parallel to North Clark Street; a line 286.18 feet south of and parallel to West Wilson Avenue; and North Clark Street;

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 4533-4535 North Clark Street

PROJECT NARRATIVE AND PLANS
TYPE 1 ZONING AMENDMENT
4533-4535 N Clark Street

The Applicant seeks to rezone from C1-2 Neighborhood Commercial District to B2-3 Neighborhood Mixed-Use District

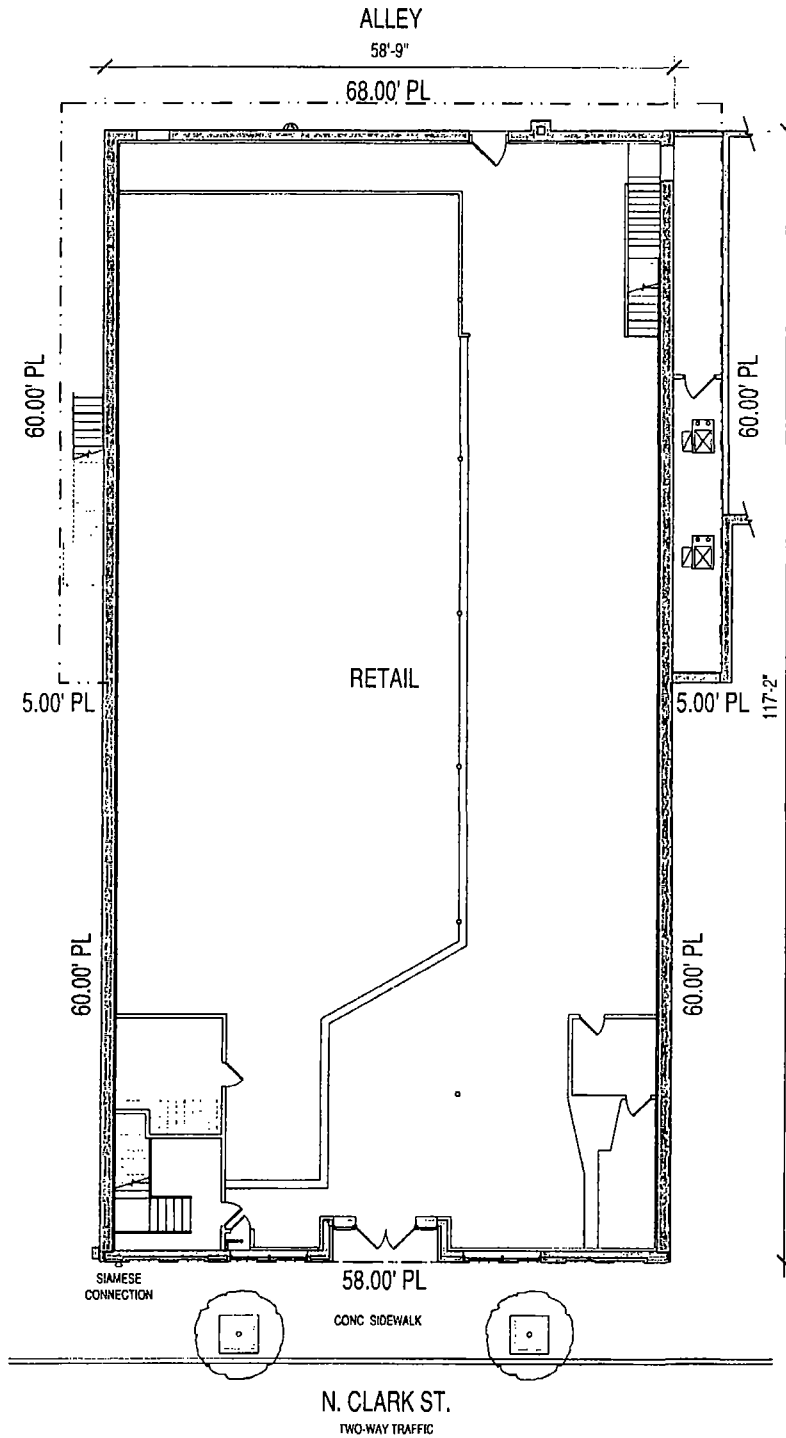
The Applicant seeks a zoning map amendment to adaptively reuse a 3-story existing commercial building into a mixed-use building. The Applicant will renovate the existing building to add 24 dwelling units on the first through third floors seeking an MLA reduction for the transit-served locations, with approximately 3,364 square feet of ground floor commercial space along Clark Street. The existing building is lot line to lot line with now available parking. The existing structure is to remain. The property is a transit served location and no parking will be provided for the mixed-use building. The building height will be 41'4" to the roof and 49'6" to the top of the rooftop stairwell.

Lot Area	7,560 SF
Density MLA (Lot area per unit)	315 sq. ft. (24 DU's) *
Off Street Parking	Zero (none existing none provided) **
Rear Setback	2 feet 6 inches (existing)
Side Setback	0 feet 0 inches (existing)
Side Setback	0 feet (existing)
Front Setback	0 feet 0 inches (existing)
Building SF	20,652 SF
FAR	2.71
Building Height	25 feet 6 inches (existing)

*As per section 17-3-0402-B MLA Reduction for Transit Served Location.

**The applicant will seek 100% parking reduction as per section 17-10-0102-B and 17-13-0905-F Parking Reductions for Transit-Served Locations.

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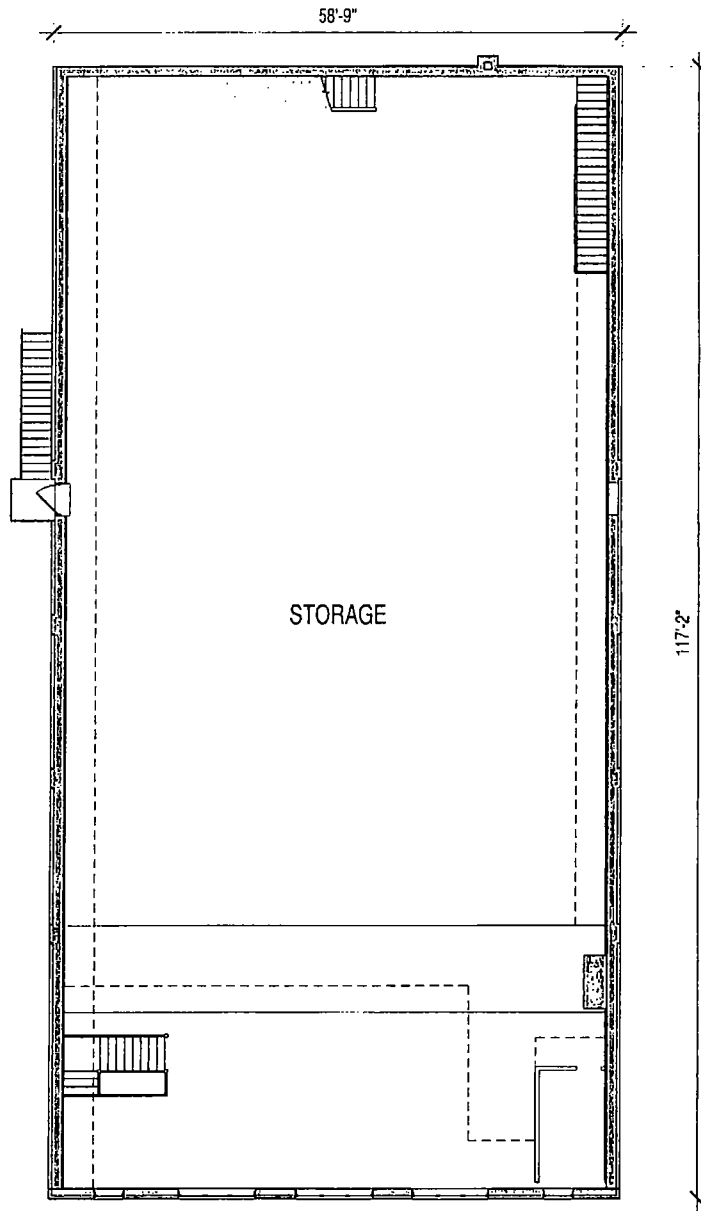
**KENNEDY
MANN**

2521 N. Southport Ave.
Chicago, IL 60614-1958
312.467.2222
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4533 N. Clark St.
Chicago, IL 60640

Existing First Floor Plan
3/32"=1'-0" 04.14.2021

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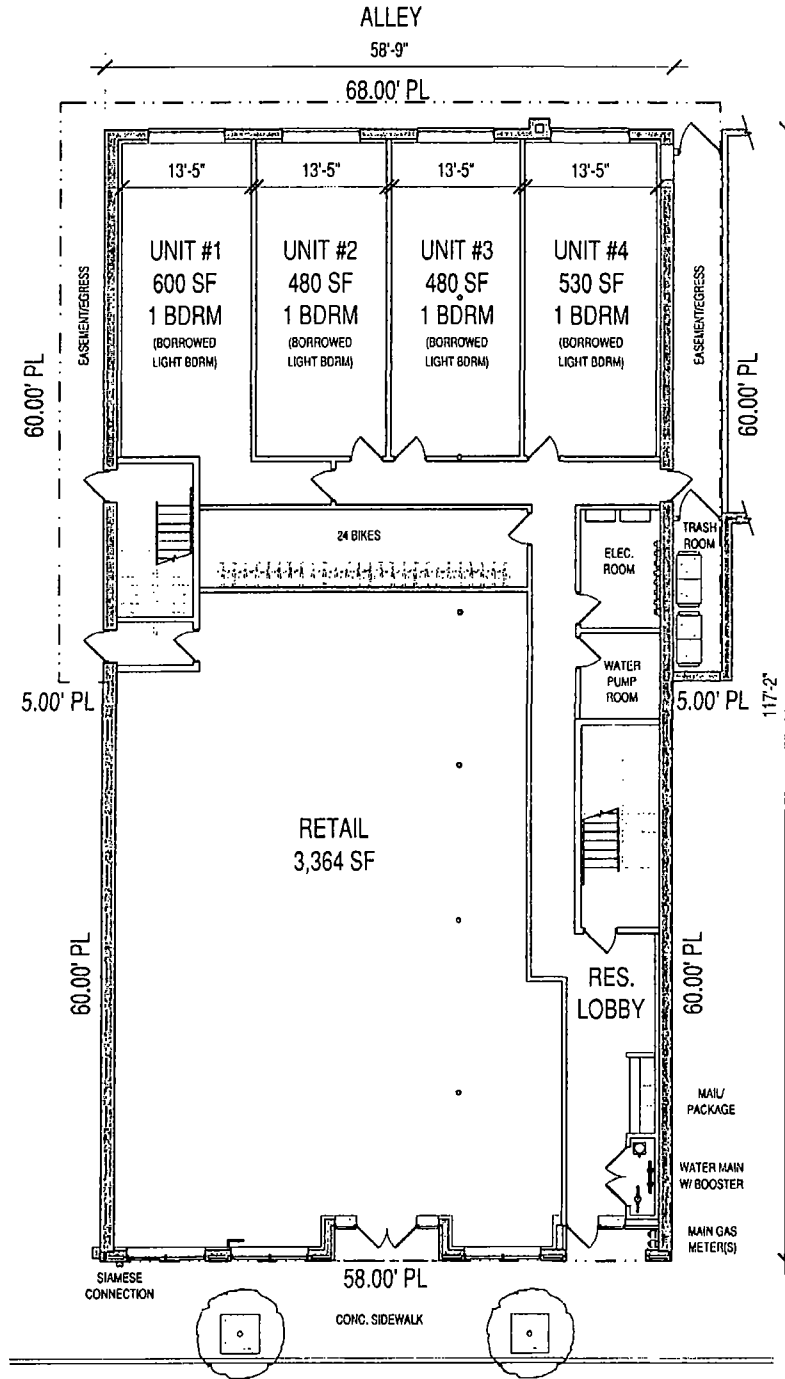
2525 W. Addison St.
Chicago, IL 60640 USA
+1 312 321 1188
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4533 N. Clark St.
Chicago, IL 60640

Existing Second Floor Plan
3/32"=1'-0" 04.14.2021



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N. CLARK ST.
TWO-WAY TRAFFIC

1st Floor: 4 Units (rear)
2nd Floor: 11 units
3rd Floor: 9 Units
Total: 24 Units

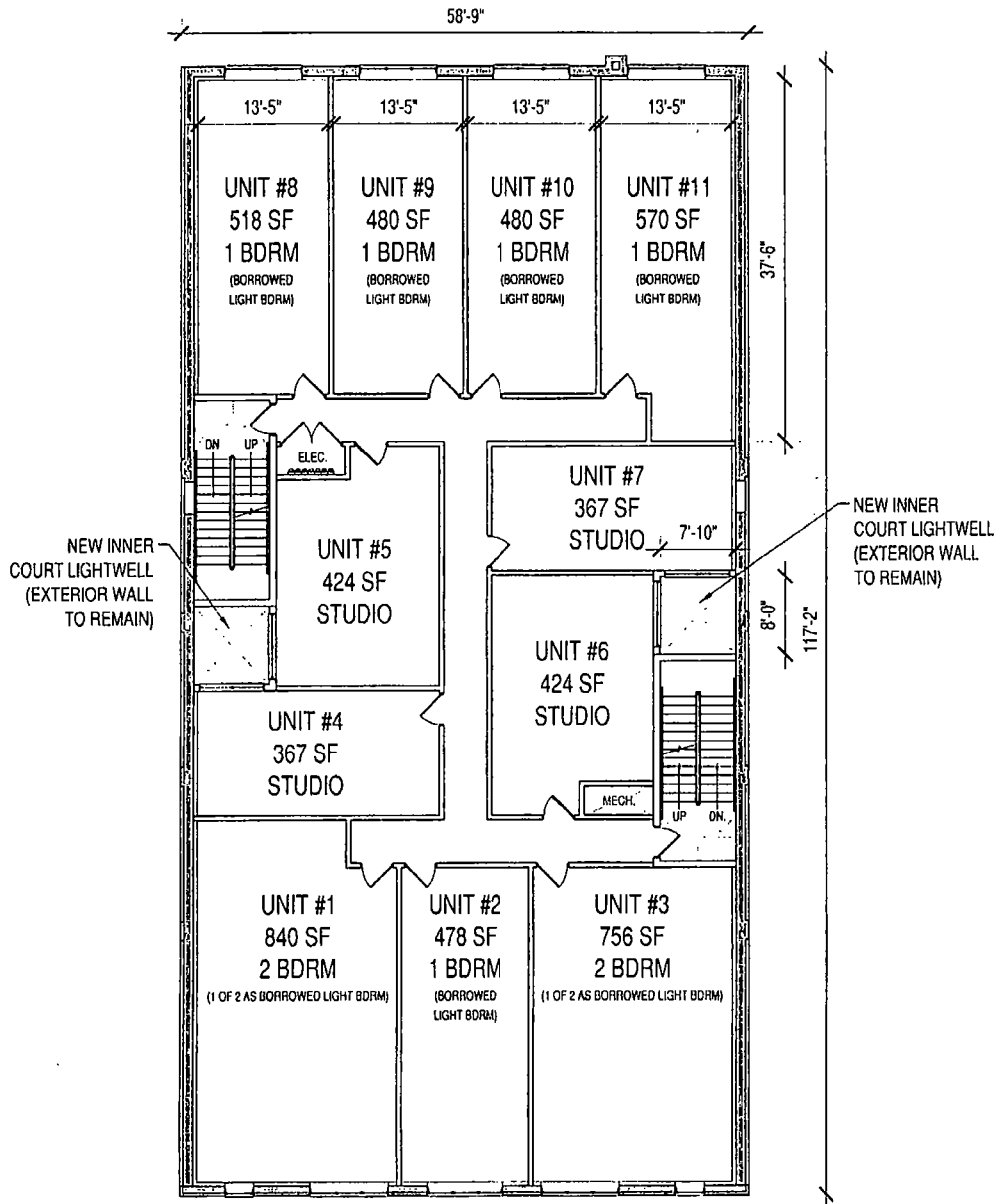
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2500 N. Lincoln Ave. Suite 100
Chicago, IL 60614
Tel: 773.231.4400
Fax: 773.231.4401

4533 N. Clark St.
Chicago, IL 60640

Proposed First Floor Plan
3/32"-1'-0" 04.14.2021

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1st Floor: 4 Units (rear)
2nd Floor: 11 units
3rd Floor: 9 Units
Total: 24 Units



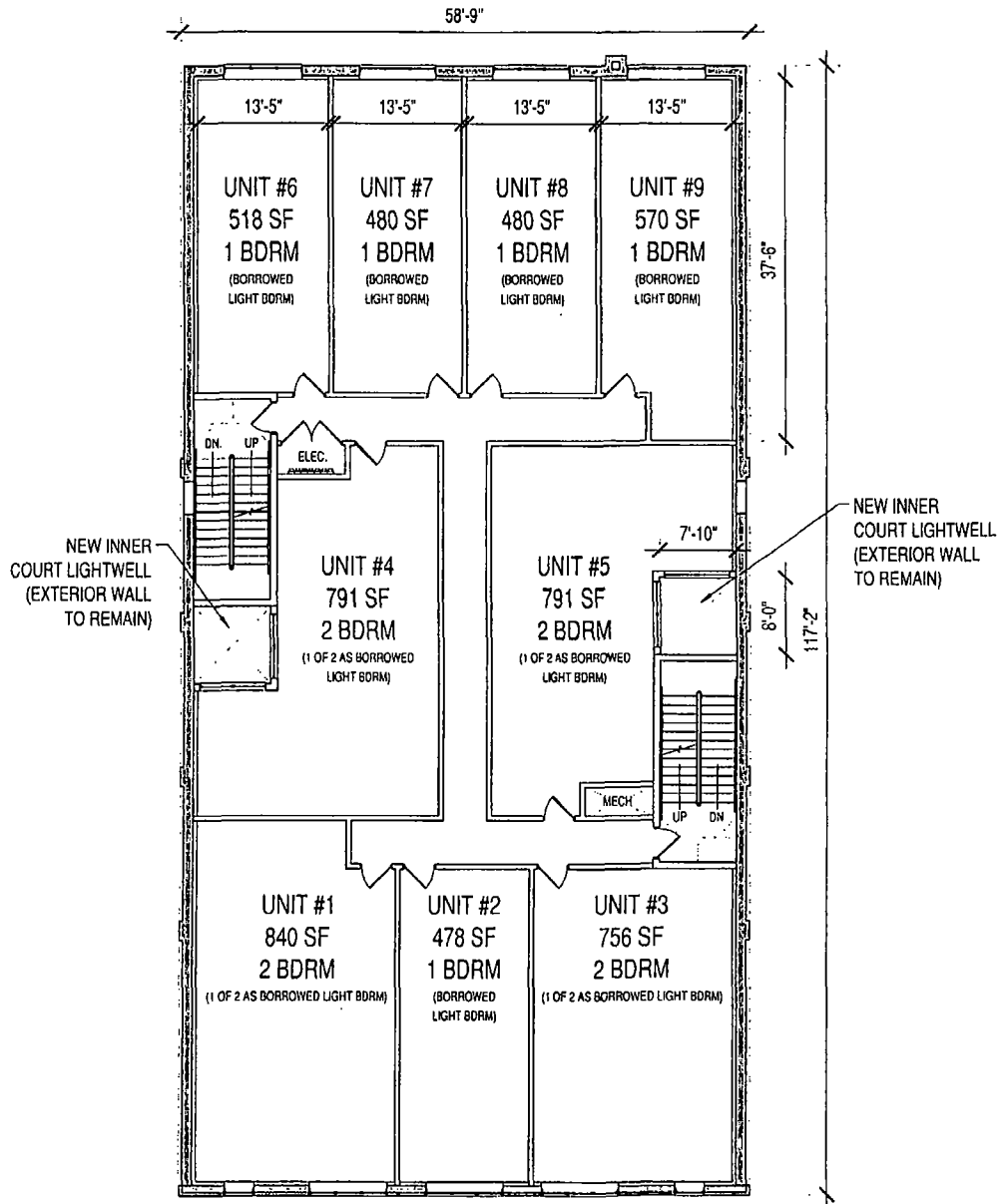
2202 N. Elston St.
Chicago, IL 60647 USA
+1 773 241 8831
www.kennedymann.com

4533 N. Clark St.
Chicago, IL 60640

Proposed Second Floor Plan
3/32"=1'-0" 04.14.2021



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1st Floor: 4 Units (rear)
 2nd Floor: 11 units
 3rd Floor: 9 Units
 Total: 24 Units



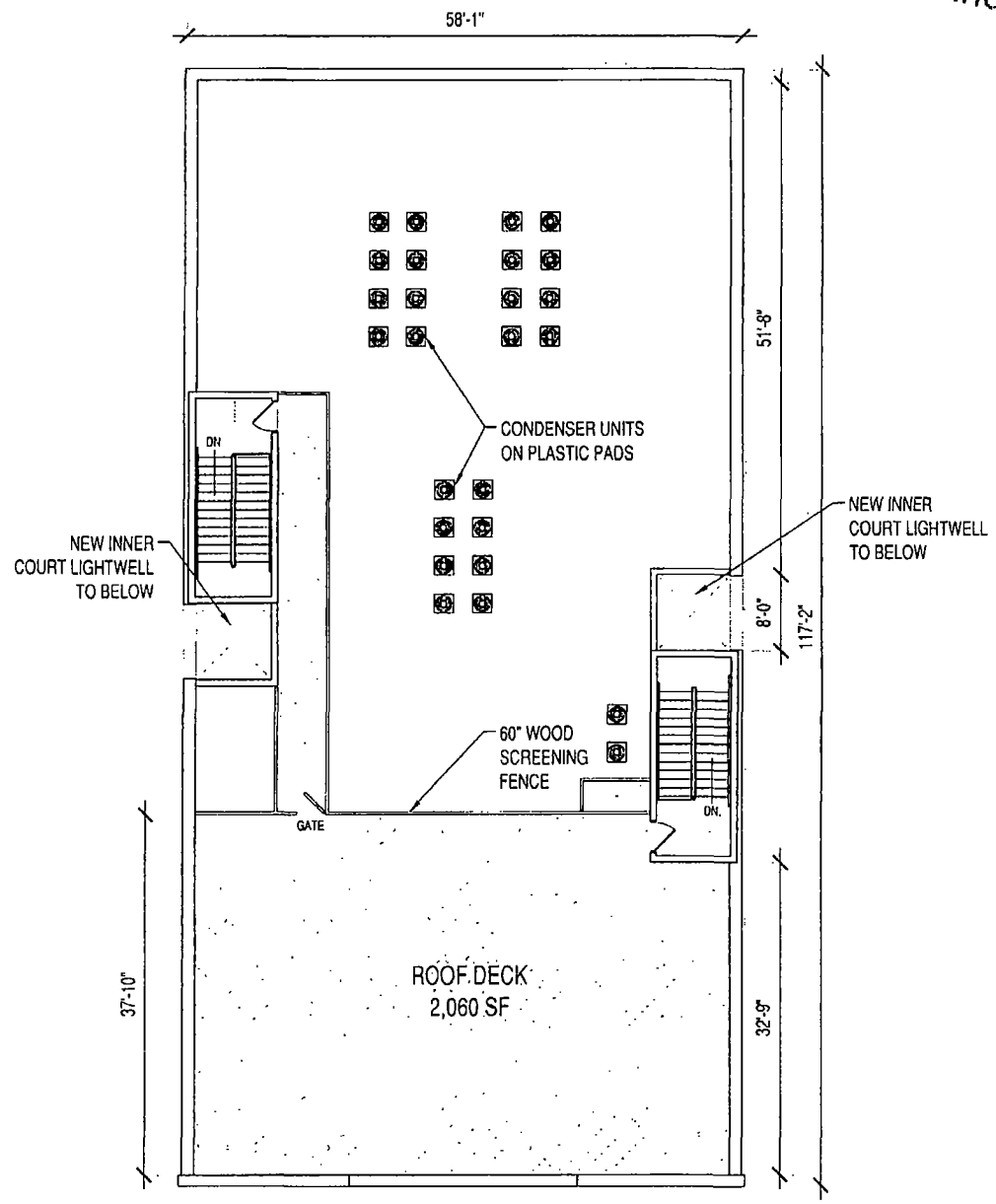
2500 N. Broadway, Suite 100
 Chicago, Illinois 60640
 Tel: 312.234.4555
 Fax: 312.234.4556

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 Chicago, IL 60640

Proposed Third Floor Plan
 3/32"=1'-0" 04.14.2021



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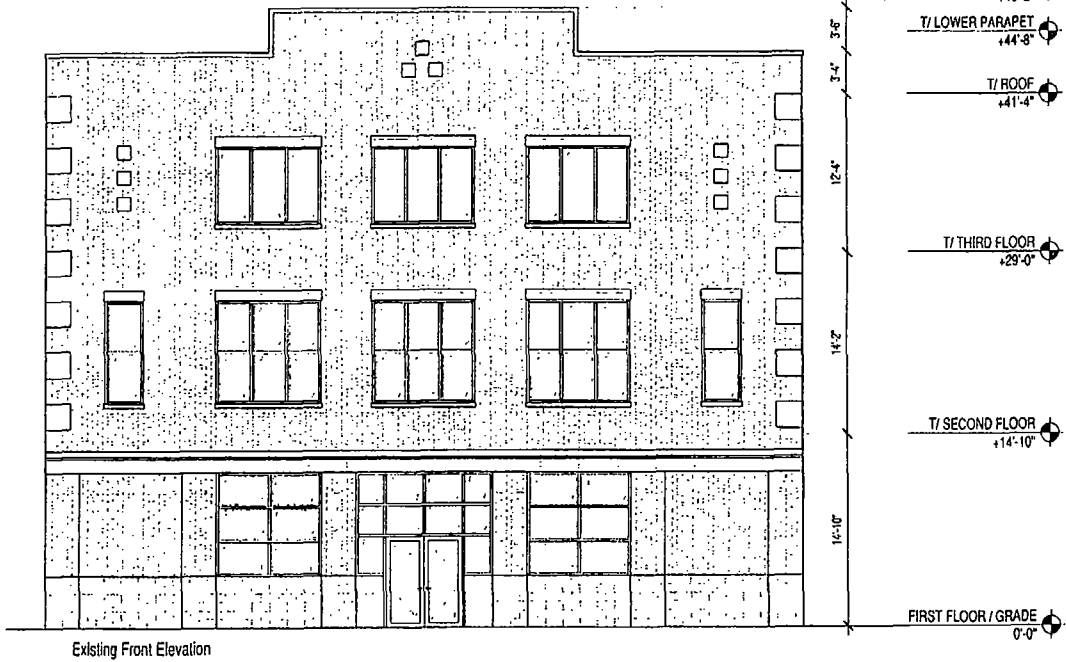


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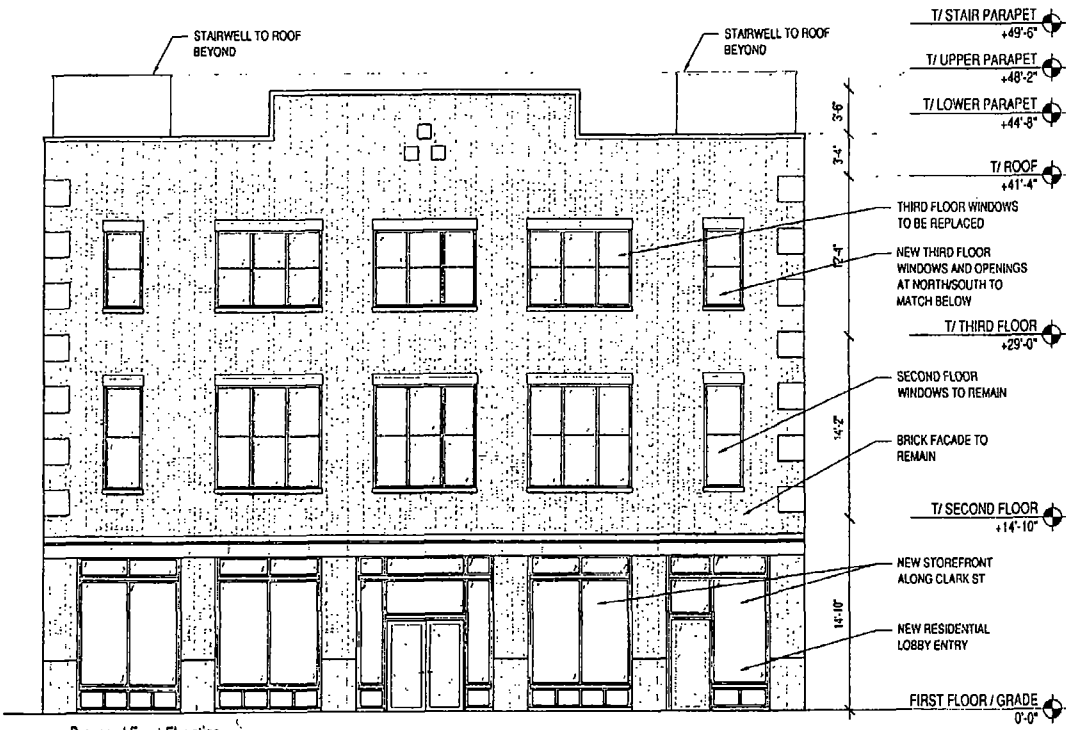
4533 N. Clark St.
Chicago, IL 60640

Proposed Roof Plan
3/32"=1'-0" 04.14.2021

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Existing Front Elevation



Proposed Front Elevation



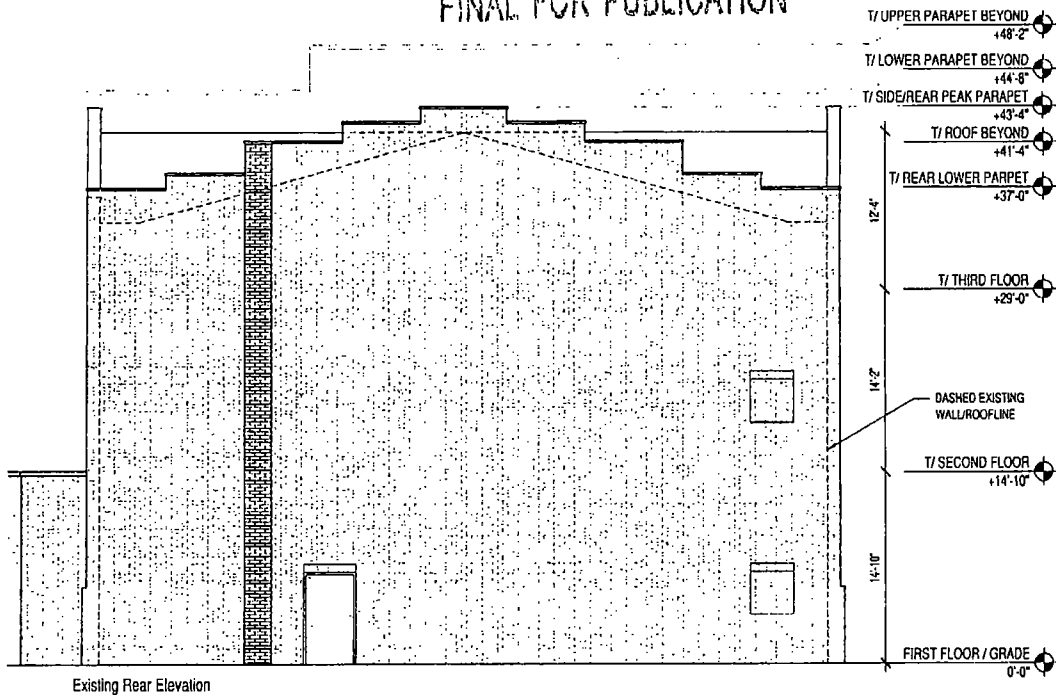
2827 W. Madison Ave.
Chicago, Illinois 60640
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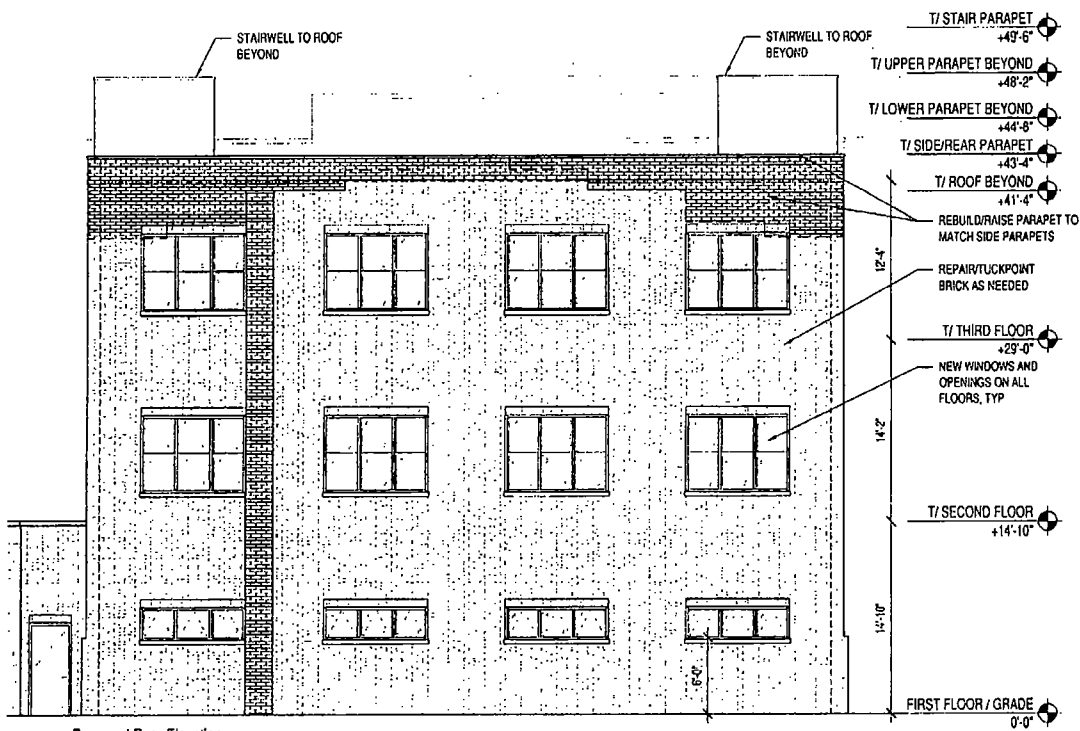
Existing and Proposed Front/Clark Elevations
1/8"=1'-0" 04.14.2021



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Existing Rear Elevation



Proposed Rear Elevation

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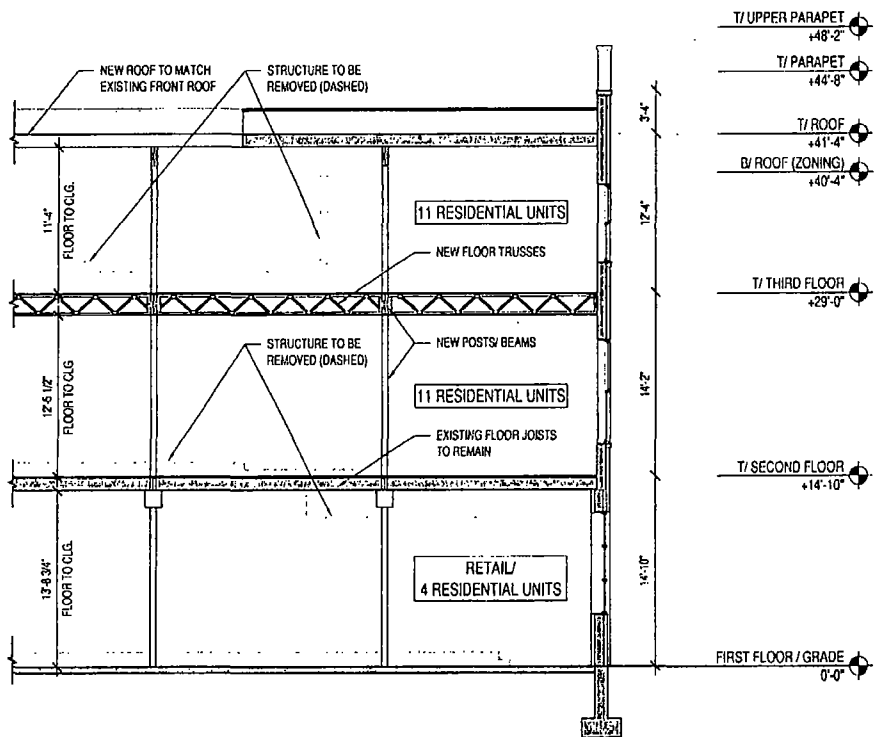
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Existing and Proposed Rear/Alley Elevations
1/8" = 1'-0" 04.14.2021



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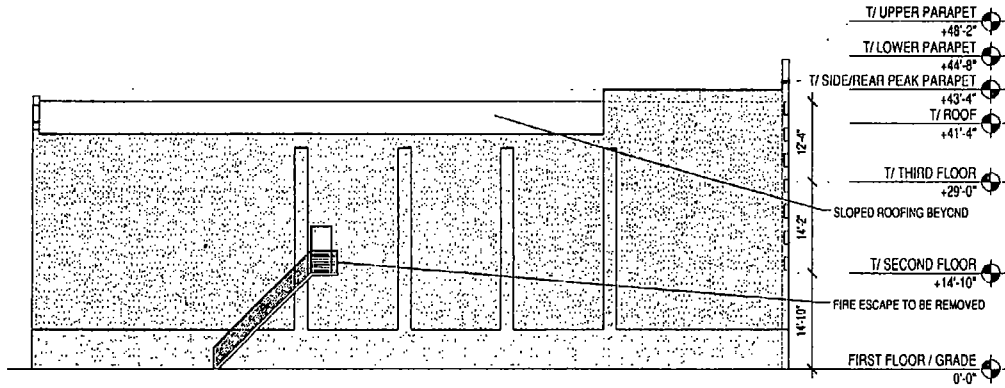
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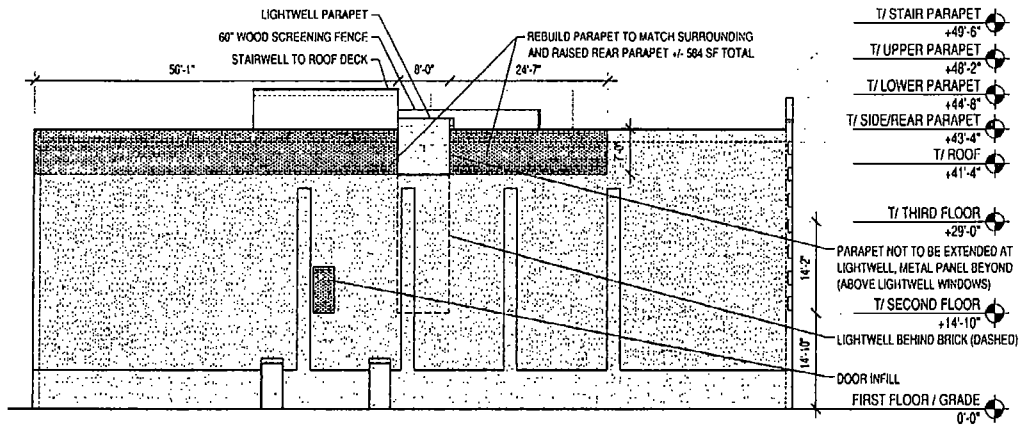
4533 N. Clark St.
Chicago, IL 60640

Front Wall Section
1/8" = 1'-0" 04.14.2021

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Existing North Elevation



Proposed North Elevation

*South Elevation is mirror of North Elevation

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4533 N. Clark St.
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Existing and Proposed North Elevations
1/16"=1'-0" 04.14.2021

