



City of Chicago



SO2016-4769

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	6/22/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 3-G at 1739 N Humboldt Blvd - App No. 18851T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#1885171
INTRO DATE
JUNE 22, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No.3-G in the area bounded by

a line 300 feet north of and parallel to West Wabansia Avenue;
the alley next east of and parallel to North Humboldt Boulevard;
a line 250 feet north of and parallel to West Wabansia Avenue;
and North Humboldt Boulevard,

to those of a RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property: 1739 North Humboldt Boulevard

#313
WARD
#9AM

17-13-0303-C (1) Narrative Zoning Analysis – 1739 N. Humboldt**SUBSTITUTE PLANS AND NARRATIVE**

Zoning: RT-4

Lot Area: 7,500 square feet

Proposed Land Use: The Applicant is proposing to develop the subject property with a new three-story building containing seven (7) residential dwelling units. The proposed building will be masonry construction. The proposed building will be 37 feet 9 inches in height. Onsite parking for seven (7) cars in a detached garage with roof deck will be located at the rear of the lot.

- (a) The Project's Floor Area Ratio: 9,000 square feet (1.2 FAR)
- (b) The project's density (Lot Area per Dwelling Unit): 1,071.43 square feet
- (c) The amount of off-street parking: 7 parking spaces
- (d) Setbacks:
 - a. Front Setback: 11 feet 6 inches
 - b. Rear Setback: 47 feet 6 inches (The Applicant will seek a Variation to permit an open stair to a proposed roof deck above the detached garage).
 - c. Side Setbacks: North side – 5 feet / South side – 5 feet
 - d. Rear Yard Open Space: 488 square feet (The Applicant will seek a Variation to reduce the rear yard setback).
- (e) Building Height: 37 feet 9 inches

*17-10-0207-A

*17-13-0303-C(2) – Plans Attached.

FINAL FOR PUBLICATION

HANNA ARCHITECTS, INC.
 180 W. WASHINGTON
 CHICAGO, ILLINOIS 60602
 FAX (312) 755-1801
 PROFESSIONAL DESIGN TEAM
 ARCHITECT CORPORATION
 LICENSE NUMBER 184-001451

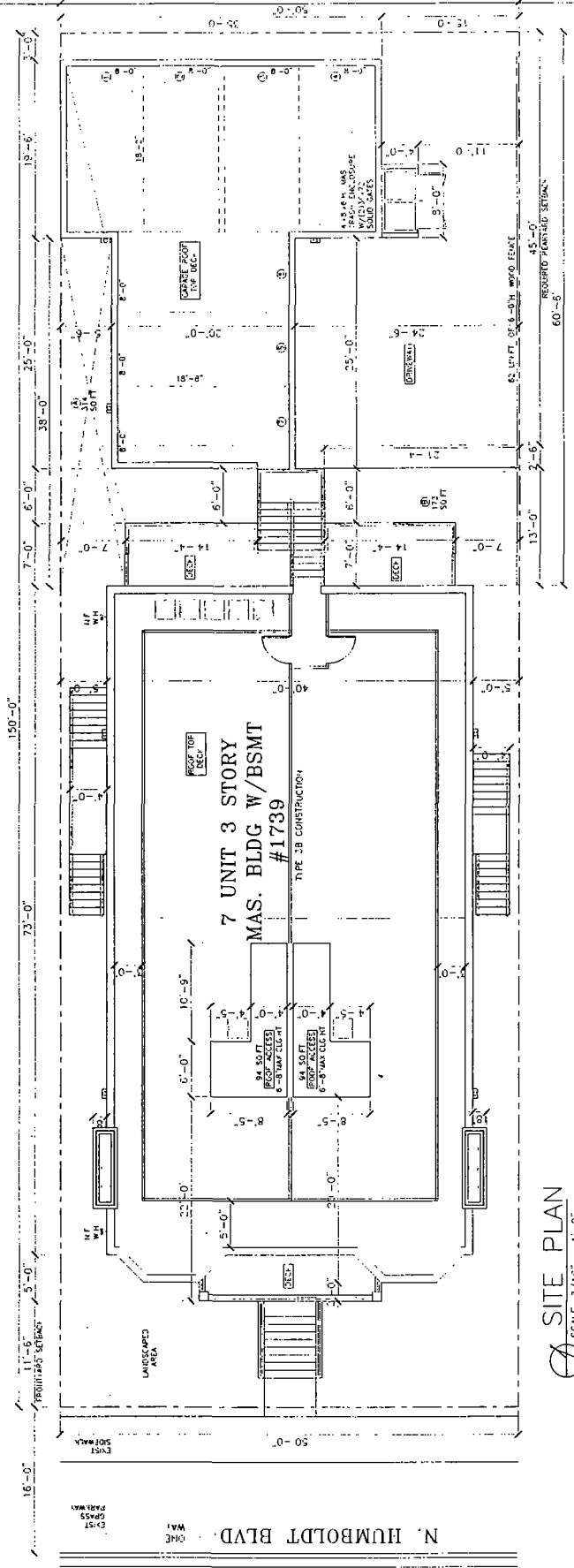
14 FT. ALLEY

PROJECT NAME & ADDRESS
 1739 N. HUMBOLDT
 7 UNIT 3 STORY
 APART. BLDG. W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 SITE PLAN

FILE NAME

SHEET NUMBER
 A-1



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SITE PLAN
 SCALE 3/16" = 1'-0"

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HANNA ARCHITECTS, INC.
 (312) 763-1800
 180 W WASHINGTON
 CHICAGO, ILLINOIS 60604
 FAX (312) 763-1811
 PROFESSIONAL DESIGN FIRM
 ARCHITECT CORPORATION
 LICENSE NUMBER 181-00185

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

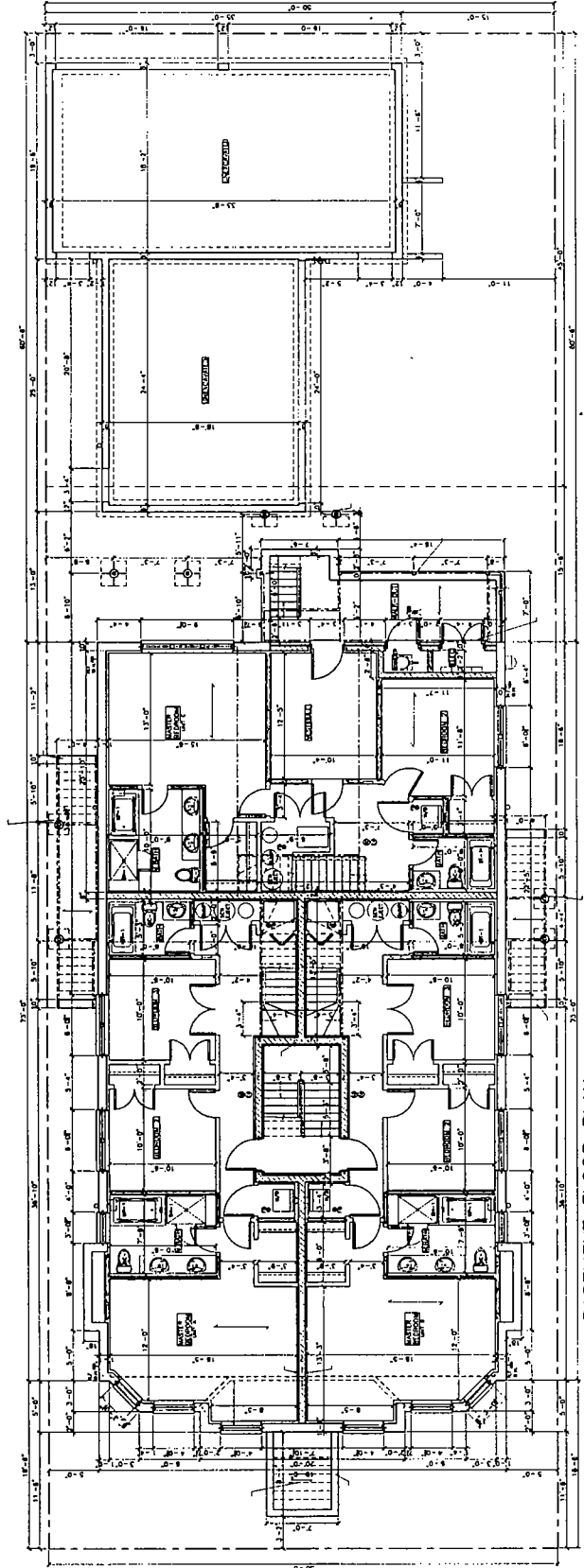
SCALE FOR FLOOR PLAN: 1/8" = 1'-0"
 SCALE FOR SECTION: 1/4" = 1'-0"
 SCALE FOR ELEVATION: 1/8" = 1'-0"



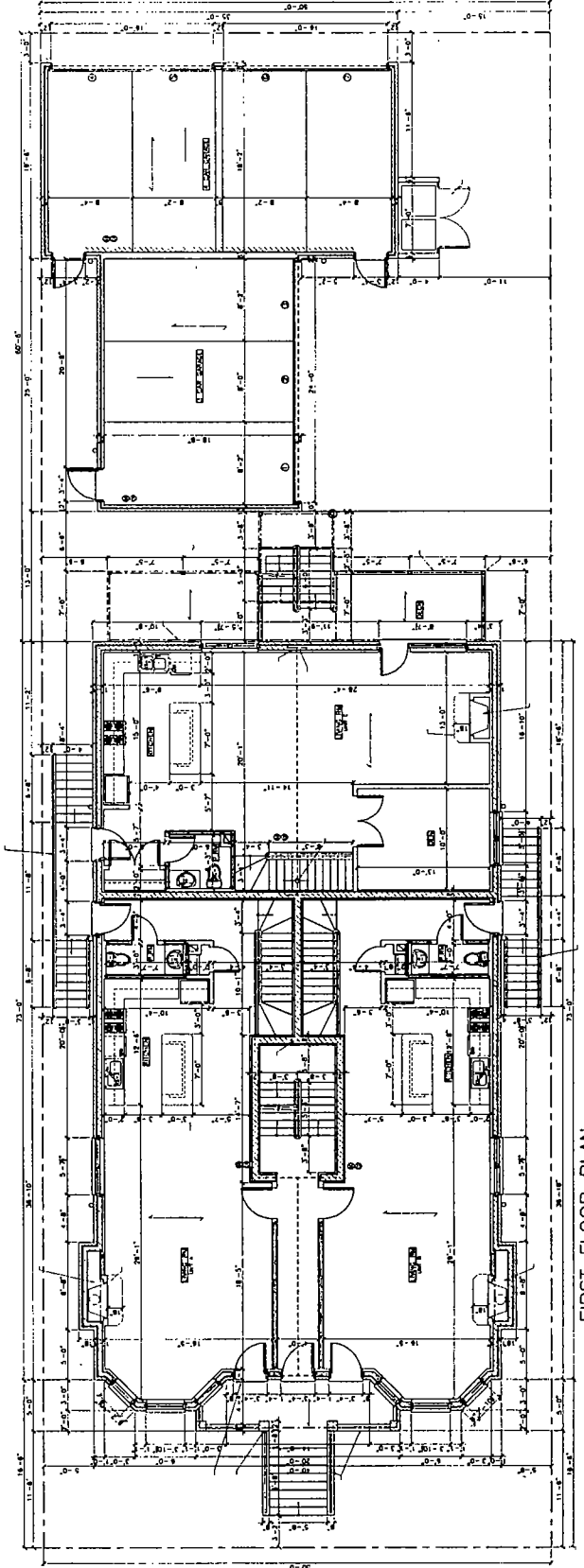
PROJECT NAME & ADDRESS
 1739 N HUMBOLDT
 7 UNIT 3 STORY
 APART. BLDG. W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 BASEMENT &
 FIRST FLOOR
 PLANS

FILMNAME
 SHEET NUMBER
 A-2



⊕ BASEMENT FLOOR PLAN
 SCALE: 3/16" = 1'-0"



⊕ FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

FINAL FOR PUBLICATION

HANNA ARCHITECTS, INC.
 (1/31) 744-1800
 110 W. WASHINGTON
 CHICAGO, ILLINOIS 60602
 FAX: (312) 744-1801
 PROFESSIONAL DESIGN FIR #4
 ARCHITECT CORPORATION
 LICENSE NUMBER 181-07140

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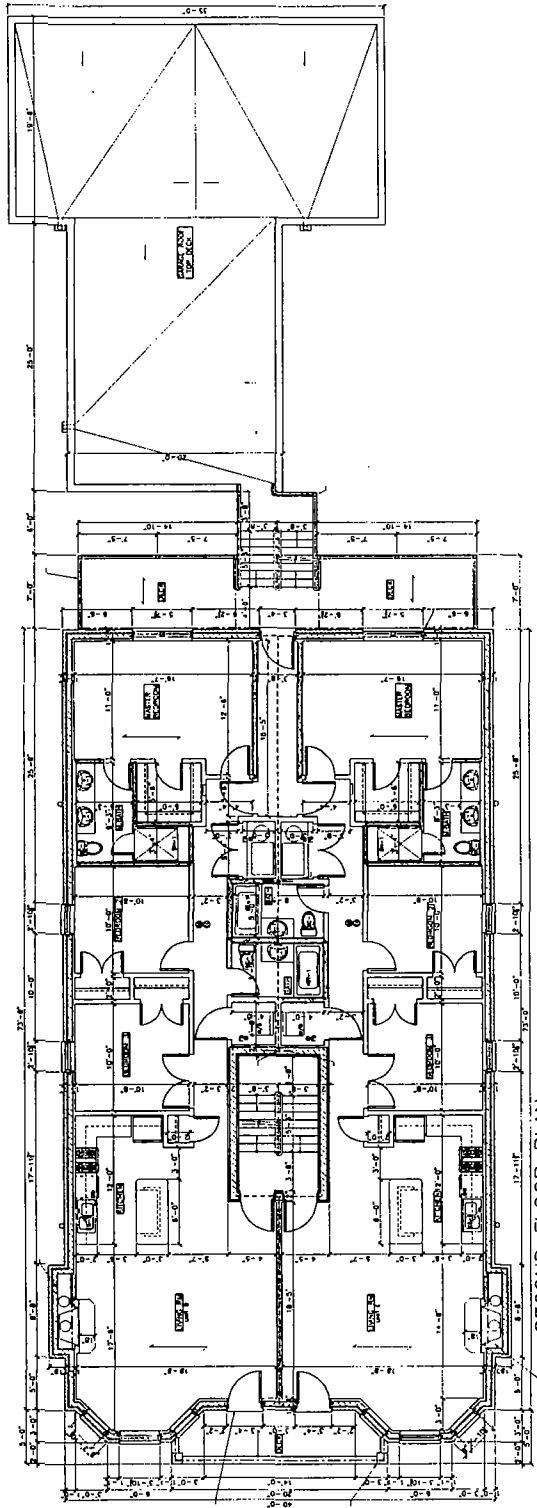
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 DRAWING NO. FOR PROJECT: _____
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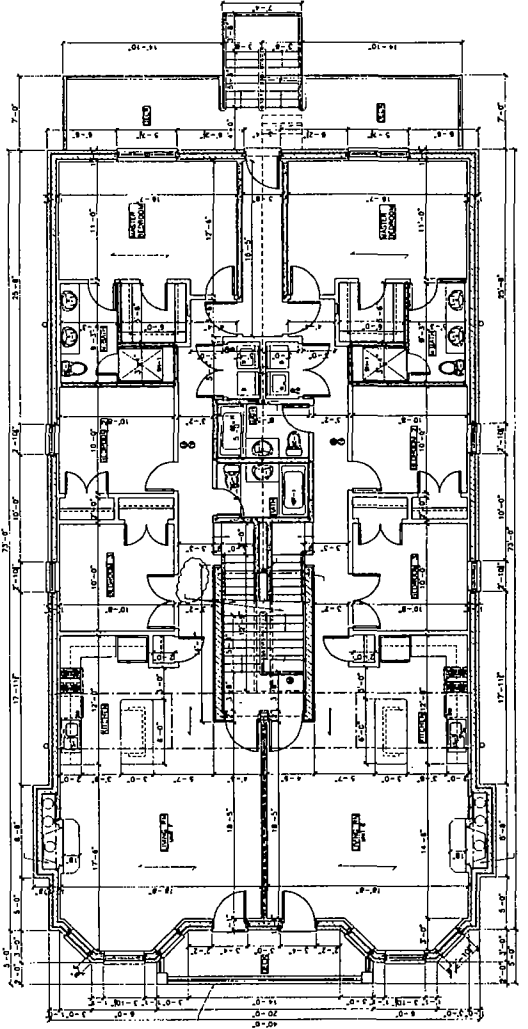
PROJECT NAME & ADDRESS
 1739 N. HUMBOLDT
 7 UNIT 3 STORY
 APART. BLDG. W/BSMT
 CHICAGO, ILLINOIS

SHEET TITLE
 SECOND &
 THIRD FLOOR
 PLANS

FILENAME
 SHEET NUMBER
 A-3

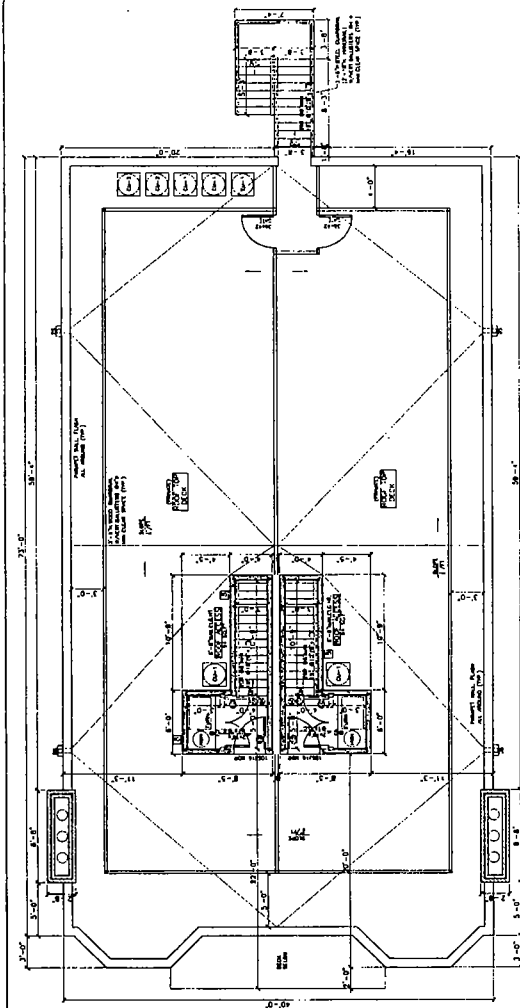
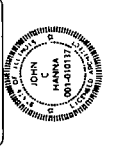


⊕ SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"

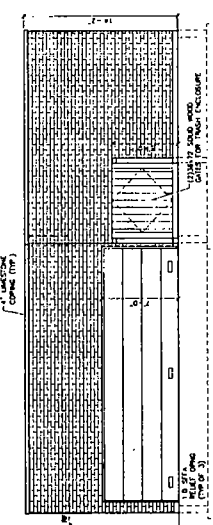


⊕ THIRD FLOOR PLAN
 SCALE: 3/16" = 1'-0"

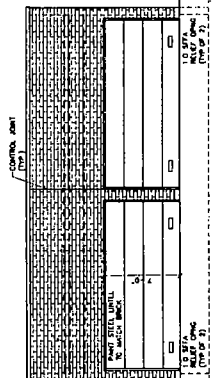
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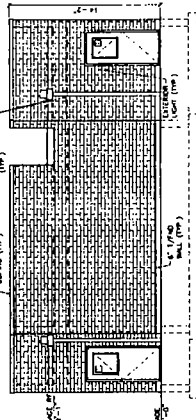
ROOF DECK PLAN
 SCALE: 3/16" = 1'-0"



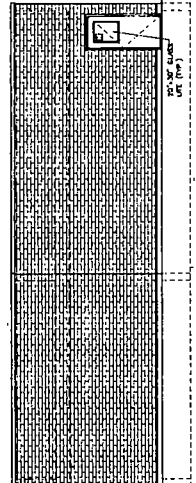
SOUTH GARAGE ELEV
 SCALE: 3/16" = 1'-0"



EAST GARAGE ELEV
 SCALE: 3/16" = 1'-0"



WEST GARAGE ELEV
 SCALE: 3/16" = 1'-0"



NORTH GARAGE ELEV
 SCALE: 3/16" = 1'-0"

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1. TYPICAL ROOF STRUCTURE CLASS 'V'
 SHALL BE CONCRETE ON 4" POLYSTYRENE INSULATION TREATED
 WITH FIRE RESISTANT FINISH. THE FINISH SHALL BE
 APPLIED TO ALL EXPOSED SURFACES OF THE ROOF
 STRUCTURE INCLUDING THE ROOF DECK, WALLS, AND
 PARAPETS. THE FINISH SHALL BE APPLIED TO ALL
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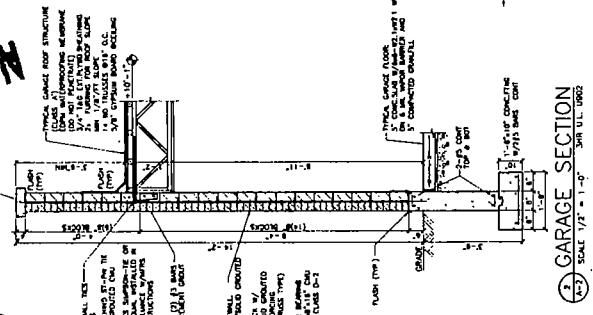
2. ROOF DECK SHALL BE CONCRETE ON 4" POLYSTYRENE
 INSULATION TREATED WITH FIRE RESISTANT FINISH.
 THE FINISH SHALL BE APPLIED TO ALL EXPOSED
 SURFACES OF THE ROOF DECK INCLUDING THE
 ROOF DECK, WALLS, AND PARAPETS.

3. ROOF DECK SHALL BE CONCRETE ON 4" POLYSTYRENE
 INSULATION TREATED WITH FIRE RESISTANT FINISH.
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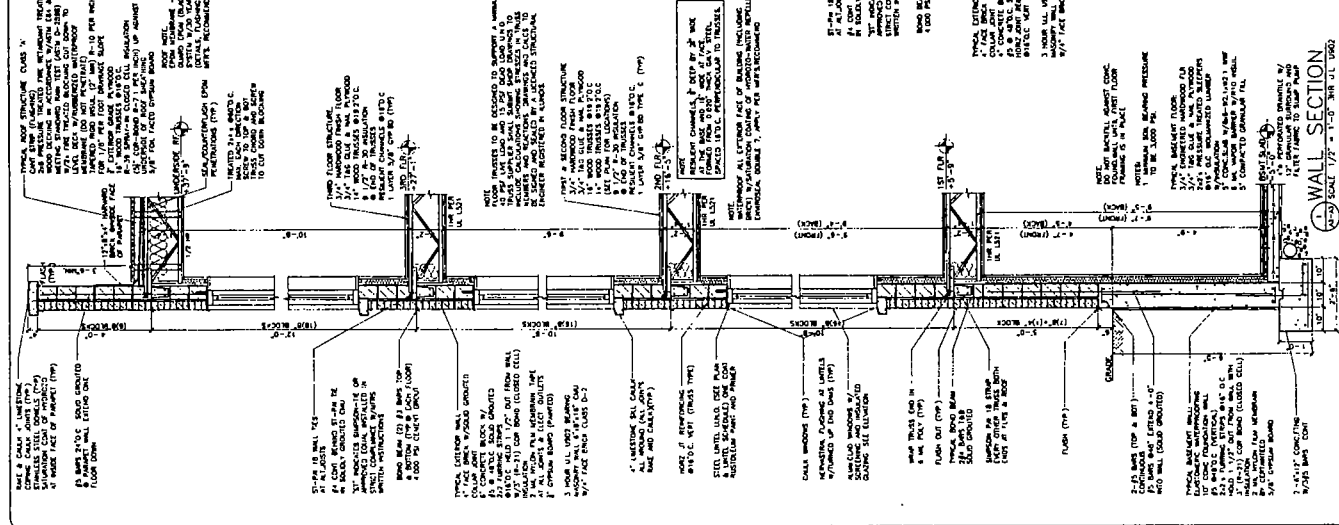
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6. ROOF DECK SHALL BE CONCRETE ON 4" POLYSTYRENE
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 ROOF DECK, WALLS, AND PARAPETS.



GARAGE SECTION
 SCALE: 1/8" = 1'-0"



WALL SECTION
 SCALE: 1/8" = 1'-0"

A HANNA ARCHITECTS, INC.
 13121 79th-180
 1815 N. WASHINGTON
 CHICAGO, ILLINOIS 60642
 P.A. (312) 796-1801
 PROFESSIONAL DESIGNER FOR
 ARCHITECT CORPORATION
 LICENSE NUMBER 181-071445

REGISTERED ARCHITECT
 JOHN HANNA
 (312) 796-1801

REGISTERED ARCHITECT
 INCORPORATED
 1815 N. WASHINGTON
 CHICAGO, ILLINOIS 60642
 P.A. (312) 796-1801

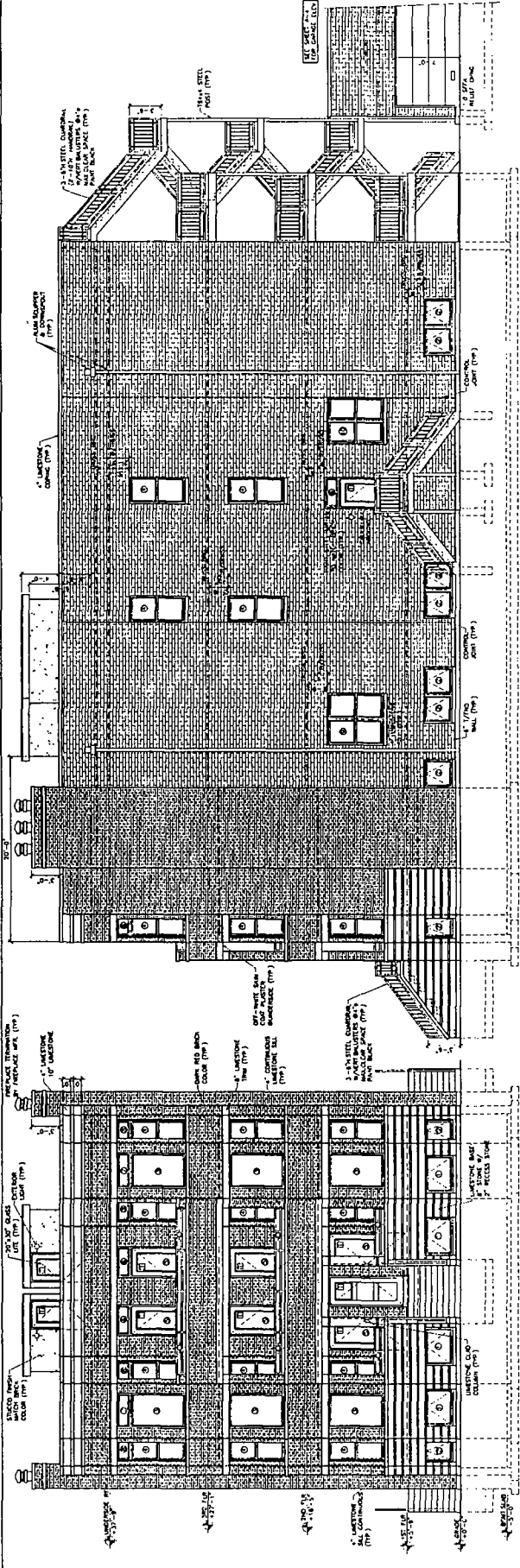


PROJECT NAME & ADDRESS
 1700 N. HUMBOLDT
 UNIT 31
 APART BLDG
 CHICAGO, ILLINOIS

SHEET TITLE
 BUILDING
 ELEVATIONS

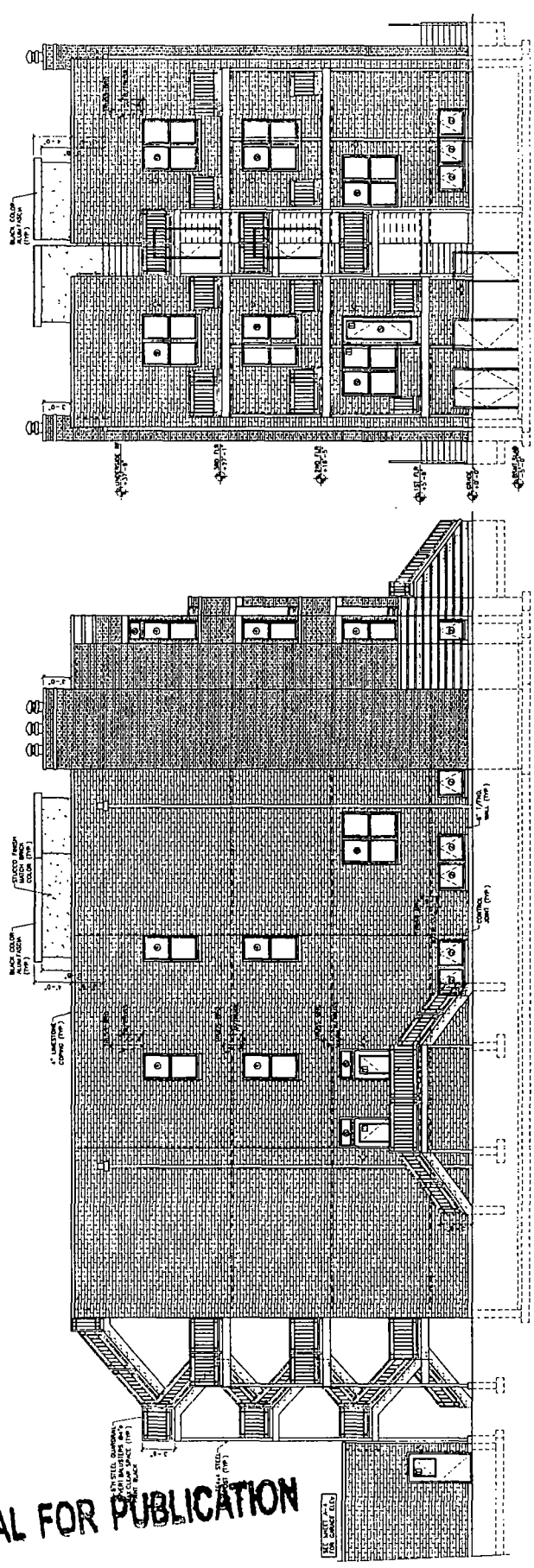
FILE NAME
 A-5

SHEET NUMBER
 A-5



WEST ELEVATION
 SCALE 3/16" = 1'-0"

SOUTH ELEVATION
 SCALE 3/16" = 1'-0"



NORTH ELEVATION
 SCALE 3/16" = 1'-0"

EAST ELEVATION
 SCALE 3/16" = 1'-0"

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