



City of Chicago



O2022-2771

Office of the City Clerk

Document Tracking Sheet

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| Meeting Date: | 9/21/2022 |
| Sponsor(s): | Misc. Transmittal |
| Type: | Ordinance |
| Title: | Zoning Reclassification Map No. 6-E at 2635 S Wabash Ave - App No. 21145T1 |
| Committee(s) Assignment: | Committee on Zoning, Landmarks and Building Standards |

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17, of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the M1-3 Limited Manufacturing / Business Park District symbols and indications as shown on Map No. 6-E in the area bounded by

a line 500.31 feet north and parallel to East 26th Street; the alley next east of and parallel to South Wabash Avenue; a line 300.19 feet north of and parallel to East 26th Street; and South Wabash Avenue,

to those of a B3-3 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 2635 South Wabash Avenue

17-13-0303-C(1) Narrative & Plans – 2635 S. Wabash, Chicago, IL

Proposed Zoning: B3-3 Community Shopping District

Lot Area: 38,100 square feet

Proposed Land Use: The Applicant is proposing to adapt and add onto the existing four-story manufacturing building located at the subject property and convert it to a mixed-use building containing approximately 2,900 sq. ft. of retail space at grade and a total of fifty-four (54) residential units above. The resulting mixed-use building with the partial fifth floor addition will measure 65 ft. in height. A total of seventy (70) off-street parking spaces will be provided to support the mixed-use building.

- (A) The Project's Floor Area Ratio: 104,940 square feet (2.76 FAR)
- (B) The Project's Density (Minimum Lot Area Per D.U.): 705.55 square feet per D.U.
(54 dwelling units proposed)
- (C) The amount of off-street parking: 70 vehicle parking spaces
- (D) Setbacks:
 - a. Front Setback: 0 feet (existing)
 - b. Rear Setback: 0 feet (existing)
 - c. Side Setbacks:
 - North: 75 feet (existing)
 - South: 0 feet (existing)
- (E) Building Height: 65 feet

*The Applicant will comply with Sec. 17-3-0307 Exceptions of the Chicago Air Quality Ordinance should such provision(s) be determined applicable.



2015 WADASH AVENUE

ARCHITECTS

2015 WADASH AVENUE

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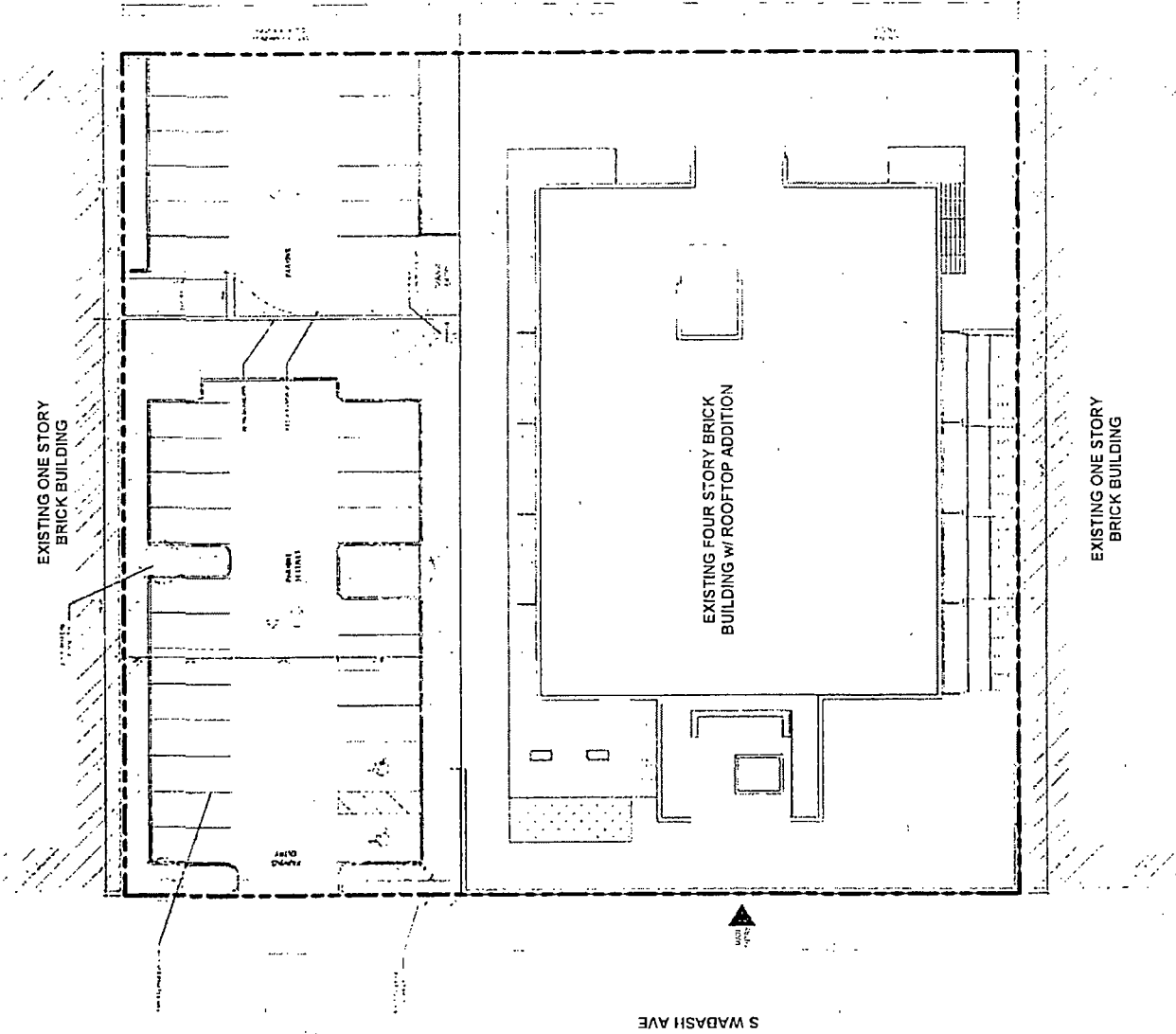
2015 WADASH AVENUE

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2015 WADASH AVENUE

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ARCHITECTURE: RFT
PLAN



A100



GENERAL NOTES

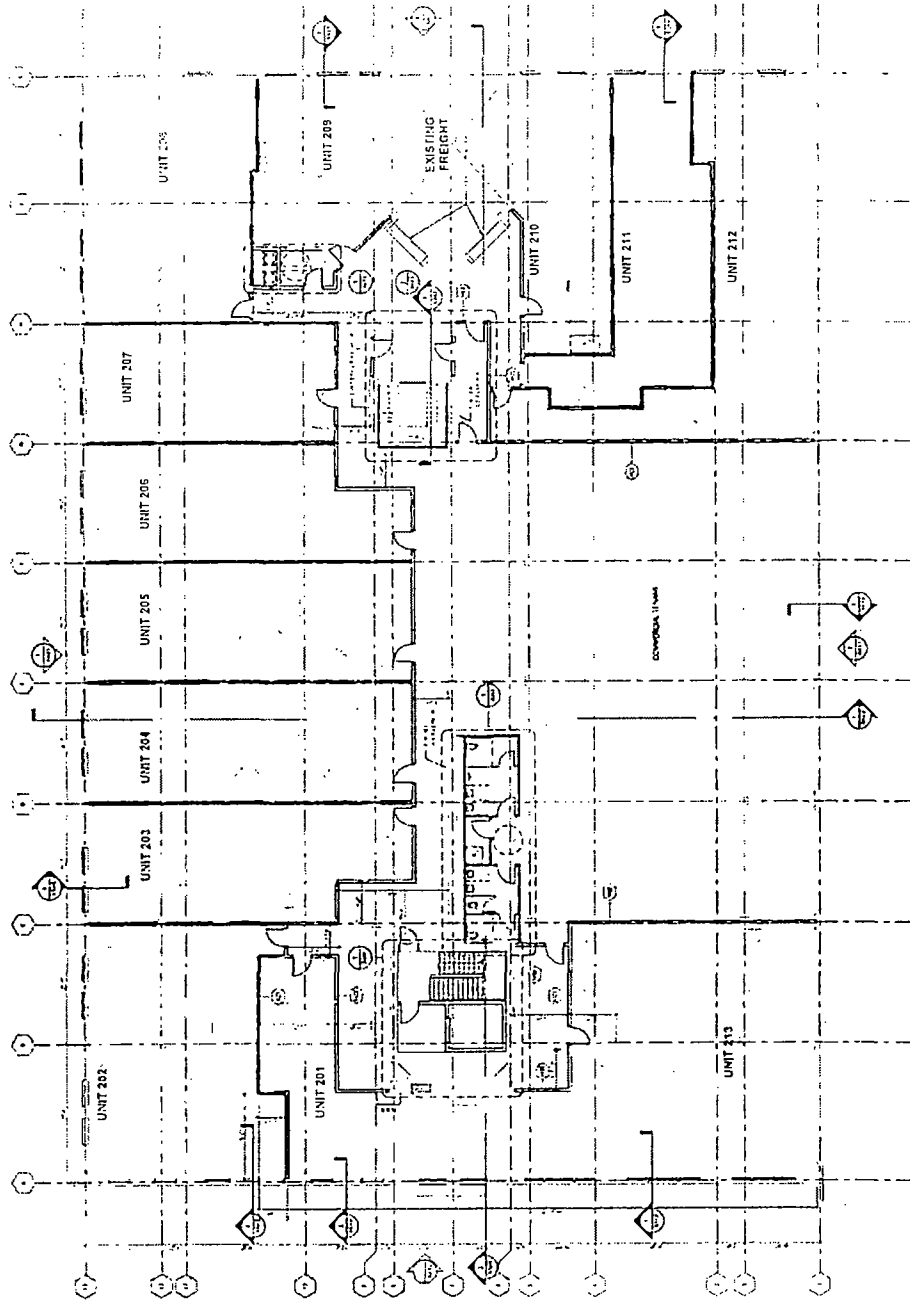
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE BUILDING DEPARTMENT PERMITS AND SPECIFICATIONS.

2035 S. SYMPSON AVE., 4/F

DATE: 01/14/14
PROJECT: 2035 S. SYMPSON AVE. 4/F

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SECOND FLOOR PLAN



SCALE: 1/8" = 1'-0"

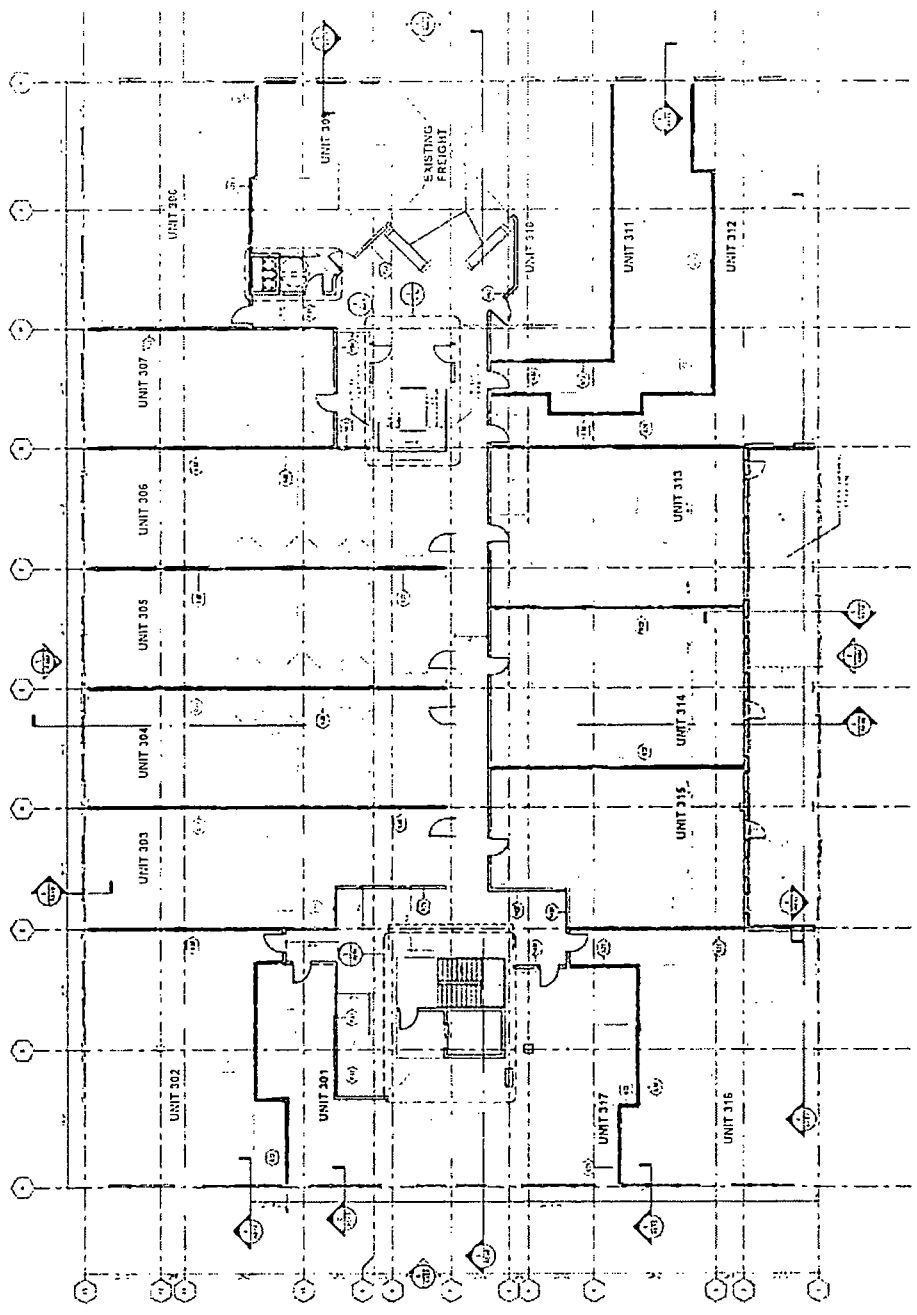


GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.

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THIRD FLOOR PLAN





GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE BUILDING CODE AND THE CITY OF SEATTLE ELECTRICAL CODE.

2415 S. WASHINGTON AVENUE

SEATTLE, WA 98144

PROJECT NO. 1000000000

DATE: 01/15/2014

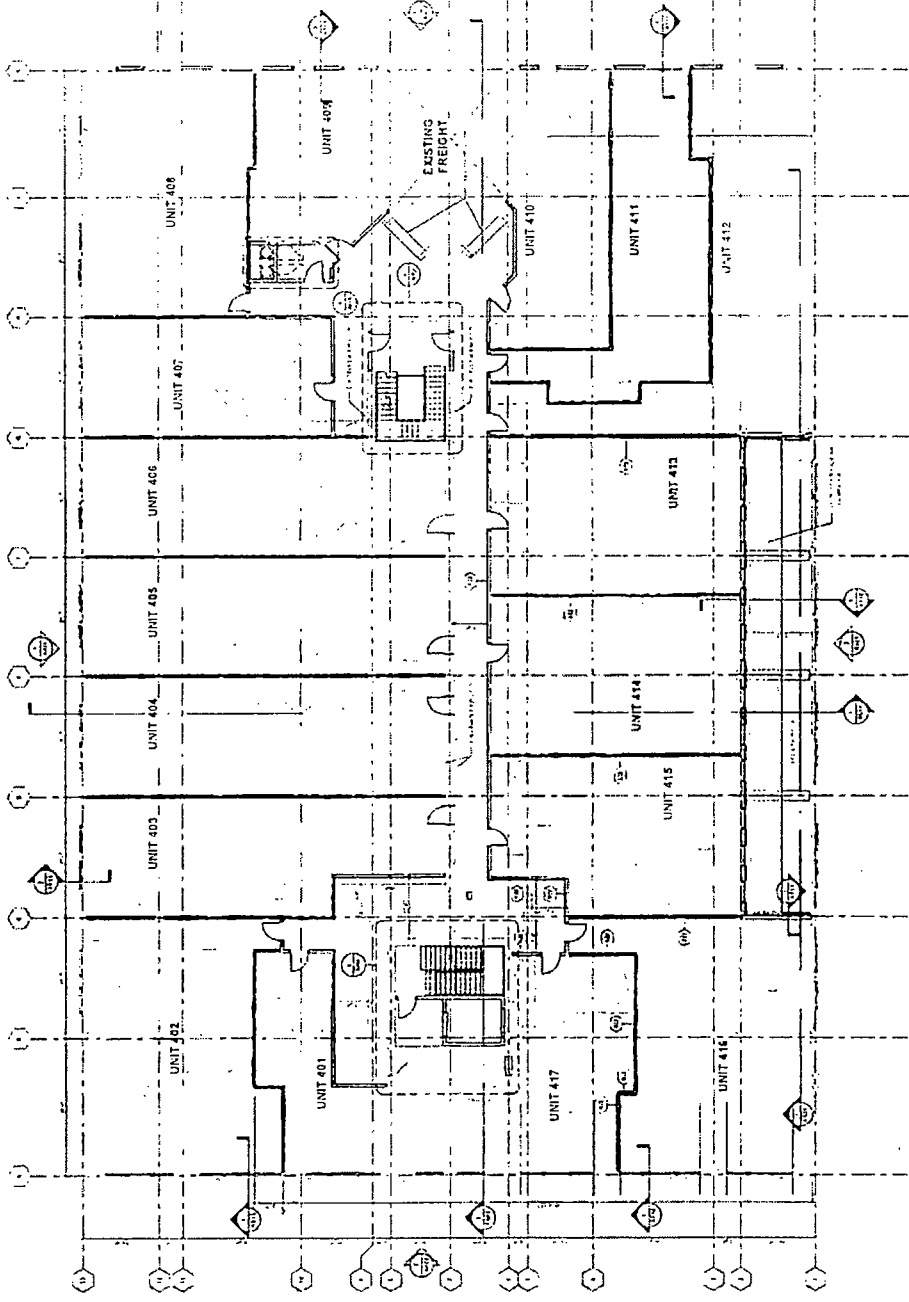
PROJECT NO.

DATE

BY

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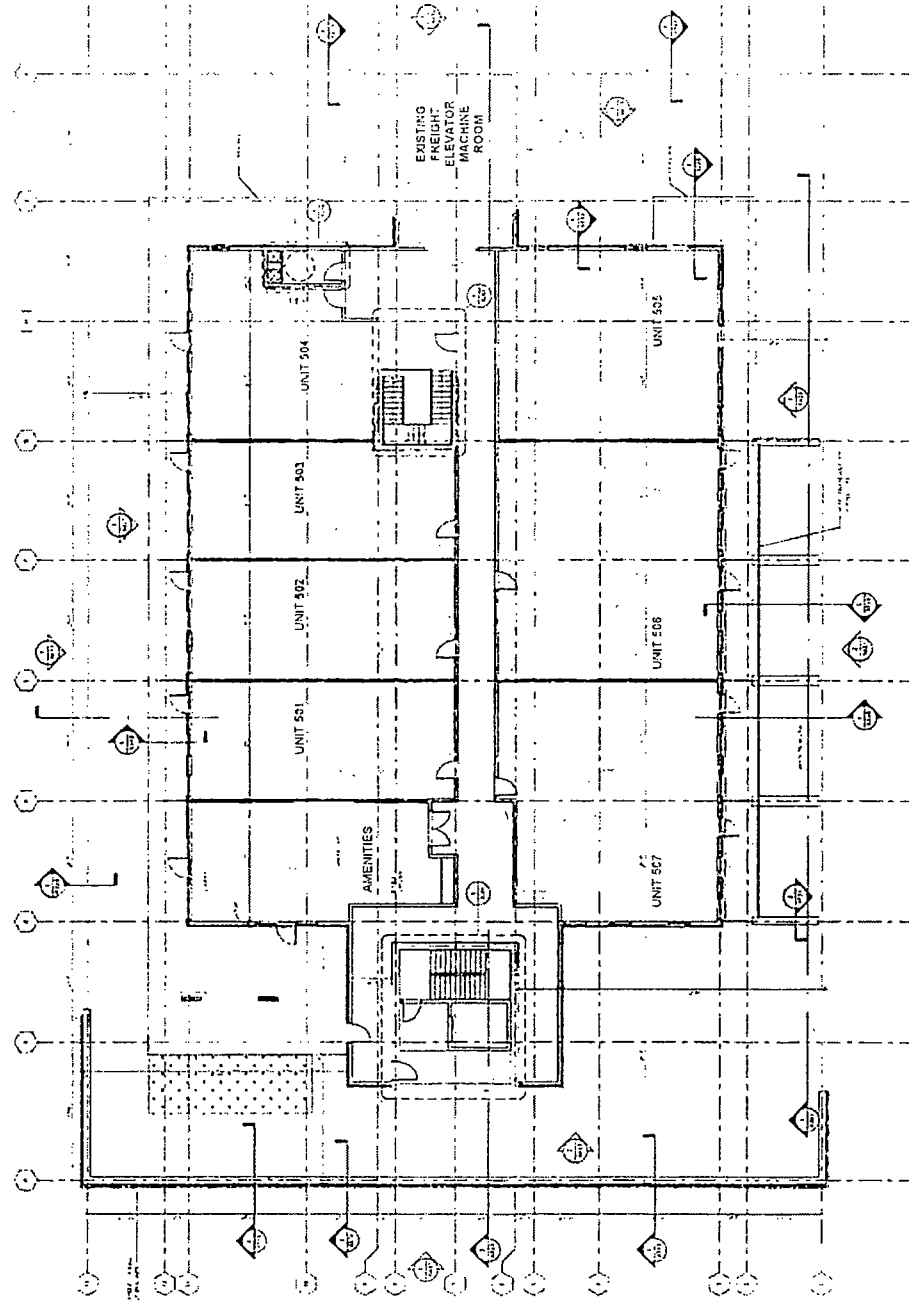
FLOOR PLAN



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.

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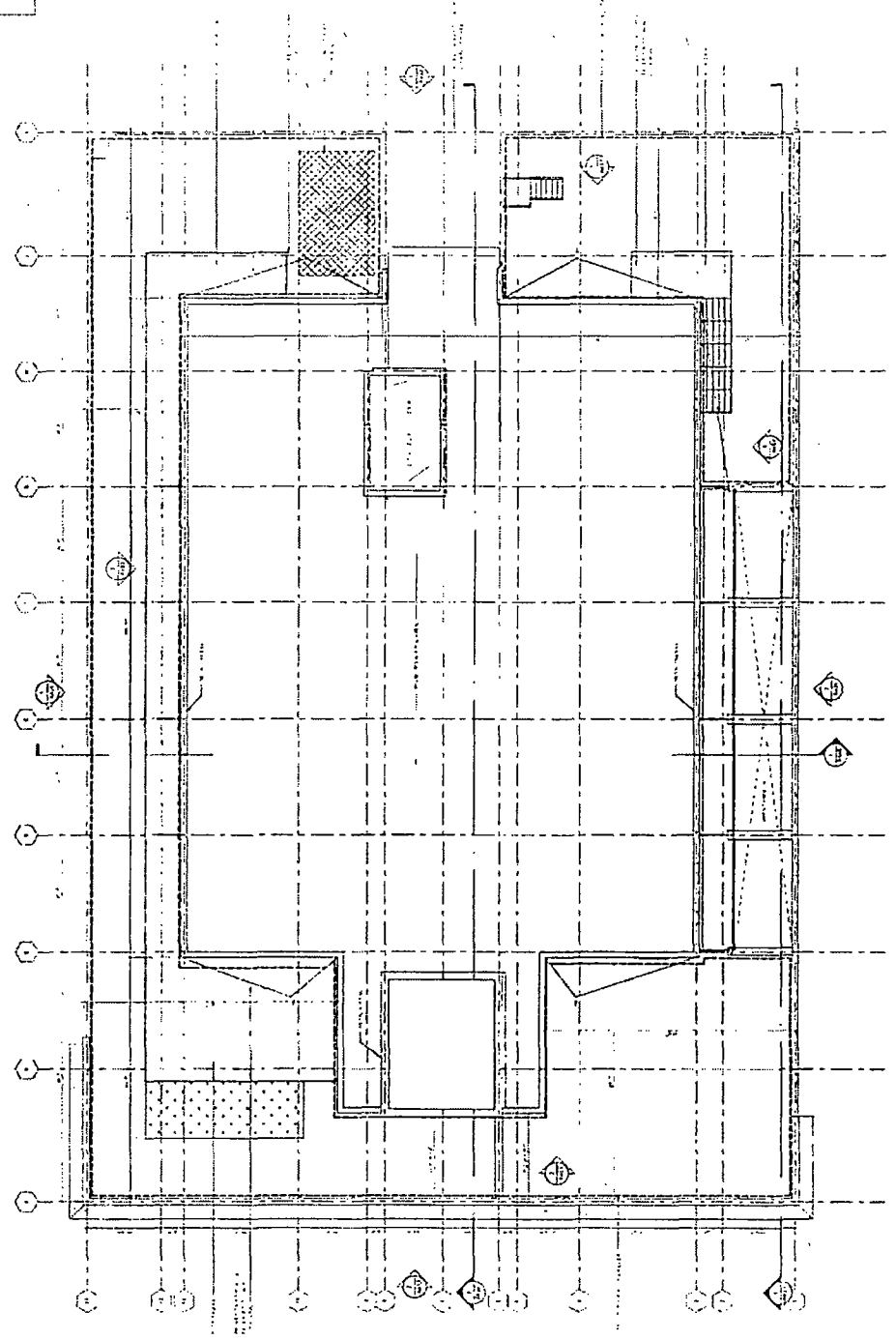
LOCALITY: UNIT 501

GENERAL NOTES
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
7. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

2915 S WASH AVENUE
S.W. CORNER 14TH ST. & WASH AVENUE
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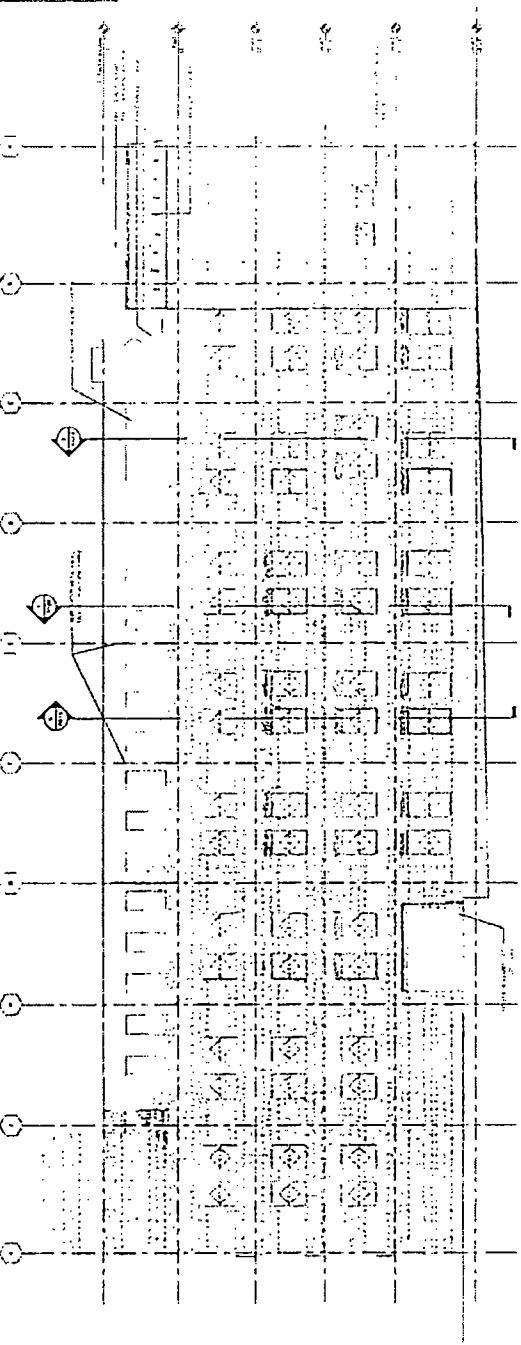
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PROF PLAN

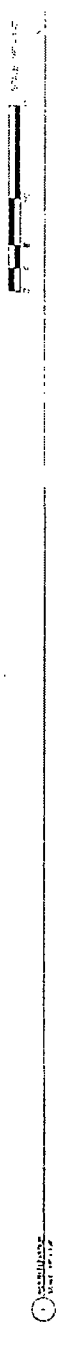


GENERAL NOTES - EXTERIOR ELEVATIONS
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISH GRADE SHALL BE AS SHOWN ON THE SITE PLAN.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE SPECIFICATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL MAINTAIN THE SURFACE OF ALL ADJACENT ROADS AND DRIVEWAYS.
8. THE CONTRACTOR SHALL MAINTAIN THE SURFACE OF ALL ADJACENT SIDEWALKS AND CURBS.
9. THE CONTRACTOR SHALL MAINTAIN THE SURFACE OF ALL ADJACENT LANDSCAPING.
10. THE CONTRACTOR SHALL MAINTAIN THE SURFACE OF ALL ADJACENT TREES AND SHRUBS.

Engberg
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Seattle, WA 98109
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www.engberganderson.com



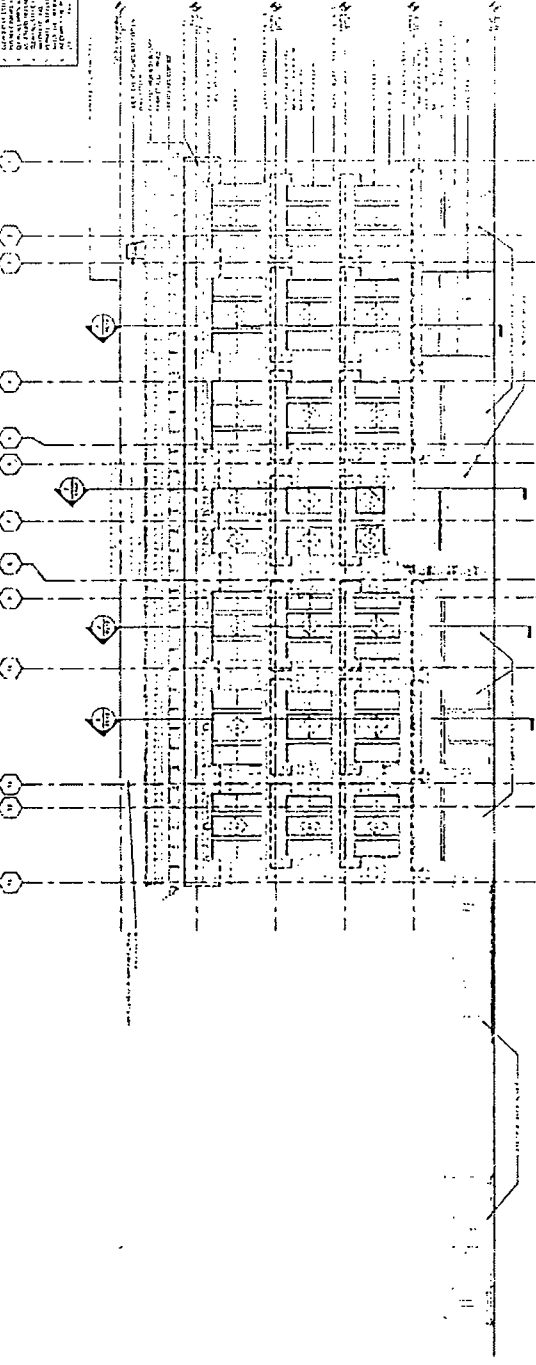
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2015 5th Street - 1st Floor



GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL EXTERIOR SURFACES SHALL BE FINISHED WITH THE MATERIALS AND CONDITIONS SHOWN ON THE EXTERIOR ELEVATIONS.
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NOT FOR CONSTRUCTION

2015 5th Street - 1st Floor

