



City of Chicago



O2019-5527

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	7/24/2019
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 7-H at 2333 W Montana St - App No. 20080T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2, Limited Manufacturing/ Business Park symbols and indications as shown on Map No. 7-H in an area bound by

A line 243 feet east of and parallel to North Western Avenue; West Montana Street; a line 267 feet east of and parallel to North Western Avenue; and the public alley next south of and parallel to West Montana Street

to those of a RT-4, Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

Common Address of Property: 2333 West Montana Street

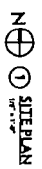
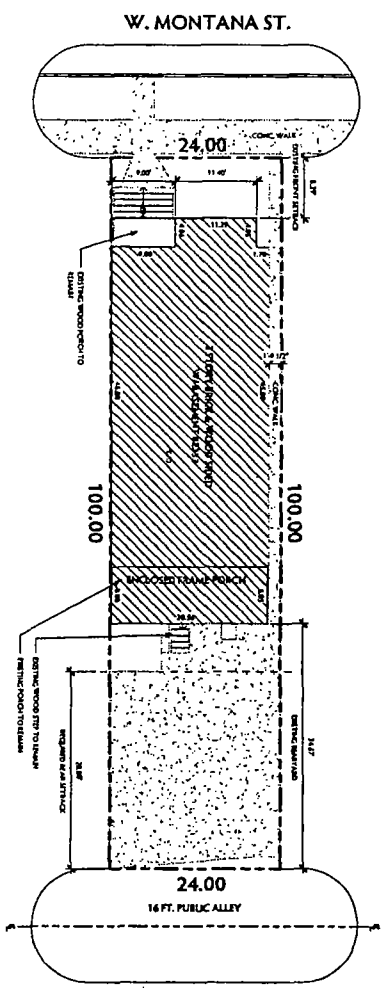
NARRATIVE & PLANS – 2333 West Montana Street

M1-2 to RT-4

The subject property is currently zoned for Manufacturing. The subject property is currently all residential, which is not a permitted use in a Manufacturing District. The existing 2-story, 2 dwelling unit building will remain with no changes. The applicant wishes to rezone the property to legalize the current use. There is no planned commercial space and no on-site parking at the subject property.

FAR	1.01
Lot Area	2,400 Square Feet
Building Area	2,431 Square Feet
Building Height	25 Feet 6¾ Inches
Front Setback	8 Feet 3½ Inches
Rear Setback	34 Feet 8 Inches
East side Setback	1 Foot 9½ Inches
West side Setback	0 Feet 0 Inches
Parking	0 Parking Spaces

2333 W MONTANA STREET CHICAGO IL. 60647



GENERAL NOTE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS AND SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS AND SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS AND SAFETY.

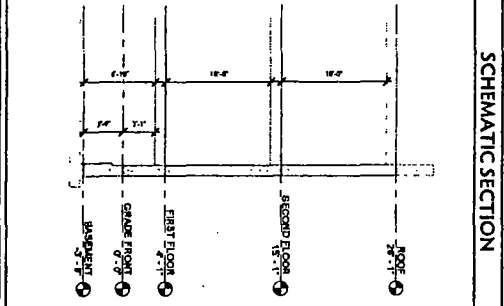
CERTIFICATION
 I, THE ARCHITECT, HEREBY CERTIFY THAT THE DRAWINGS AND SPECIFICATIONS ARE A TRUE AND CORRECT REPRESENTATION OF THE WORK TO BE DONE AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS.

PROJECT
 2333 W MONTANA STREET
 CHICAGO, ILLINOIS 60647

DATE
 08/15/2018

ZONING REQUIREMENTS

NO.	DESCRIPTION	REQUIREMENT
1	ZONING DISTRICT	RES-1
2	PERMITTED USES	RESIDENTIAL SINGLE-FAMILY DWELLING
3	MINIMUM LOT AREA	10,000 SQ. FT.
4	MINIMUM FRONT YARD SETBACK	25 FT.
5	MINIMUM SIDE YARD SETBACK	5 FT.
6	MINIMUM REAR YARD SETBACK	5 FT.
7	MINIMUM FRONT YARD SETBACK FOR PORCHES	5 FT.
8	MINIMUM FRONT YARD SETBACK FOR DECKS	5 FT.
9	MINIMUM FRONT YARD SETBACK FOR PATIOS	5 FT.
10	MINIMUM FRONT YARD SETBACK FOR STAIRS	5 FT.
11	MINIMUM FRONT YARD SETBACK FOR WALLS	5 FT.
12	MINIMUM FRONT YARD SETBACK FOR FENCES	5 FT.
13	MINIMUM FRONT YARD SETBACK FOR SIGNAGE	5 FT.
14	MINIMUM FRONT YARD SETBACK FOR LIGHT FIXTURES	5 FT.
15	MINIMUM FRONT YARD SETBACK FOR AIR CONDITIONING UNITS	5 FT.
16	MINIMUM FRONT YARD SETBACK FOR HEATING UNITS	5 FT.
17	MINIMUM FRONT YARD SETBACK FOR EXHAUST FANS	5 FT.
18	MINIMUM FRONT YARD SETBACK FOR EXHAUST HOODS	5 FT.
19	MINIMUM FRONT YARD SETBACK FOR EXHAUST DUCTS	5 FT.
20	MINIMUM FRONT YARD SETBACK FOR EXHAUST CHIMNEYS	5 FT.
21	MINIMUM FRONT YARD SETBACK FOR EXHAUST STACKS	5 FT.
22	MINIMUM FRONT YARD SETBACK FOR EXHAUST TOWER	5 FT.
23	MINIMUM FRONT YARD SETBACK FOR EXHAUST CURB	5 FT.
24	MINIMUM FRONT YARD SETBACK FOR EXHAUST WALL	5 FT.
25	MINIMUM FRONT YARD SETBACK FOR EXHAUST ROOF	5 FT.
26	MINIMUM FRONT YARD SETBACK FOR EXHAUST GROUND	5 FT.
27	MINIMUM FRONT YARD SETBACK FOR EXHAUST CURB	5 FT.
28	MINIMUM FRONT YARD SETBACK FOR EXHAUST WALL	5 FT.
29	MINIMUM FRONT YARD SETBACK FOR EXHAUST ROOF	5 FT.
30	MINIMUM FRONT YARD SETBACK FOR EXHAUST GROUND	5 FT.



SCOPE OF WORK

WORK AREA

FLOOR	AREA (SQ. FT.)
FIRST FLOOR	2412
SECOND FLOOR	2412
THIRD FLOOR	2412
TOTAL	7236

LOCATION MAP

INDEX OF DRAWINGS

NO.	TITLE
1	GENERAL NOTES
2	PERMITS
3	SCHEMATIC SECTION
4	WORK AREA
5	LOCATION MAP
6	EXIT REQUIREMENTS
7	ZONING REQUIREMENTS
8	2018 ELECTRICAL CODE

REVISIONS

NO.	DATE	DESCRIPTION
1	08/15/2018	ISSUED FOR PERMITS

PERMIT # 0000000000

TITLE SHEET

T100

PMPC ARCHITECTS

577 S. MICHIGAN ST. SUITE 402
 CHICAGO, IL 60607

OWNER: 112 WYOMING
 CHICAGO, IL 60647

DATE: 08/15/2018

PROJECT: 2333 W. MONTANA STREET
 CHICAGO, IL 60647

SCALE: AS SHOWN

DATE: 08/15/2018

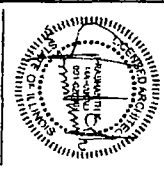
PROJECT: 2333 W. MONTANA STREET
 CHICAGO, IL 60647

SCALE: AS SHOWN

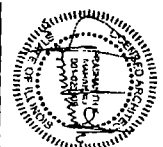
DATE: 08/15/2018

PROJECT: 2333 W. MONTANA STREET
 CHICAGO, IL 60647

SCALE: AS SHOWN



NOT FOR CONSTRUCTION
 VALIDATED PERMIT BY
 AMERICAN ARCHITECTS



PMPC
 ARCHITECTS

OFFICE: 712 W. 25th St.
 CHICAGO, IL 60608
 TEL: 312.467.1111
 FAX: 312.467.1112
 2377 S. Wabash, Suite 402
 Chicago, IL 60607

REVISIONS		
NO.	DATE	DESCRIPTION

REVISION	DATE	DESCRIPTION

2333 W. MONTANA
 STREET CHICAGO, IL
 60647

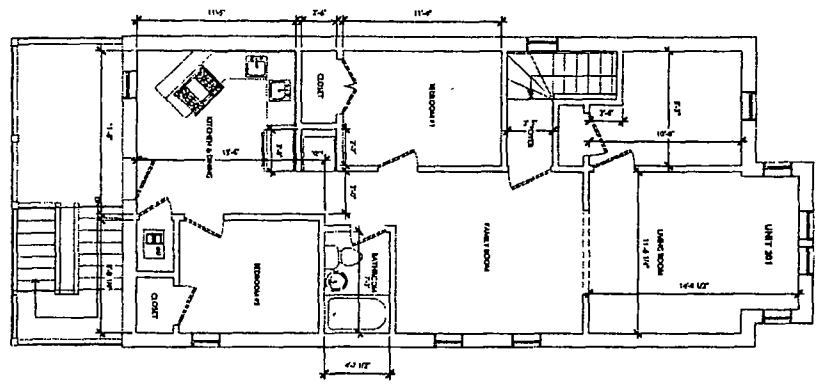
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FLOOR PLANS

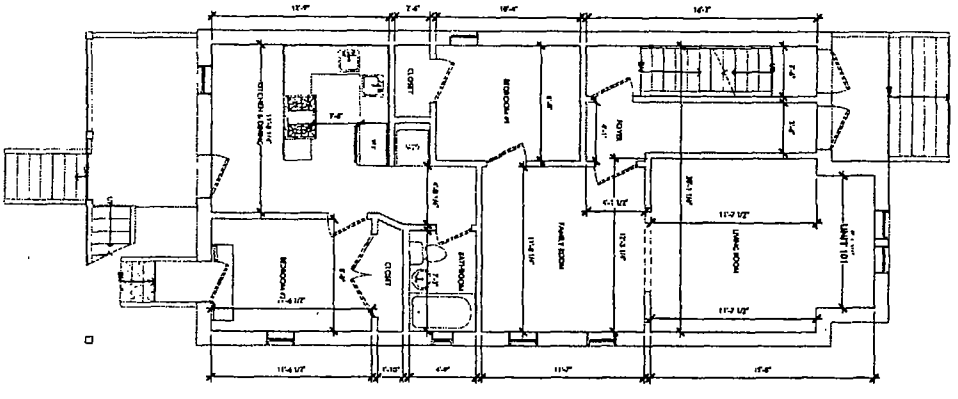
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PHASE LEGEND

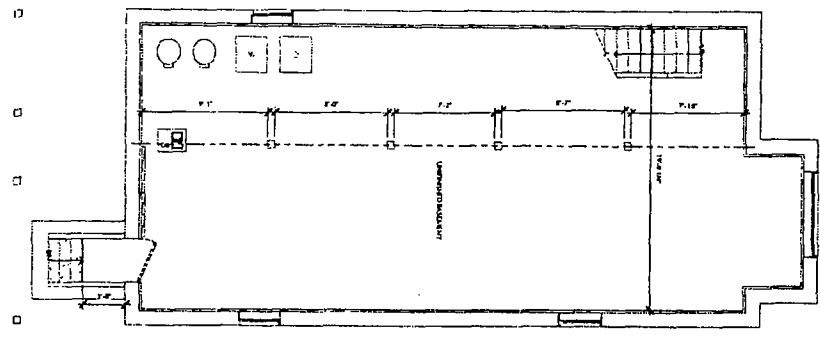
- EXISTING STRUCTURE
- STRUCTURE TO BE REMOVED
- ADAPTIVE NEW WORK



③ SECOND FLOOR



② FIRST FLOOR



① BASEMENT

