



City of Chicago



SO2016-4783

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	6/22/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 727 N Milwaukee Ave - App No. 18864T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the M1-3 Limited Manufacturing/Business Park District symbols and indications as shown on Map No 1-G in the area bounded by

the alley next south of and parallel to West Chicago Avenue; North Morgan Street; North Milwaukee Avenue; a line 61.73 northwest of and parallel to North Morgan Street; and a line 77.15 feet west of and parallel to North Morgan Street,

to those of a DX-5 Downtown Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 727 North Milwaukee Avenue

1886471

17-13-0303-C (1) Narrative Zoning Analysis *Substitute Plans, Narrative and Ordinance*
727 North Milwaukee Avenue, Chicago, Illinois

Proposed Zoning: DX-5 Downtown Mixed-Use District

Lot Area: 7,470 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the construction of a new two-story (with roof deck) mixed-use building at the subject site. The existing one-story building will be razed to allow for the new development. The new proposed building will contain retail space (3,746 square feet) - at grade-level, with additional office and/or retail space (3,515 square feet) – above (2nd floor). The Applicant also intends on locating a roof deck, above the 2nd floor, for the exclusive use of the building's tenants. No onsite parking is required or intended for the proposed building. The new building will be masonry and glass in construction and measure 47 feet-0 inches in height.

- (A) The Project's Floor Area Ratio:
9,296 square feet (1.24 FAR)
- (B) The Project's Density (Lot Area Per Dwelling Unit): No residential units
- (C) The amount of off-street parking:
Zero (0)
- (D) Setbacks:
 - a. Front Setback: 5 feet-2 inches
 - b. Rear Setback: 0 feet-0 inches
 - c. Side Setbacks:
 - North: 0 feet-0 inches
 - South: 0 feet-0 inches
- (E) Building Height:
47 feet-0 inches

FINAL FOR PUBLICATION

SITE NOTES

1. THE INTENT OF THE SITE PLAN IS TO LOCATE THE EXISTING AND PROPOSED BUILDINGS AND UTILITIES AND LANDSCAPE ELEMENTS FOR THE PROPOSED PROJECT. THE SITE PLAN IS NOT TO BE CONSIDERED AS A CONTRACT DOCUMENT. THE CONTRACT DOCUMENTS SHALL BE THE GOVERNING DOCUMENTS FOR THE PROJECT.
2. SEE CIVIL DRAWINGS FOR FIRST FLOOR ELEVATION.
3. FIRST FLOOR ELEVATION IS BASED ON:
 - A. COORDINATE ALL FLOORING UTILITIES.

FitzGerald
 ARCHITECTURAL ARCHITECTS
 1100 N. LAUREL STREET
 CHICAGO, ILL. 60610
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 FAX: 312.467.1101
 WWW: FITZGERALDARCHITECTS.COM

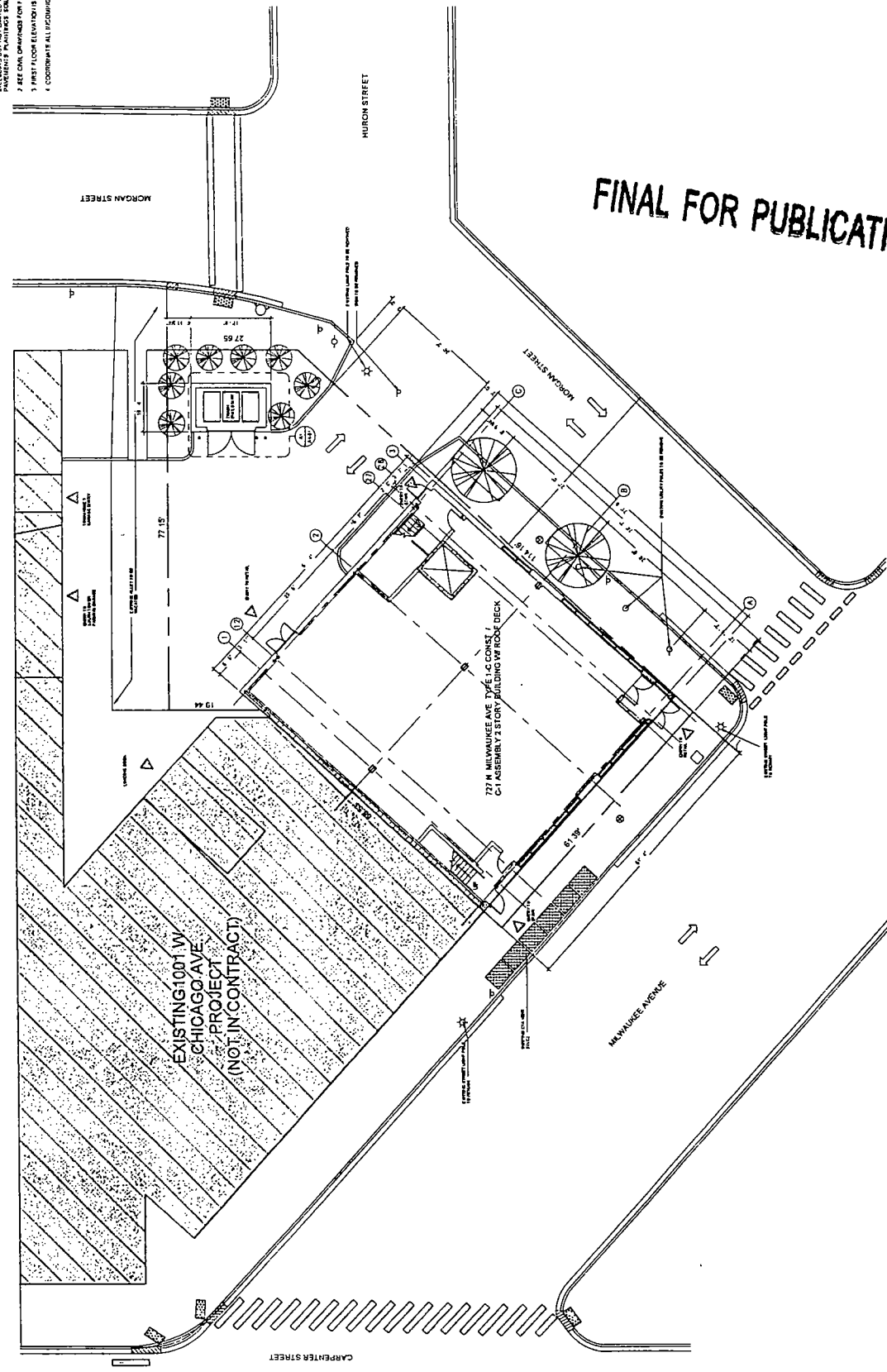
15130
 727 N Milwaukee Ave.
 727 N Milwaukee Ave.

CLIENT
Bond Companies
 330 W Hubbard Street Suite 450
 Chicago, IL 60654

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/11/11

SITE PLAN

A0-01



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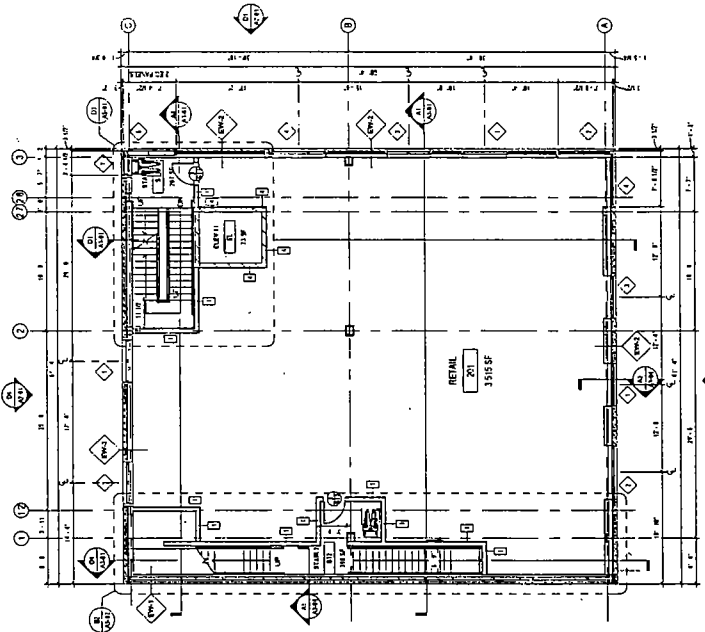
A1 SITE PLAN
 1" = 10'-0"

PLAN NOTES

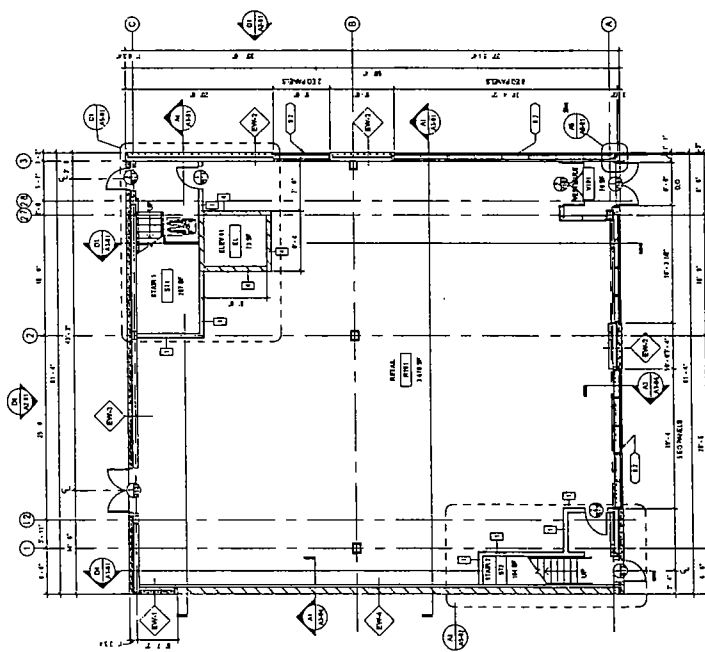
- 1. SEE STRUCTURAL DRAWINGS FOR DETAILS OF VERTICAL STRUCTURAL ELEMENTS.
- 2. CONCRETE SHALL BE CAST IN PLACE.
- 3. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- 4. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
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- 9. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- 10. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.

KEYNOTES

COMPANION SYSTEM



2ND FLOOR PLAN
 1/8" = 1'-0"



1ST FLOOR PLAN
 1/8" = 1'-0"

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15130
 727 N
 Milwaukee Ave
 727 N Milwaukee Ave

CLIENT
 Bond Companies
 350 W Hubbard Street Suite 400
 Chicago, IL 60654

PROJECT NO: 177N MILWAUKEE AVE
 DATE: 12/12/19

FLOOR PLANS
 A1-01

EL. +0.0' BUILDING REFERENCE DATUM
 *+1370 CITY OF CHICAGO DATUM (ICCD)



PLAN NOTES

- 1. SEE STRUCTURAL PLANS FOR DIMENSIONS OF VERTICAL STRUCTURAL ELEMENTS.
- 2. ALL INTERIOR PARTITIONS AND INTERIOR WALLS SHALL BE FINISHED TO MATCH EXISTING INTERIOR PARTITIONS.
- 3. ALL EXTERIOR WALLS SHALL BE FINISHED TO MATCH EXISTING EXTERIOR WALLS.
- 4. ALL EXTERIOR WALLS SHALL BE FINISHED TO MATCH EXISTING EXTERIOR WALLS.
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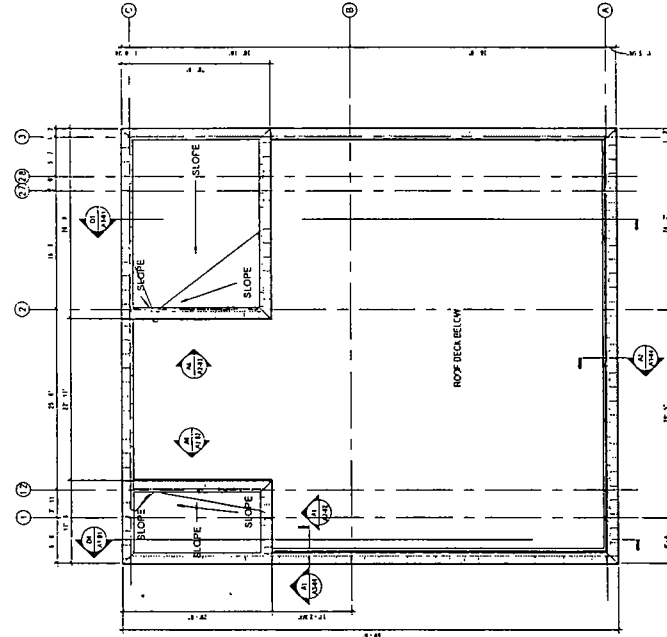
KEYNOTES

FitzGerald
 ASSOCIATES, ARCHITECTS
 200 W. WASHINGTON
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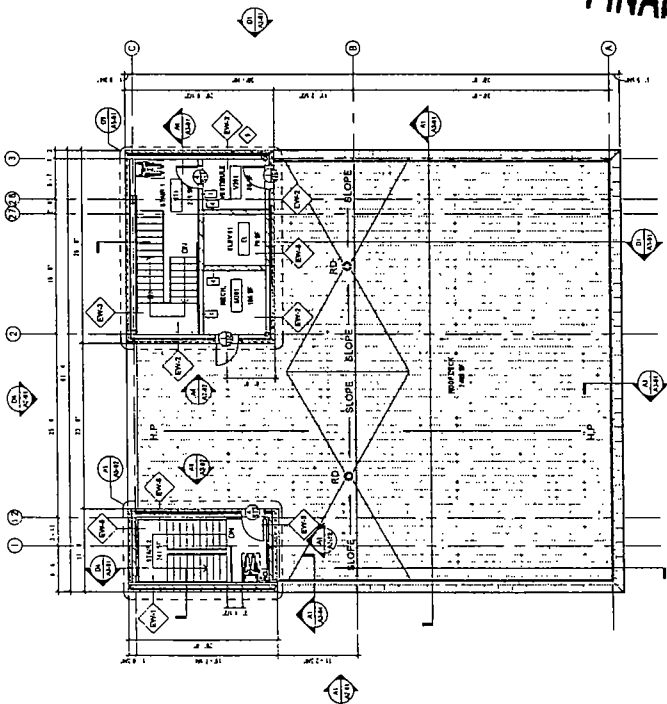
15130
 727 N Milwaukee Ave
 Milwaukee Ave
 727 N Milwaukee Ave
 CLIENT: Bond Companies
 200 W. Hubbard Street Suite 400
 Chicago, IL 60654

Project No: 15130
 Date: 11/11/11
 Designer: JLM
 Checker: JLM

ROOF PLAN
 A1-02

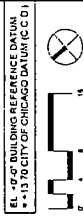


B4 PENTHOUSE ROOF PLAN
 1/8" = 1'-0"



B1 3RD FLOOR PLAN / ROOF DECK PLAN
 1/8" = 1'-0"

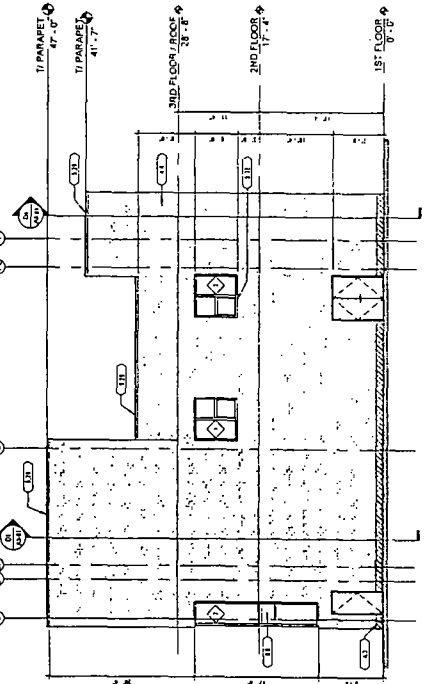
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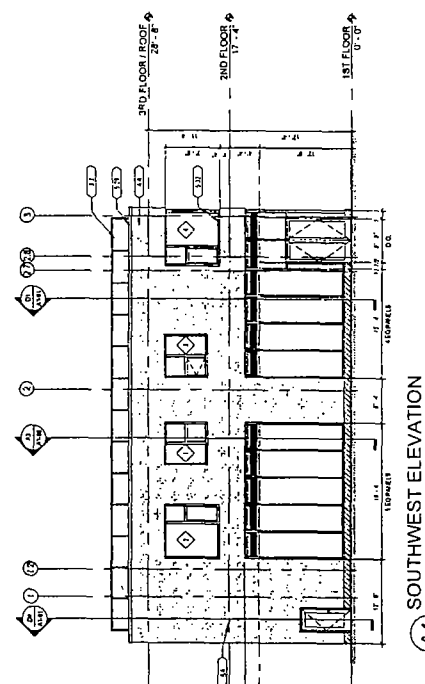
61 - 1570' BUILDING REFERENCE DATUM
 62 - 1570' CITY OF CHICAGO DATUM (C.C.D.)

ELEVATION NOTES

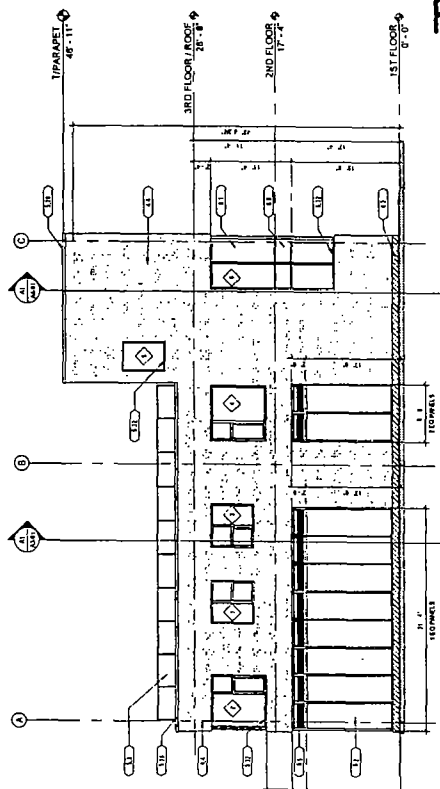
1. KEYNOTE SYMBOLS ON THE DRAWING ARE TYPICAL FOR ALL BUILDING CONDITIONS UNLESS NOTED OTHERWISE.
2. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.
3. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.
4. SEE TO CORROSION PROTECTING METALS FROM WEATHERING AND CHEMICALS.
5. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.
6. GENERAL ELEMENTS OF A BRICK VENEER SHALL BE AS FOLLOWS: BRICK SHALL BE FULL BODY AND SHALL BE LAYED IN A COURSE WITH A COURSE OF SOLID MASONRY ABOVE AND BELOW. BRICK SHALL BE LAYED IN A COURSE WITH A COURSE OF SOLID MASONRY ABOVE AND BELOW. BRICK SHALL BE LAYED IN A COURSE WITH A COURSE OF SOLID MASONRY ABOVE AND BELOW.
7. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.
8. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.
9. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.
10. REFER TO THE ARCHITECT'S GENERAL NOTES FOR A COMPLETE LIST OF MATERIALS AND METHODS OF CONSTRUCTION.



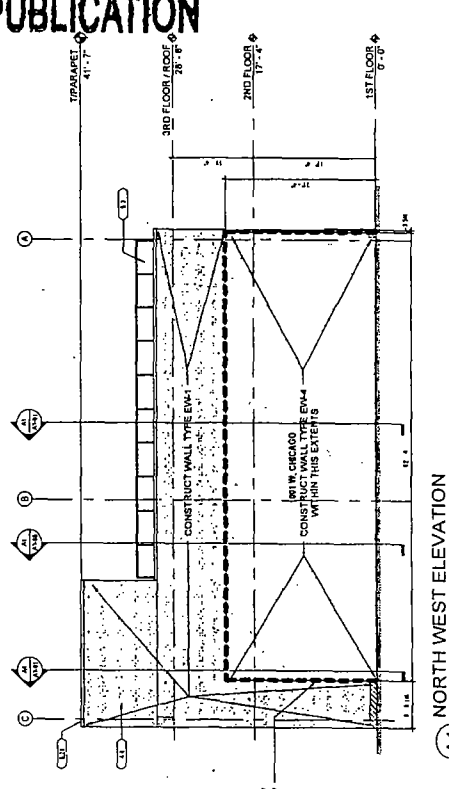
(D4) NORTHEAST ELEVATION
1/8" = 1'-0"



(A4) SOUTHWEST ELEVATION
1/8" = 1'-0"



(D1) SOUTHEAST ELEVATION
1/8" = 1'-0"



(A1) NORTH WEST ELEVATION
1/8" = 1'-0"

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Milwaukee Ave.
727 N Milwaukee Ave.

Client: **Bond Companies**
151 W. Michigan Street Suite 400
Chicago, IL 60654

KEYNOTES

- | | |
|----|--|
| 13 | CAST STONE BASE |
| 14 | FACE BRICK |
| 15 | BRICK VENEER |
| 16 | PREPARED ALUMINUM CORROSION PROTECTANT |
| 17 | ALUMINUM ANODIZED WALL SYSTEM |
| 18 | ALUMINUM ANODIZED WALL SYSTEM |
| 19 | ALUMINUM ANODIZED WALL SYSTEM |
| 20 | ALUMINUM ANODIZED WALL SYSTEM |

GLAZING TYPES

GLAZING TYPE 1

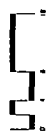
LEGEND

- 1. FACE BRICK VENEER
- 2. BRICK VENEER
- 3. BRICK VENEER
- 4. BRICK VENEER
- 5. BRICK VENEER
- 6. BRICK VENEER
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- 15. BRICK VENEER
- 16. BRICK VENEER
- 17. BRICK VENEER
- 18. BRICK VENEER
- 19. BRICK VENEER
- 20. BRICK VENEER

EXTERIOR ELEVATIONS

A2-01

11-10-07 BUILDING REFERENCE: 11-10-07
13-10-07 CITY OF CHICAGO DATUM (C.C.O.)



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