



City of Chicago



SO2015-6379

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/24/2015
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 1-G at 1033-1047 W Washington Blvd, 25-41 N Aberdeen Ave and 26-42 N Carpenter Ave - App No. 18488T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18488TI
INTRO DATE:
SEPT. 24, 2015

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the DX-3 Downtown Mixed-Use District symbols and indications as shown on Map 1-G

West Washington Boulevard; a line 250 feet east of and parallel to North Aberdeen Street; a line 165.33 feet south of and parallel to West Washington Boulevard; a line 125 feet east of and parallel to North Aberdeen Street; a line 175.33 feet south of and parallel to West Washington Boulevard; North Aberdeen Street.

to those of a DX-5 Downtown Mixed-Use District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Property Address: 1033-47 West Washington Boulevard; 25-41 North Aberdeen Street; 26-42 North Carpenter Street

WVBA
WARD
FILE #

SUBSTITUTE NARRATIVE AND PLANS

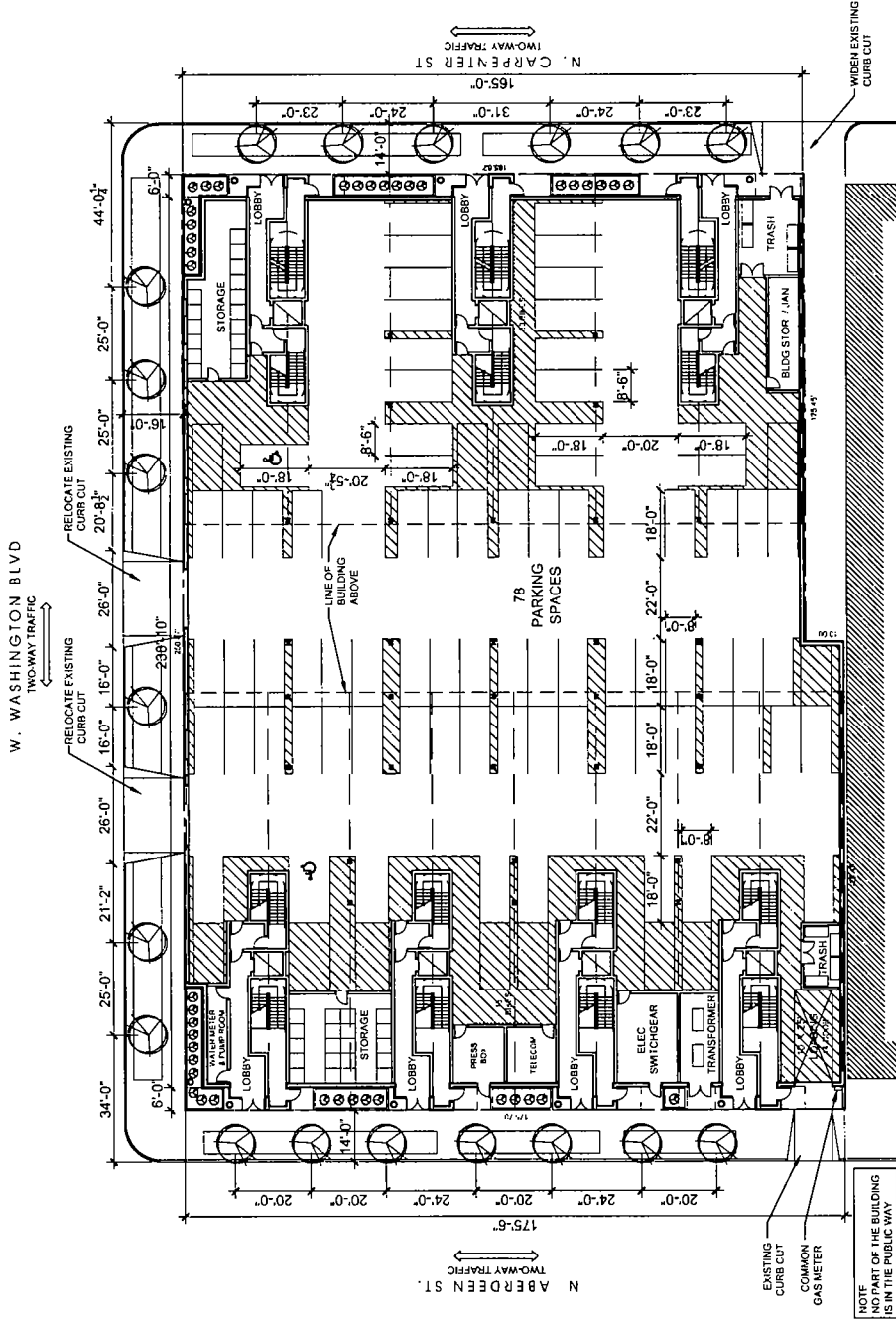
18488T1

- 1) **Property Address:** 1033-47 West Washington Boulevard; 25-41 North Aberdeen Street; 26-42 North Carpenter Street
- 2) **Lot Size:** 42,815.90 sq. ft.
- 3) **Project Description:** Six-story residential building containing seventy (70) dwelling units and on-site parking for seventy-eight (78) cars
- 4) **Zoning Amendment:** DX-3 Downtown Mixed-Use District to a DX-5 Downtown Mixed-Use District
- 5) **FAR:** 4.5 (190,720 sq. ft.)
- 6) **Minimum Lot Area:** 70 Dwelling Units (611.7 sq. ft.)
- 7) **Height:** 77'
- 8) **Front Setback (West):** 0'
Side Setback (North & South): 0'
Rear Setback (East): 0'
 - The Applicant will seek a Variation from the Zoning Board of Appeals for rear setback relief
- 9) **Parking (Auto):** 78
- 10) **Parking (Bike):** 39
- 11) **Loading Berth:** 1

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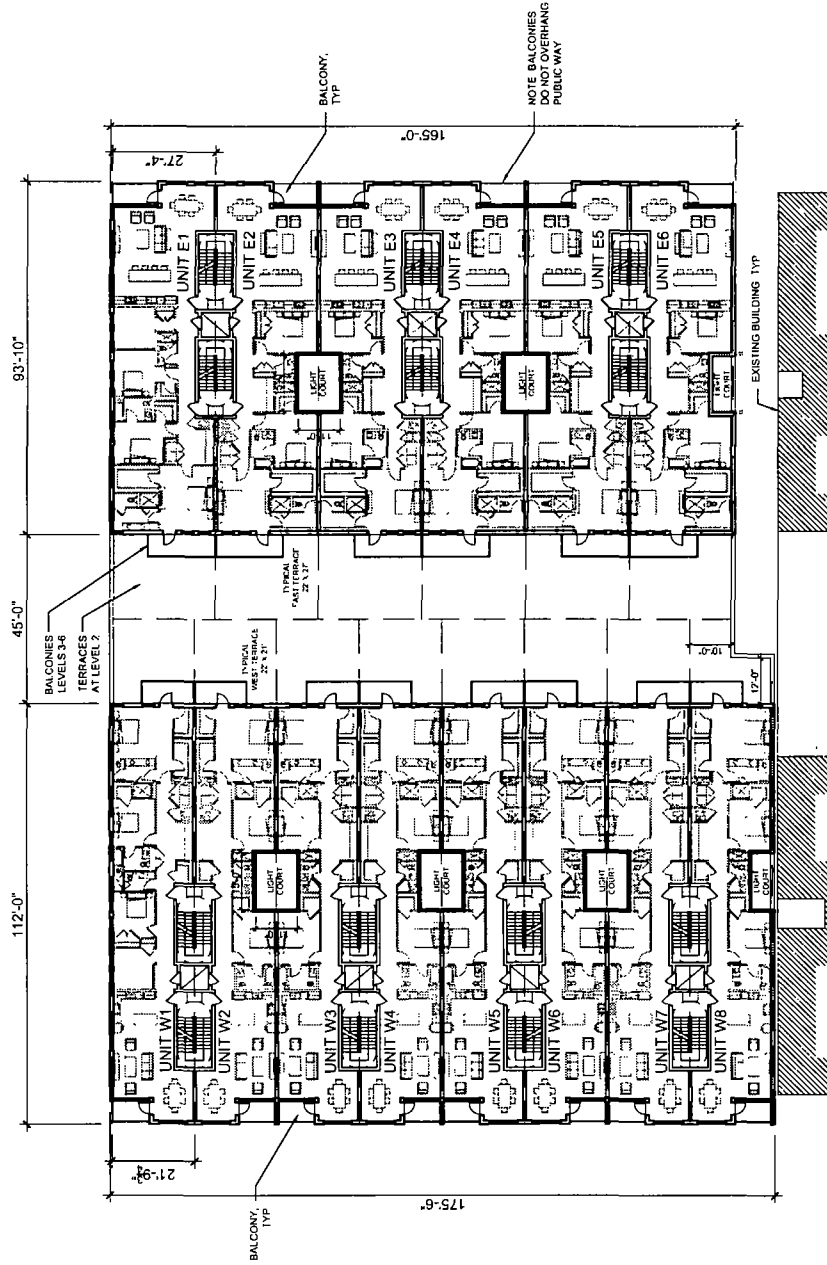


27-39 N. ABERDEEN ST.
28-40 N. CARPENTER ST.
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DEVELOPER

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PROPOSED TYPICAL
UPPER FLOOR PLAN

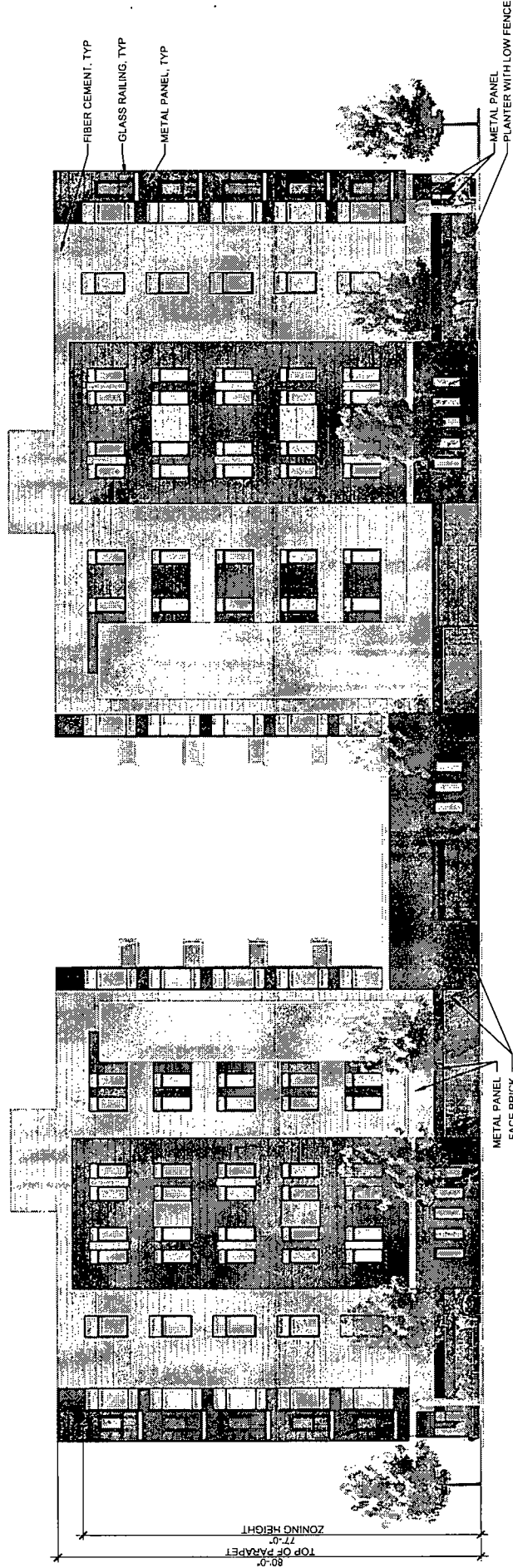


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PROPOSED NORTH ELEVATION



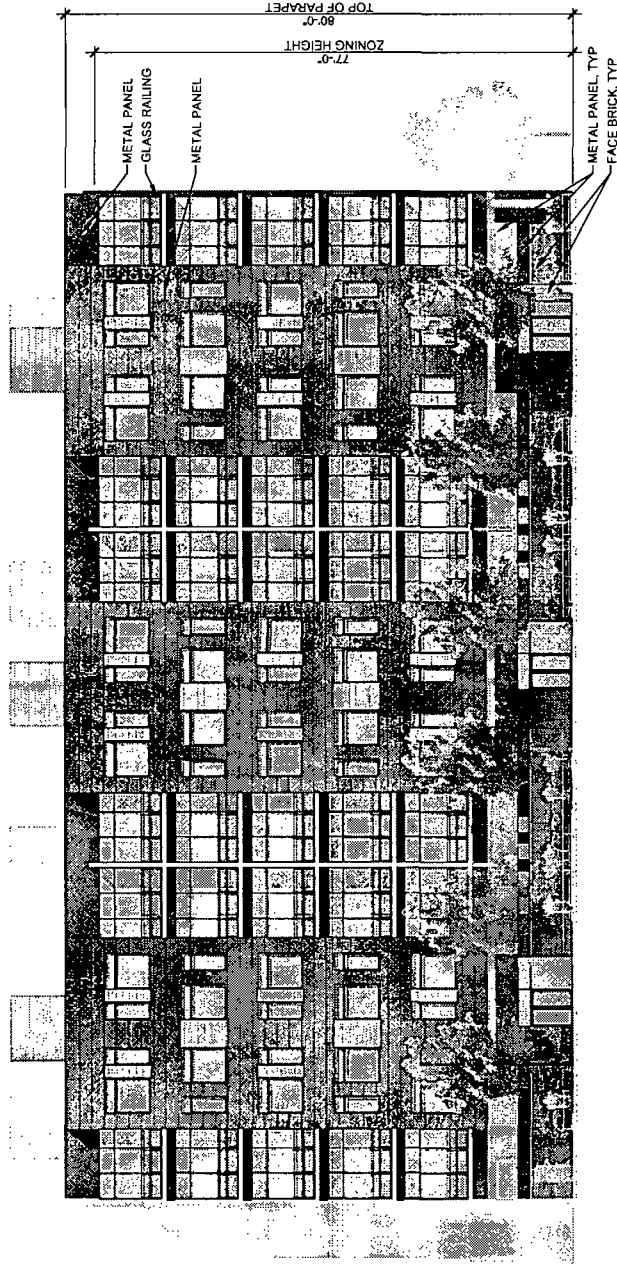
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PROPOSED EAST ELEVATION



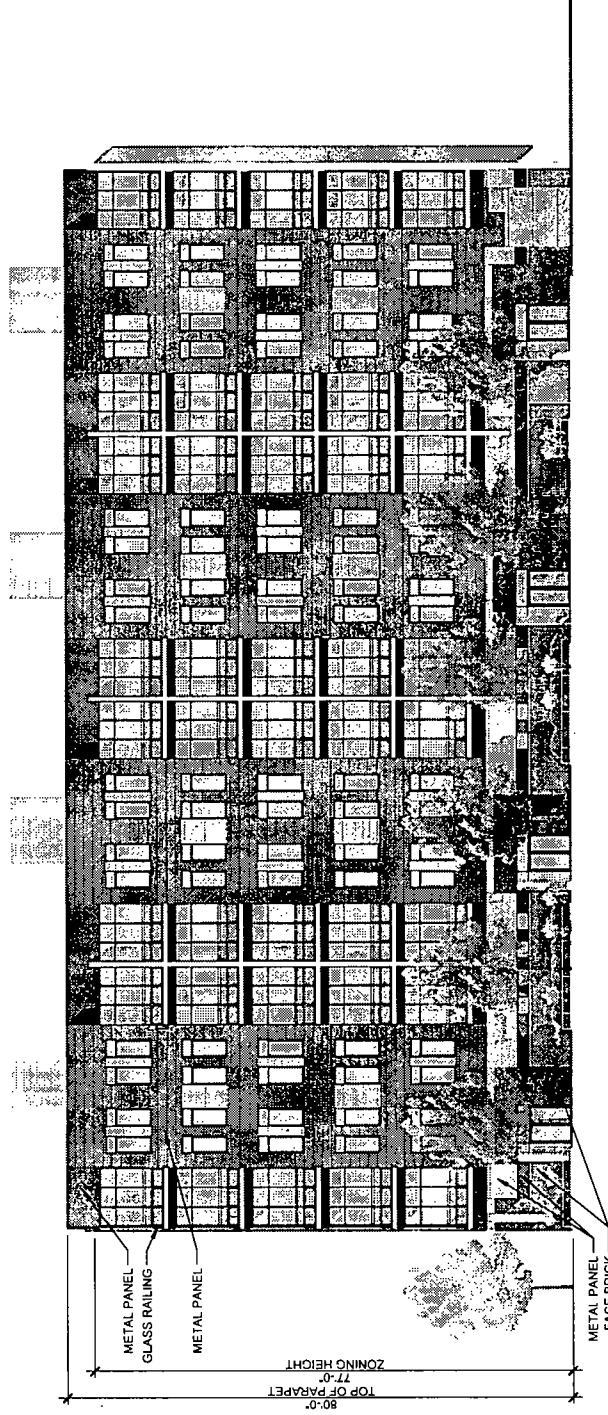
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PROPOSED WEST ELEVATION



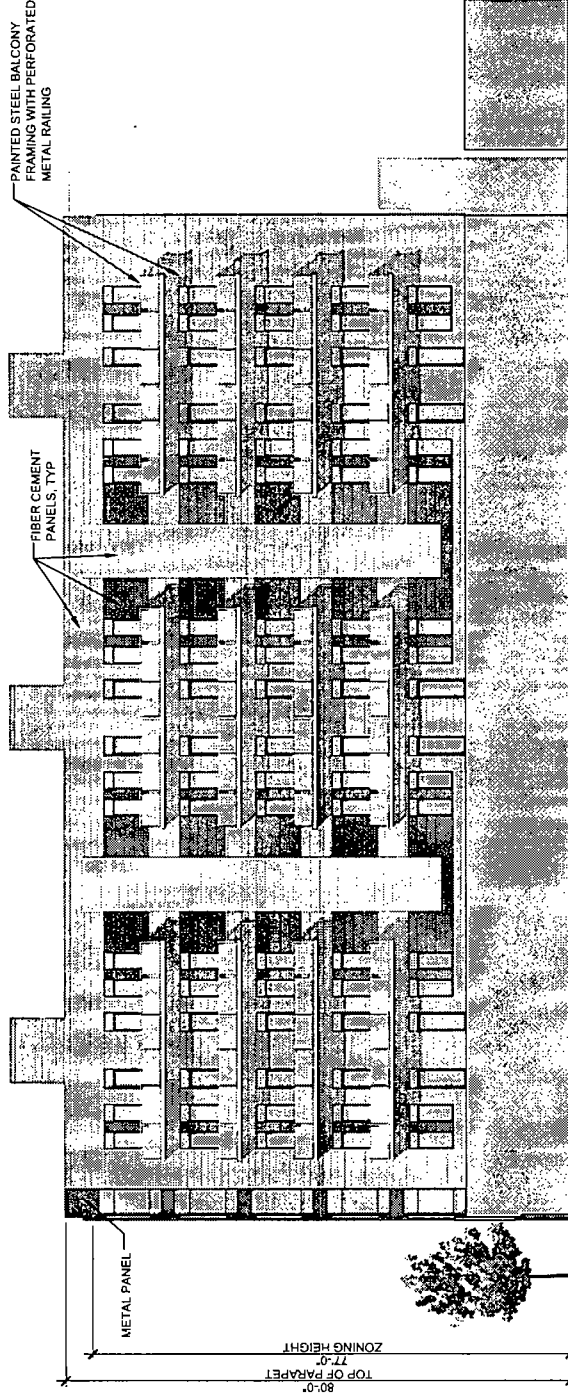
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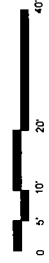
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PROPOSED COURTYARD ELEVATION



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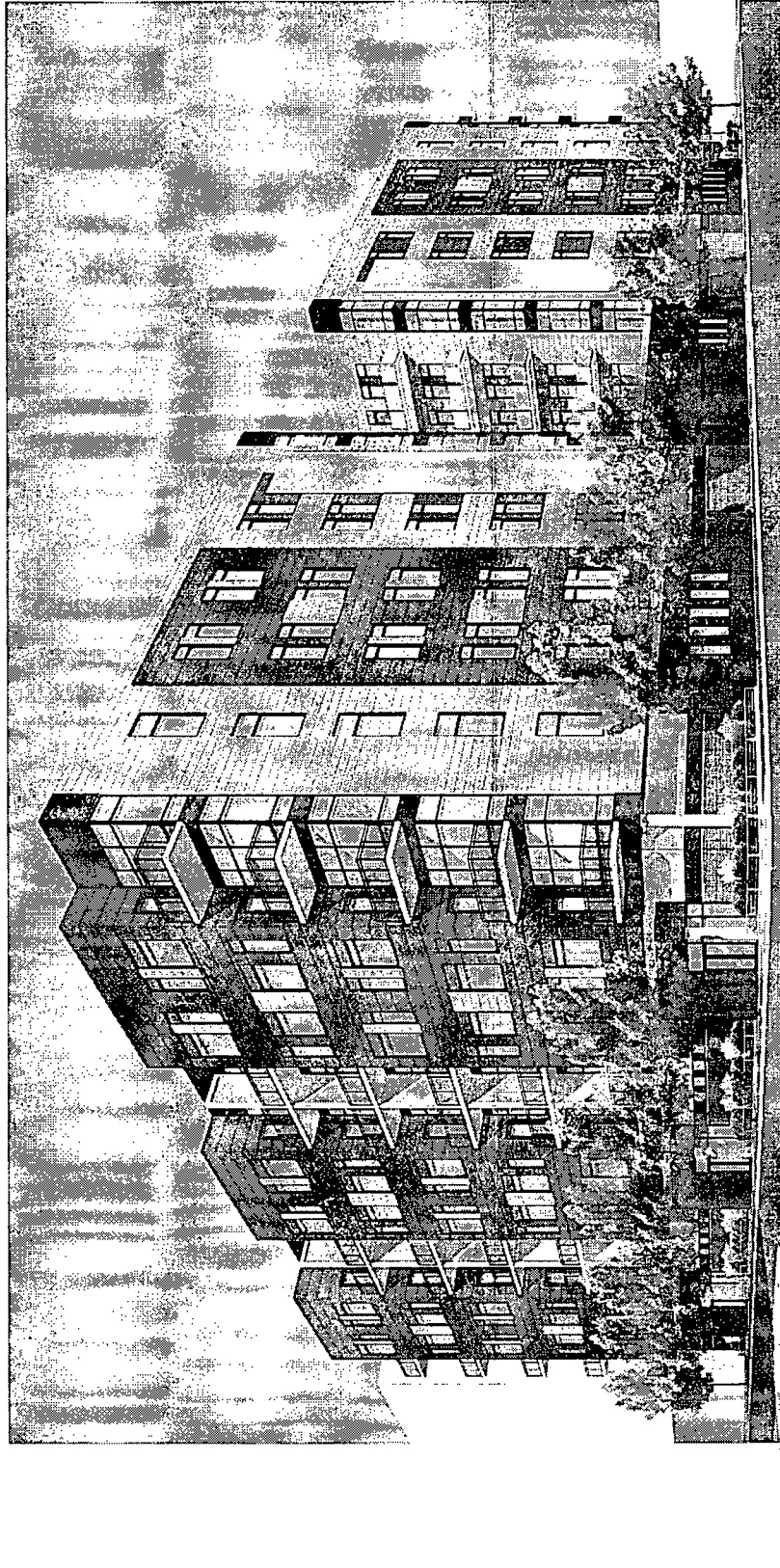
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VIEW FROM CORNER OF
WASHINGTON BLVD AND CARPENTER ST

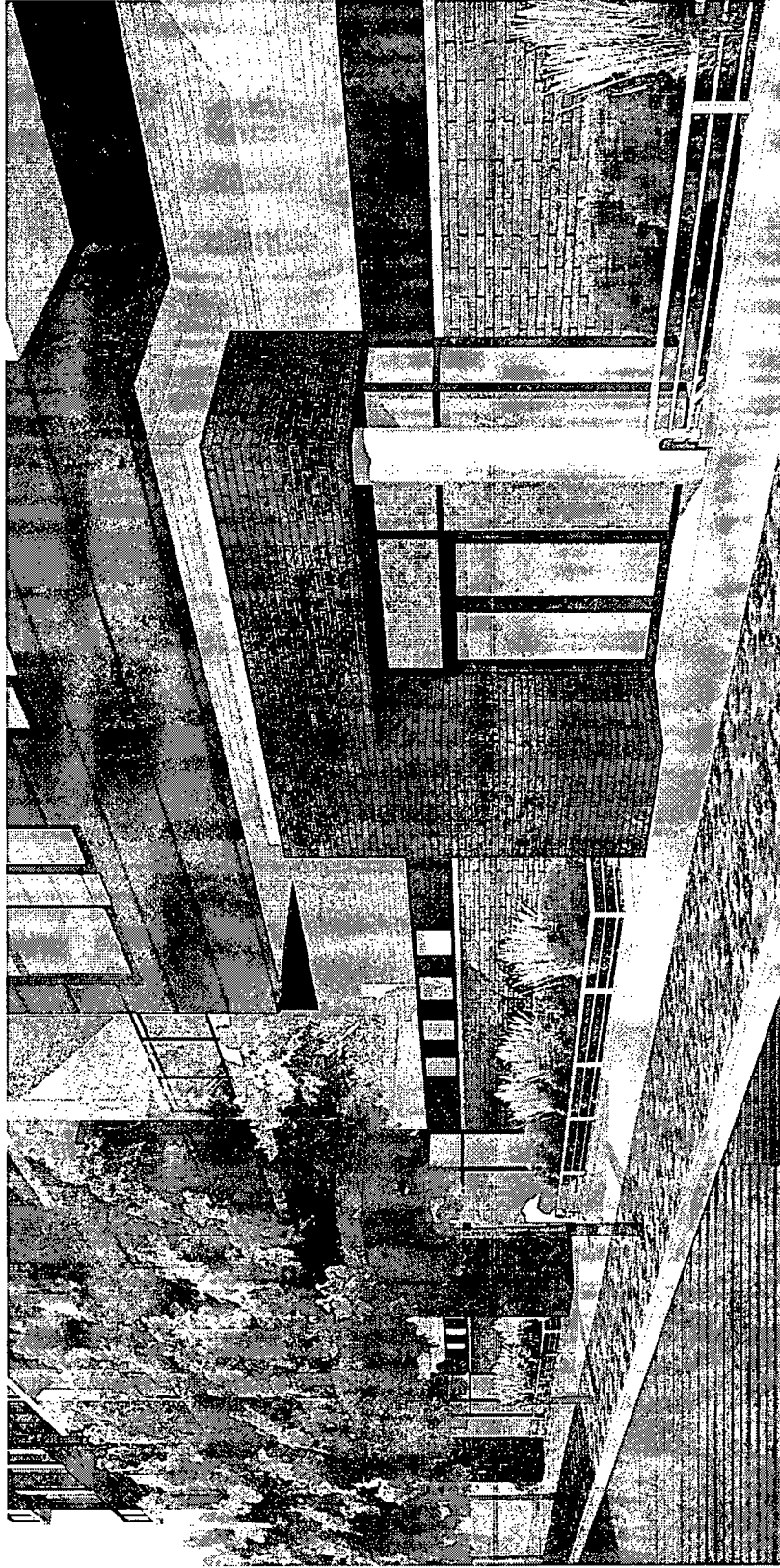
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CORPORATE CENTER SUITE 1000
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VIEW FACING SOUTH ON CARPENTER ST

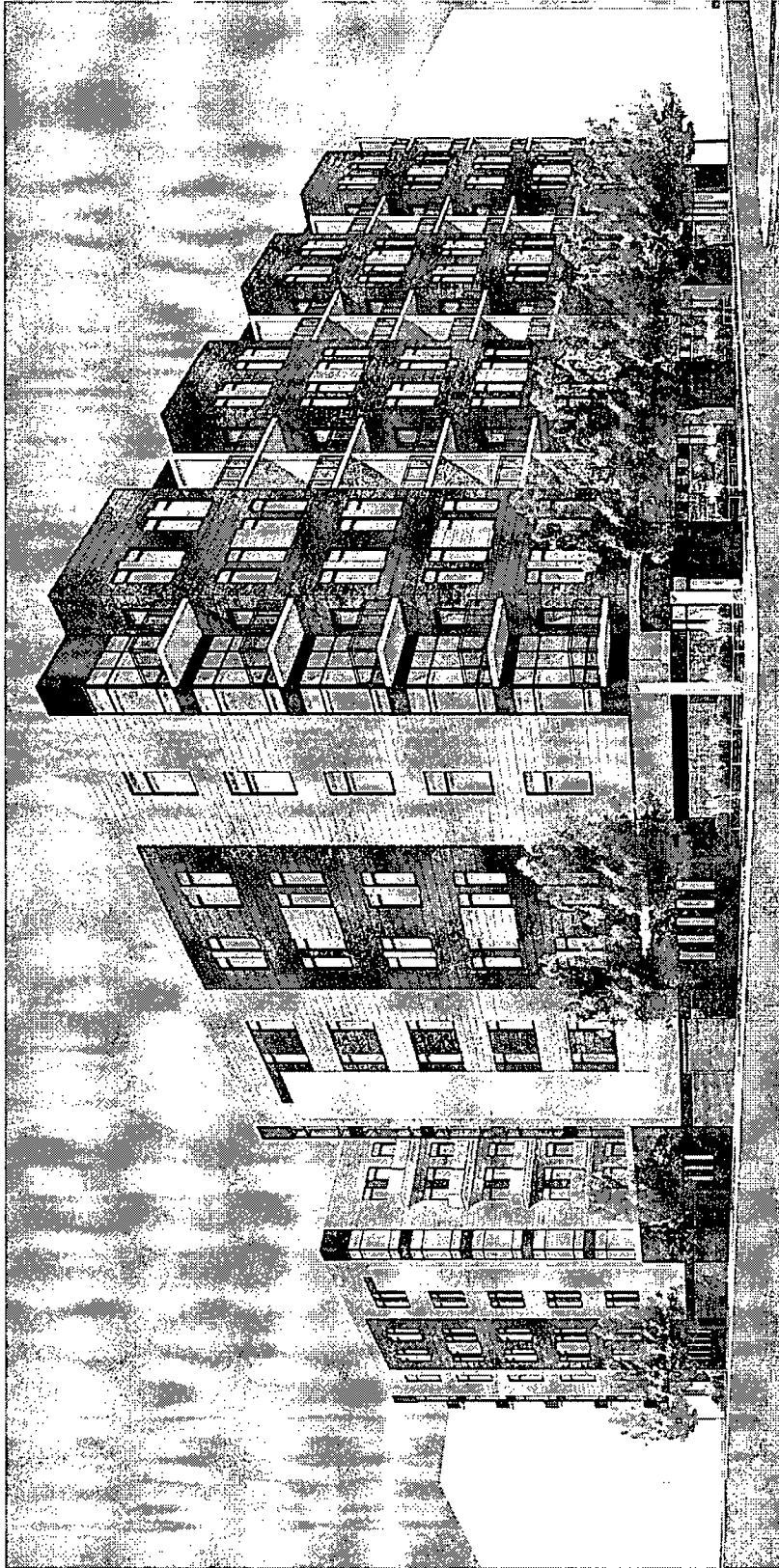
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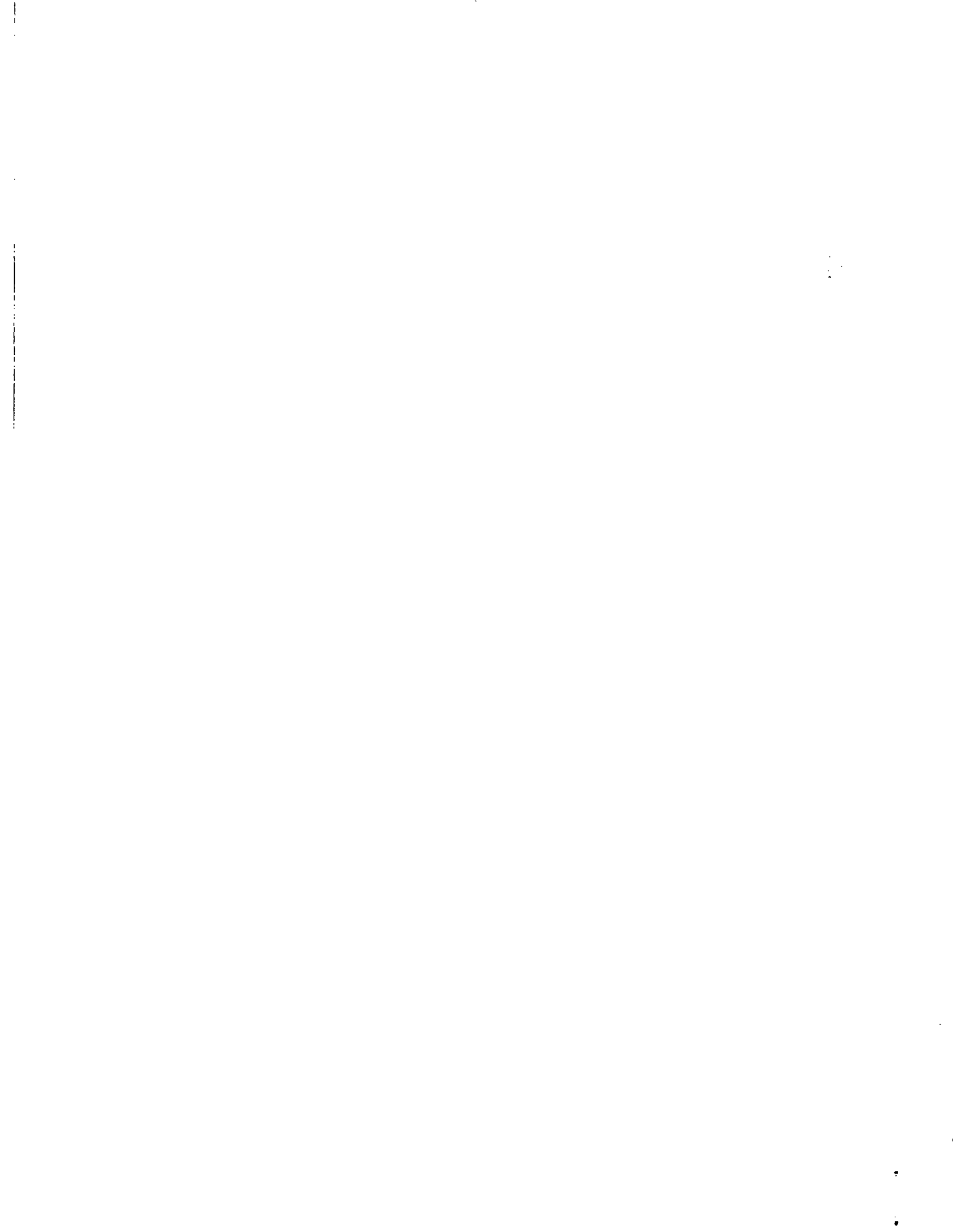
VIEW FROM CORNER OF
WASHINGTON BLVD AND ABERDEEN ST

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28-40 N. CARPENTER ST.
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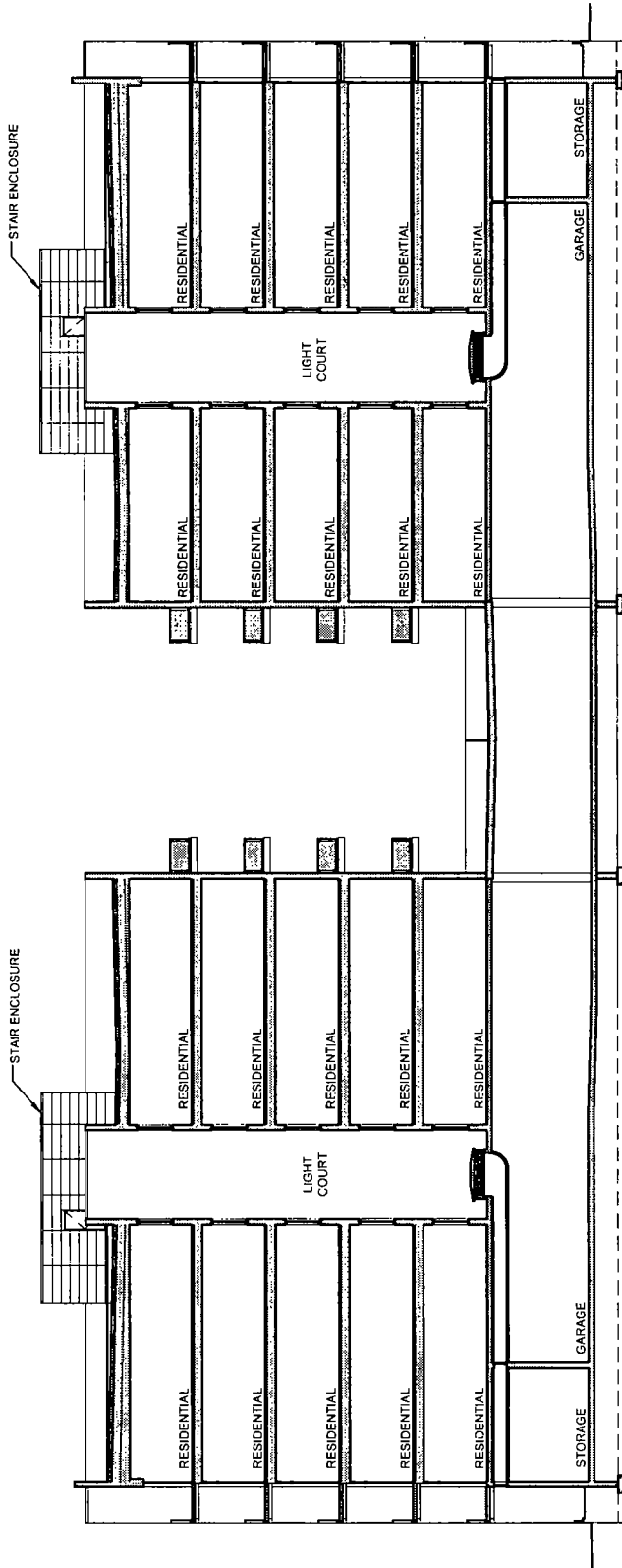
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- BY ROOF STRUCTURE
EL +77'-0"
- T/ FIFTH FLOOR
EL +66'-8"
- T/ FOURTH FLOOR
EL +54'-3"
- T/ FOURTH FLOOR
EL +41'-10"
- T/ THIRD FLOOR
EL +29'-5"
- T/ SECOND FLOOR
EL +17'-0"
- EXISTING GRADE
EL +0'-0"

PROPOSED BUILDING SECTION



27-39 N. ABERDEEN ST.
28-40 N. CARPENTER ST.
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