



City of Chicago



O2016-2595

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	4/13/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 4-H at 1911 W Cullerton Ave - App No. 18722T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18722 T1
INTRO DATE:
APRIL 13, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B2-2, Neighborhood Mixed-Use District, as shown on Map 4-H in the area bounded by:

West Cullerton Street, a line 100 feet West of South Wolcott Avenue, the alley South and parallel to West Cullerton Street and a line 150 feet West of South Wolcott Avenue.

To those of B2-2, Neighborhood Mixed-Use District

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property: 1911 West Cullerton Street, Chicago, IL

TYPE I APPLICATION

**NARRATIVE DESCRIPTION
FOR THE PROPOSED REZONING TO B2-2
1911 WEST CULLERTON STREET**

1911 West Cullerton was zoned C1-2, Neighborhood Commercial District. The Applicant rezoned the property on September 24, 2015 to B2-2, Neighborhood Mixed-Use District. The Applicant now wishes to amend the application, due to the favorable changes in the Transit Oriented Development Ordinance ("TOD"). The existing structure, a former bath house, will undergo an adaptive re-use for three (3) residential dwelling units. Under the new version of the Transit Oriented Development Ordinance 17-10-0102-B, minimum off-street parking ratios for residential can be reduced by up to 100 percent.

LOT AREA: 4,959 SQUARE FEET

FLOOR AREA RATIO: 1.5

BUILDING AREA: 7,680 SQUARE FEET

DENSITY, LOT AREA per DWELLING UNIT: 1,653 SQUARE FEET

OFF-STREET PARKING: No parking will be provided under 17-10-0102-B, Transit Oriented Development Ordinance (TOD)

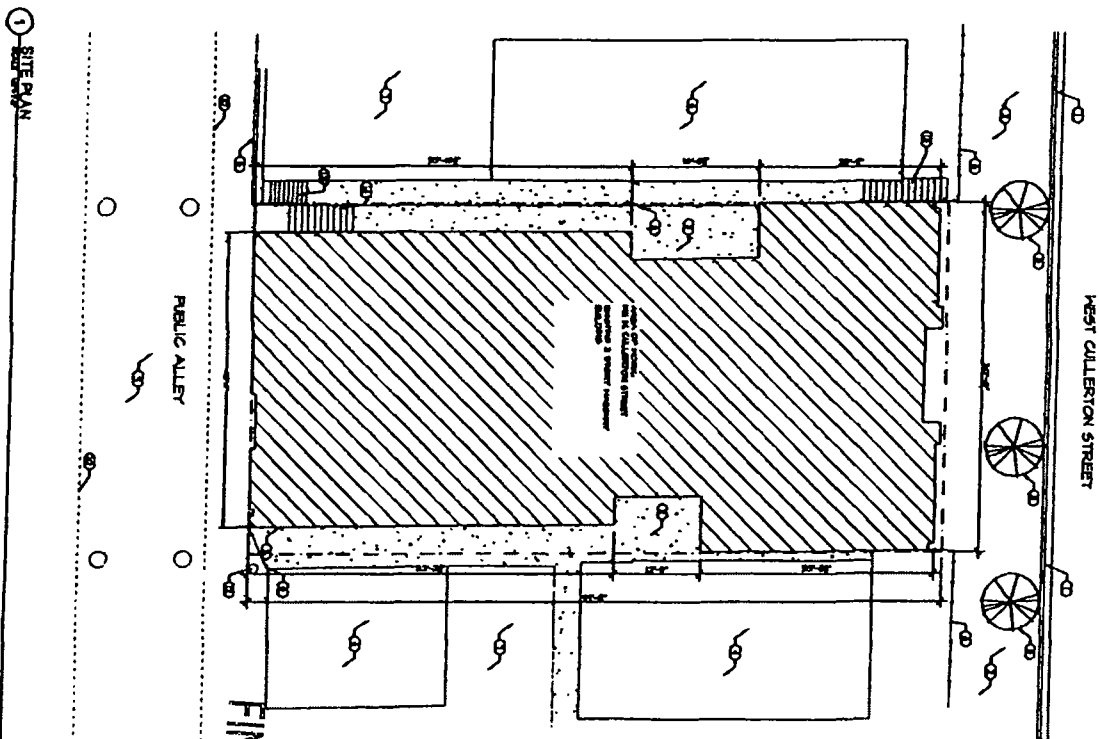
EXISTING FRONT SETBACK: NO FRONT SETBACKS

EXISTING REAR SETBACK: NO REAR SETBACKS

EXISTING SIDE SETBACK: ZERO (EAST) AND ZERO (WEST)

EXISTING BUILDING HEIGHT: 22'7"

FINAL FOR PUBLICATION



FINAL FOR PUBLICATION

SITE PLAN GENERAL NOTES

- A. **SEE ABOVE FOR EXACT INCENTIVE LIE** ON SLIDES. REPEATED LIES ABOUT THE PLAN FOR THE REMOVAL OF "A."
- B. **DISMISSED SCHOOL AND THE CITY'S SHARED** BUILDING AND INCENTIVE SCHOOL. SHARED BUILDING REMOVED AND WITHIN THE BUILDING SHALL BE OPENED.
- C. **NO CHANGING TO SHARED ZONES OR** BUILDING LIES. SEE ABOVE OTHER THIS SLIDE.

SITE PLAN KEY NOTES

- [illegible]

CHICAGO STAFF



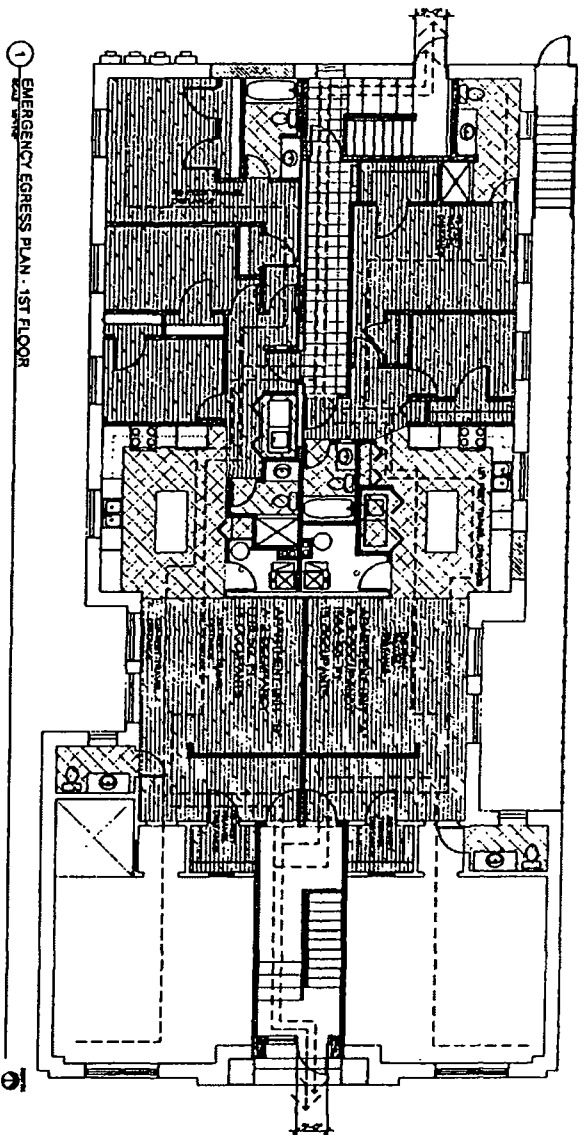
**3 UNIT APARTMENT REMODEL
1911 WEST CULLERTON STREET
CHICAGO, ILLINOIS 60608**

7G002

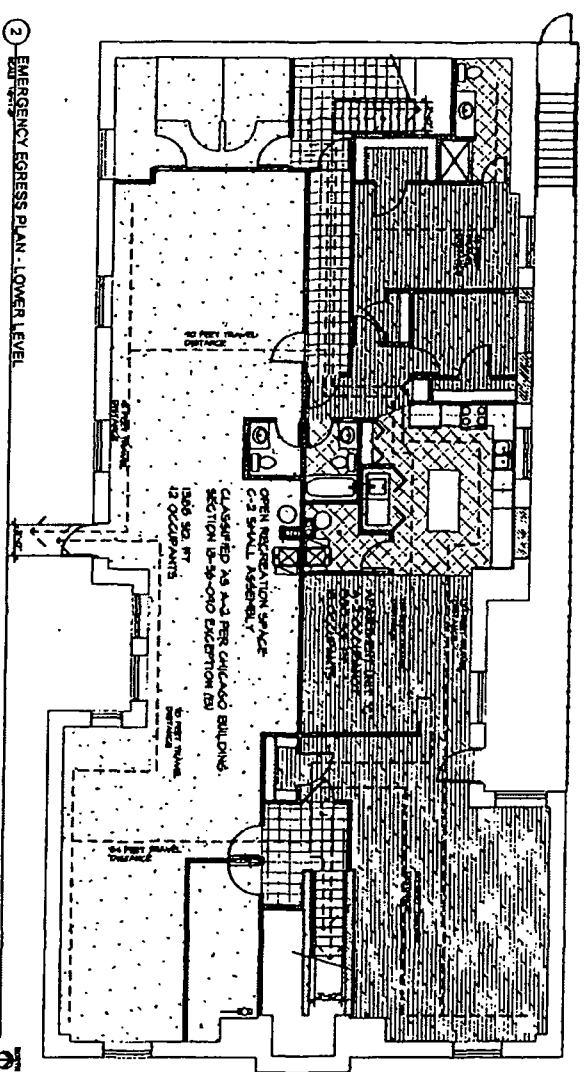
INTRODUCTION

EMERGENCY EGRESS PLAN LEGEND

--- PATH OF EGRESS



1 EMERGENCY EGRESS PLAN - 1ST FLOOR

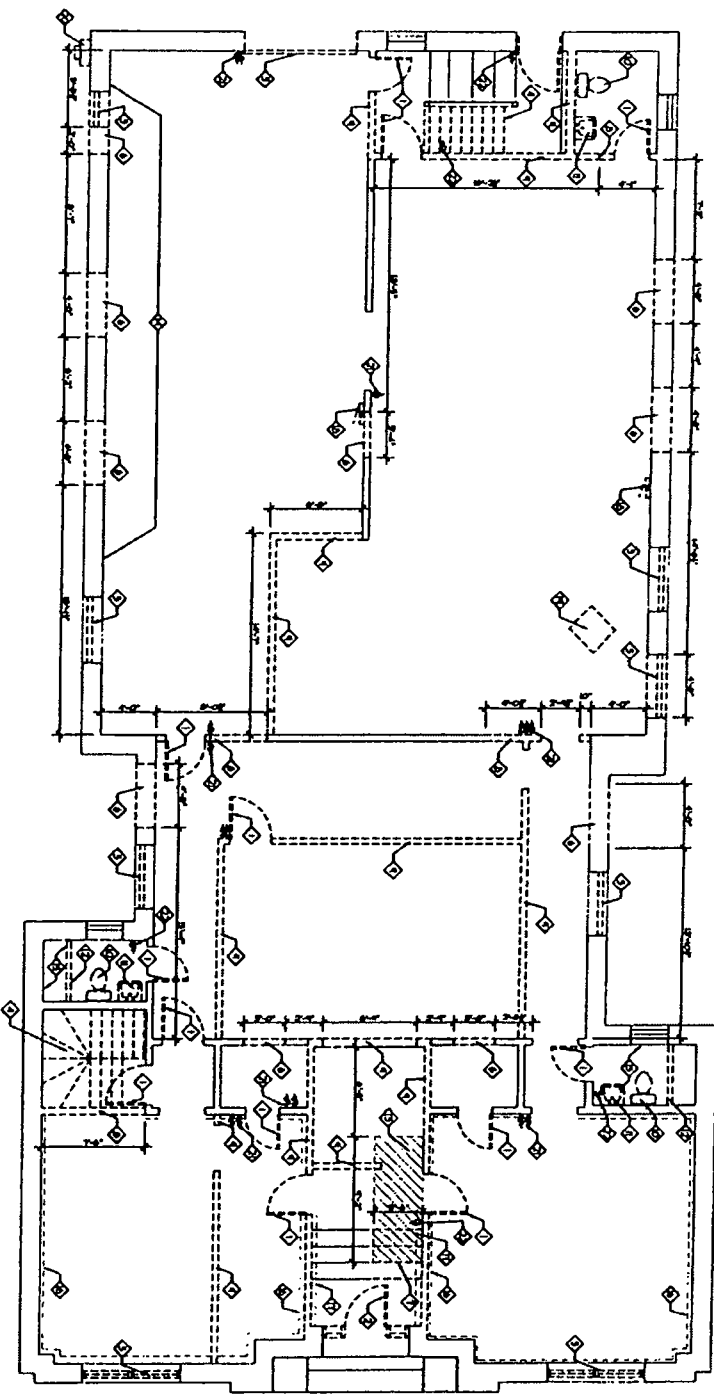


2 EMERGENCY EGRESS PLAN - LOWER LEVEL

FINAL FOR PUBLICATION

G003 EXHIBIT 10/1/88	3 UNIT APARTMENT REMODEL 1911 WEST COLLERTON STREET CHICAGO, ILLINOIS 60608		API ARCHITECTS 1000 NORTH LAUREL STREET CHICAGO, ILLINOIS 60610 (312) 467-1100	CHICAGO STAMP
	COPYRIGHT © 1988 BY API ARCHITECTS. ALL RIGHTS RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM API ARCHITECTS.			

1 MAIN FLOOR DEMOLITION PLAN



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DEMOLITION GENERAL NOTES

1. DEMOLITION SHALL BE ACCORDING TO THE CITY OF CHICAGO DEMOLITION ORDINANCE, CHAPTER 4-10-00, AND THE ILLINOIS EARTHQUAKE SAFETY ACT, CHAPTER 15-1.5.
2. DEMOLITION SHALL BE ACCORDING TO THE CITY OF CHICAGO DEMOLITION ORDINANCE, CHAPTER 4-10-00, AND THE ILLINOIS EARTHQUAKE SAFETY ACT, CHAPTER 15-1.
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DEMOLITION LEGEND

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CHICAGO STAMP

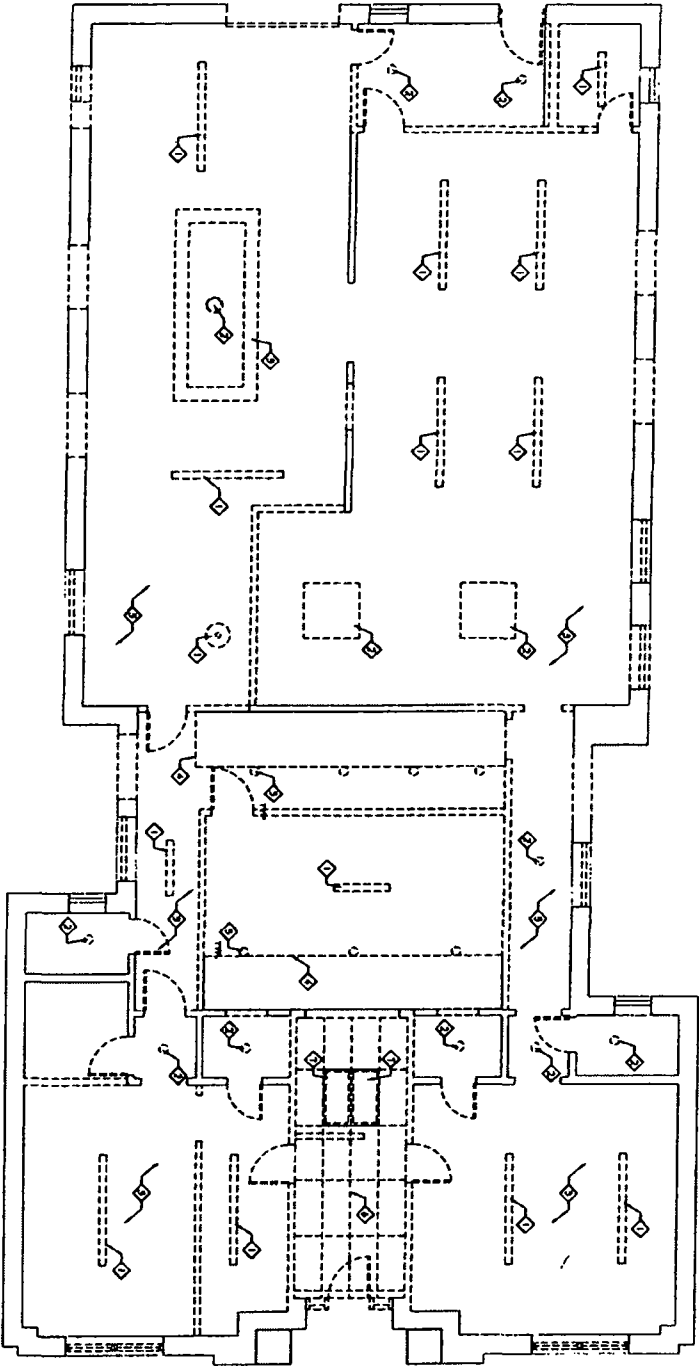


3 UNIT APARTMENT REMODEL
1911 WEST CULLERTON STREET
CHICAGO, ILLINOIS 60608

1ST FLOOR
FLOOR PLAN
D101

FINAL FOR PUBLICATION

① MAIN FLOOR DEMOLITION REFLECTED CEILING PLAN



DEMOLITION GENERAL NOTES

1. THIS PLAN INDICATES A DEMOLITION OF THE EXISTING CEILING, WALLS, AND FLOORS OF THE MAIN FLOOR OF THE BUILDING. THE DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEMOLITION ORDINANCES AND THE ILLINOIS EROSION CONTROL ACT. THE DEMOLITION SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE PERMITTING AGENCIES' REQUIREMENTS. THE DEMOLITION SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE PERMITTING AGENCIES' REQUIREMENTS.
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DEMOLITION LEGEND

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CHICAGO STAMP



3 UNIT APARTMENT REMODEL
1011 WEST CULLERTON STREET
CHICAGO, ILLINOIS 60608

D103

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REFLECTED CEILING PLAN NOTES

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR FOR THE CEILING REMODEL. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- PROTECT ALL EXISTING WALLS, FLOORS, CEILING, AND MECHANICAL SYSTEMS FROM DAMAGE DURING THE CEILING REMODEL.
- VERIFY ALL EXISTING CEILING JOINTS ARE PROPERLY FINISHED AND REPAIR AS NEEDED. ALL NEW JOINTS SHALL BE FINISHED TO MATCH EXISTING.
- COORDINATE LOCATION OF ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS WITH THE CEILING REMODEL. ALL SYSTEMS SHALL BE PROTECTED FROM DAMAGE DURING THE CEILING REMODEL.
- CEILING REMODEL SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL MATERIALS SHALL BE INSTALLED AND FINISHED PRIOR TO THE START OF THE NEXT PHASE OF THE PROJECT.

REFLECTED CEILING PLAN LEGEND

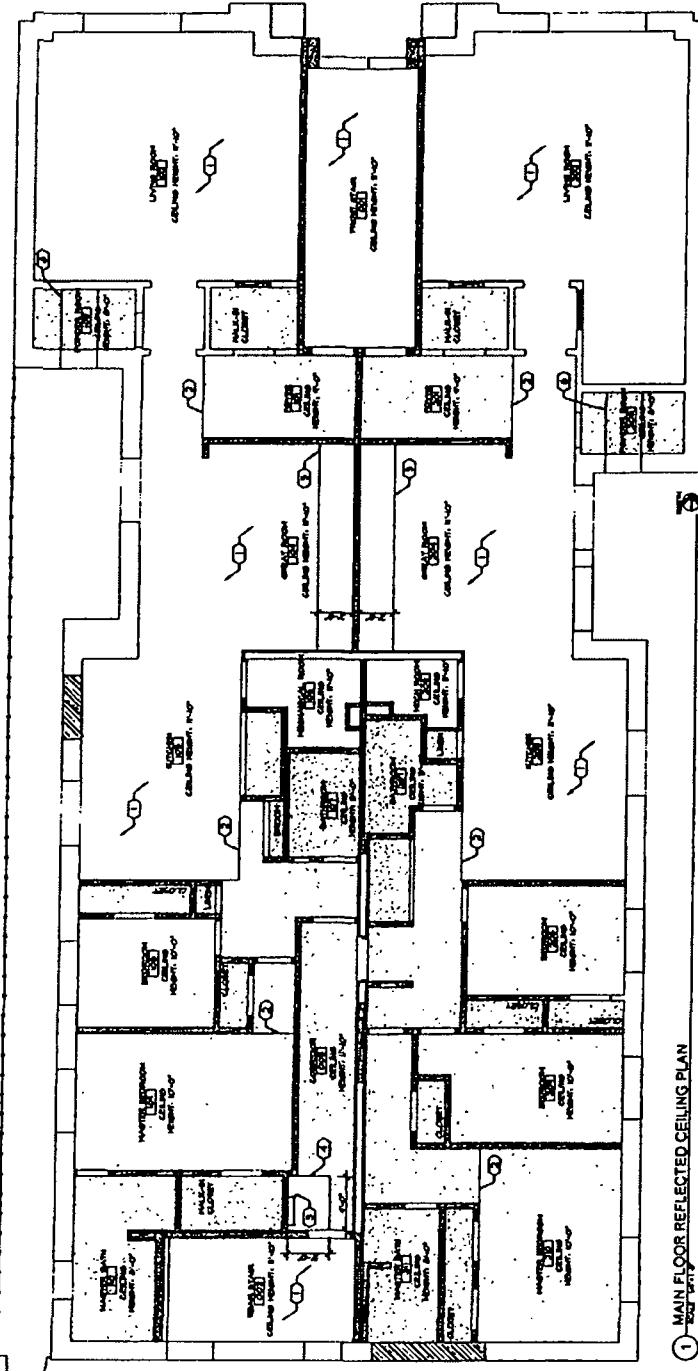
- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION
- EXISTING CEILING CONSTRUCTION
- NEW CEILING CONSTRUCTION
- EXISTING FLOOR CONSTRUCTION
- NEW FLOOR CONSTRUCTION
- EXISTING MECHANICAL SYSTEMS
- NEW MECHANICAL SYSTEMS
- EXISTING ELECTRICAL SYSTEMS
- NEW ELECTRICAL SYSTEMS
- EXISTING PLUMBING SYSTEMS
- NEW PLUMBING SYSTEMS

REFLECTED CEILING PLAN KEY NOTES

- CEILING SHALL BE REMODELED TO MATCH EXISTING CEILING FINISH AND JOINTS.
- ALL NEW CEILING JOINTS SHALL BE FINISHED TO MATCH EXISTING.
- CEILING SHALL BE REMODELED TO MATCH EXISTING CEILING FINISH AND JOINTS.
- ALL NEW CEILING JOINTS SHALL BE FINISHED TO MATCH EXISTING.
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- ALL NEW CEILING JOINTS SHALL BE FINISHED TO MATCH EXISTING.

LIGHTING NOTES

- EXISTING LIGHTING SHALL BE REMOVED BY THE CONTRACTOR. ALL NEW LIGHTING SHALL BE INSTALLED AND FINISHED PRIOR TO THE START OF THE NEXT PHASE OF THE PROJECT.
- COORDINATE LOCATION OF LIGHTING WITH THE CEILING REMODEL. ALL LIGHTING SHALL BE PROTECTED FROM DAMAGE DURING THE CEILING REMODEL.
- CEILING REMODEL SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL MATERIALS SHALL BE INSTALLED AND FINISHED PRIOR TO THE START OF THE NEXT PHASE OF THE PROJECT.



1 MAIN FLOOR REFLECTED CEILING PLAN

CHICAGO STAMP

ARCHITECTS



3 UNIT APARTMENT REMODEL
1811 WEST CULLERTON STREET
CHICAGO, ILLINOIS 60608

REFLECTED CEILING PLAN
A103

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REFLECTED CEILING PLAN NOTES

- REFLECTED CEILING SHALL PROVIDE ALL LIGHTING REQUIREMENTS TO THE SPACE AND SHALL BE INSTALLED TO THE SATISFACTION OF THE ARCHITECT.
- PROTECT ALL EXISTING WALLS, FLOORS, CEILING, AND MECHANICAL EQUIPMENT FROM DAMAGE DURING CONSTRUCTION.
- VERIFY ALL EXISTING WALLS, FLOORS, CEILING, AND MECHANICAL EQUIPMENT ARE IN GOOD CONDITION AND MEET THE REQUIREMENTS OF THE ARCHITECT.
- COORDINATE LOCATION OF ELECTRICAL, MECHANICAL, AND PLUMBING WITH THE ARCHITECT AND PROVIDE THE TOP OF THE CEILING STRUCTURE (GIRDER OR JOIST) TO THE ARCHITECT FOR NOTIFICATION TO THE ARCHITECT.
- CEILING FINISHES AND JOINTS SHALL BE COORDINATED WITH THE ARCHITECT AND PROVIDE THE TOP OF THE CEILING STRUCTURE (GIRDER OR JOIST) TO THE ARCHITECT FOR NOTIFICATION TO THE ARCHITECT.

REFLECTED CEILING PLAN LEGEND

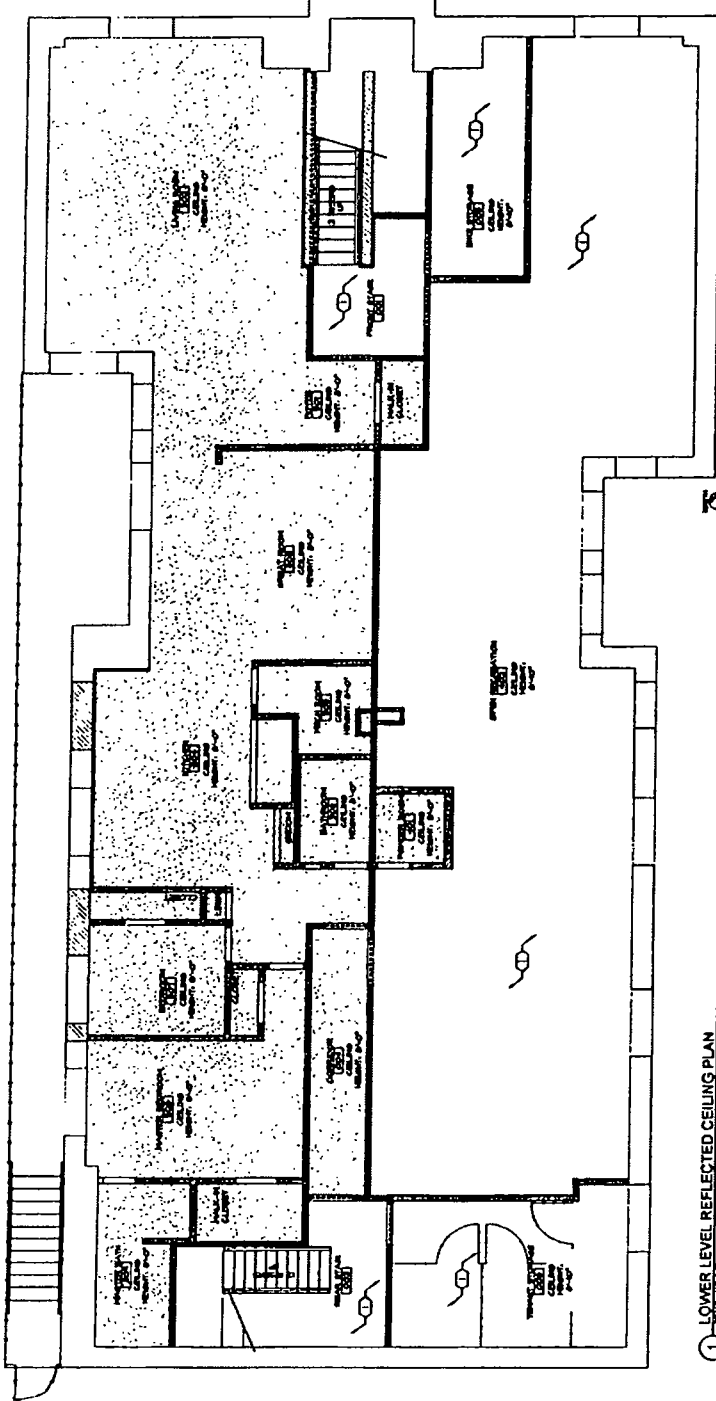
- REFLECTED CEILING FINISHES
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REFLECTED CEILING PLAN KEY NOTES

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LIGHTING NOTES

- USE ELECTRIC LIGHTING FOR LIGHT FIXTURES.
- LIGHT FIXTURES SHALL BE PROVIDED BY THE OWNER.
- VERIFY ALL EXISTING WALLS, FLOORS, CEILING, AND MECHANICAL EQUIPMENT ARE IN GOOD CONDITION AND MEET THE REQUIREMENTS OF THE ARCHITECT.
- COORDINATE LOCATION OF ELECTRICAL, MECHANICAL, AND PLUMBING WITH THE ARCHITECT AND PROVIDE THE TOP OF THE CEILING STRUCTURE (GIRDER OR JOIST) TO THE ARCHITECT FOR NOTIFICATION TO THE ARCHITECT.



① LOWER LEVEL REFLECTED CEILING PLAN

CHICAGO STAMP



3 UNIT APARTMENT REMODEL
1911 WEST CULLERTON STREET
CHICAGO, ILLINOIS 60608

NO.	DATE	DESCRIPTION
1	10/1/00	ISSUED FOR PERMIT
2	10/1/00	ISSUED FOR PERMIT
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9	10/1/00	ISSUED FOR PERMIT
10	10/1/00	ISSUED FOR PERMIT

ISSUED FOR PERMIT
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WALL INFILL AREA

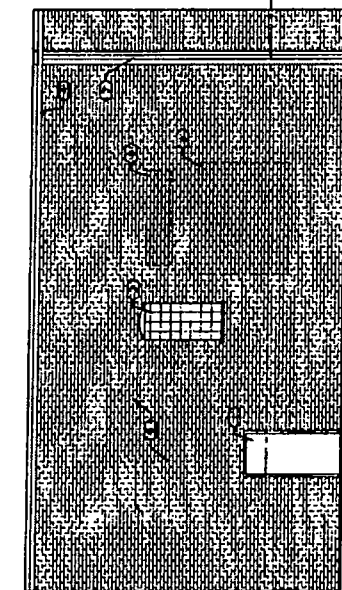
REVISION	AREA OF REPLACED MASONRY
1. REAR ELEVATION WINDOW	41 SQUARE FEET
2. REAR ELEVATION WINDOW	41 SQUARE FEET
3. TOTAL	82 SQ. FT.

GENERAL ELEVATION NOTES

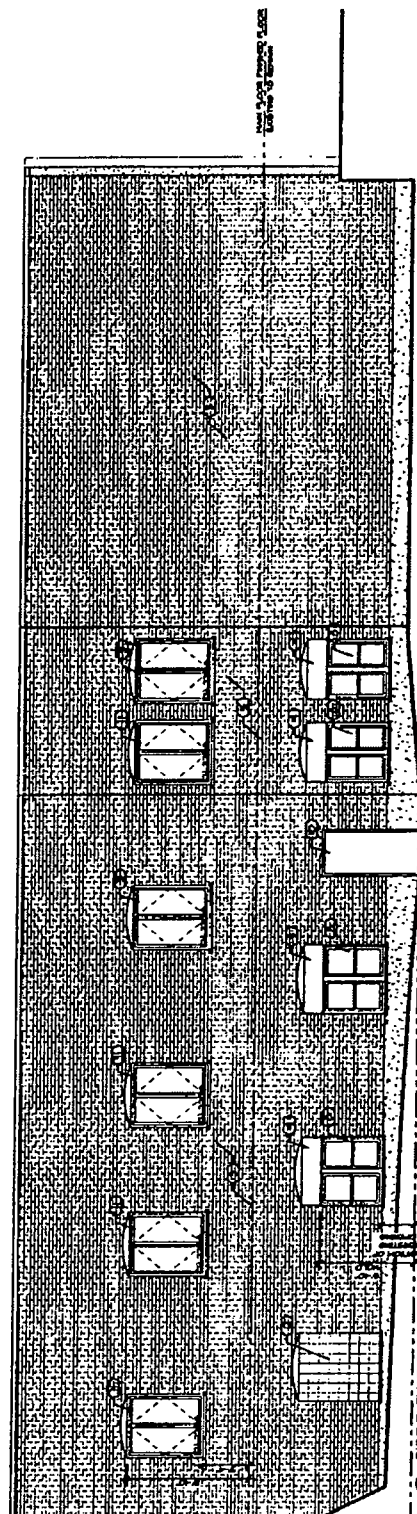
1. ALL MASONRY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2012 EDITION, CHAPTER 12, MASONRY.
2. REPAIRS TO EXISTING MASONRY SHALL BE MATCHED TO THE EXISTING MATERIALS AND FINISHES.
3. ALL NEW MASONRY SHALL BE CONSTRUCTED WITH A MINIMUM OF 10% COMPRESSIVE STRENGTH.
4. ALL NEW MASONRY SHALL BE CONSTRUCTED WITH A MINIMUM OF 10% COMPRESSIVE STRENGTH.
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10. ALL NEW MASONRY SHALL BE CONSTRUCTED WITH A MINIMUM OF 10% COMPRESSIVE STRENGTH.

EXTERIOR ELEVATION KEY NOTES

1. EXISTING MASONRY SHALL BE REPAIRED AND MATCHED TO THE EXISTING MATERIALS AND FINISHES.
2. EXISTING MASONRY SHALL BE REPAIRED AND MATCHED TO THE EXISTING MATERIALS AND FINISHES.
3. EXISTING MASONRY SHALL BE REPAIRED AND MATCHED TO THE EXISTING MATERIALS AND FINISHES.
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10. EXISTING MASONRY SHALL BE REPAIRED AND MATCHED TO THE EXISTING MATERIALS AND FINISHES.



1 REAR ELEVATION (SOUTH)



2 SIDE ELEVATION (EAST)

CHICAGO STAMP

3 UNIT APARTMENT REMODEL
1911 WEST CULLERTON STREET
CHICAGO, ILLINOIS 60608

A202

APL ARCHITECTS

CHICAGO, ILLINOIS 60608

DOOR SCHEDULE

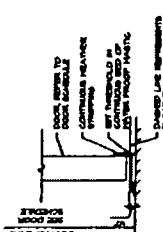
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DOOR, FRAME, AND HARDWARE NOTES

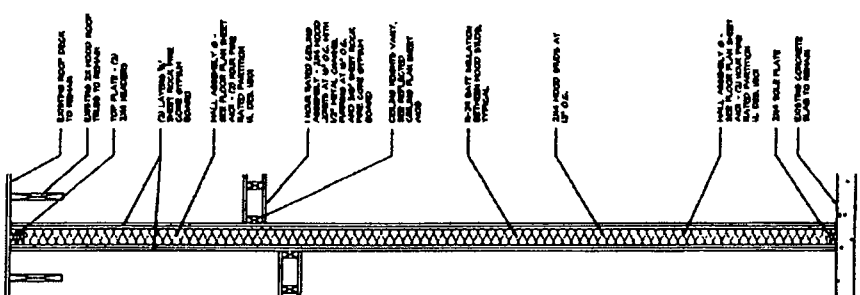
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FINAL FOR PUBLICATION

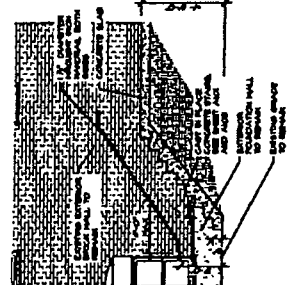
THRESHOLD DETAIL



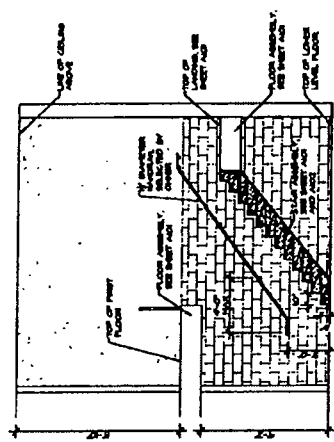
2 TYPICAL WALL SECTION AT FIRE WALL TYPE G



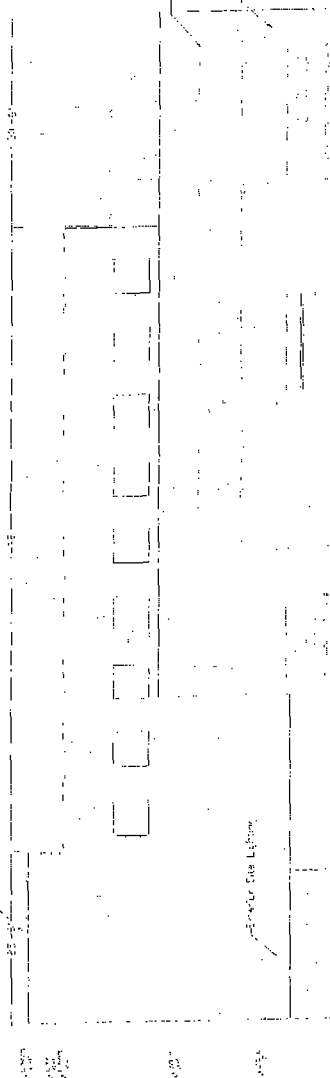
3 STAIR SECTION



4 STAIR SECTION



2000


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