



City of Chicago



SO2017-5182

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	6/28/2017
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 9-K at 3652-3666 N Milwaukee Ave - App No. 19292T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1 That the City Zoning Ordinance be amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map No. 9-K in area bound by

A LINE 644.47 FEET NORTHWEST OF THE NORTH LINE OF WEST ADDISON STREET (AS MEASURED ALONG THE SOUTHWEST LINE OF NORTH MILWAUKEE AVENUE); NORTH MILWAUKEE AVENUE; A LINE 486.47 FEET NORTHWEST OF THE NORTH LINE OF WEST ADDISON STREET (AS MEASURED ALONG THE SOUTHWEST LINE OF NORTH MILWAUKEE AVENUE); A LINE 125 FEET SOUTHWEST OF AND PARALLEL TO NORTH MILWAUKEE AVENUE;

To those of a B1-3 Neighborhood Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2 The ordinance shall be in force and effect from and after its passage and due publication.

FINAL FOR PUBLICATION

Substitute **AMENDED**
ZONING AND DEVELOPMENT NARRATIVE AND PLANS
IN SUPPORT OF AN APPLICATION FOR A TYPE I MAP AMENDMENT
OF THE CITY OF CHICAGO ZONING MAP
FOR THE PROPERTY COMMONLY KNOWN AS 3652-66 NORTH MILWAUKEE AVENUE

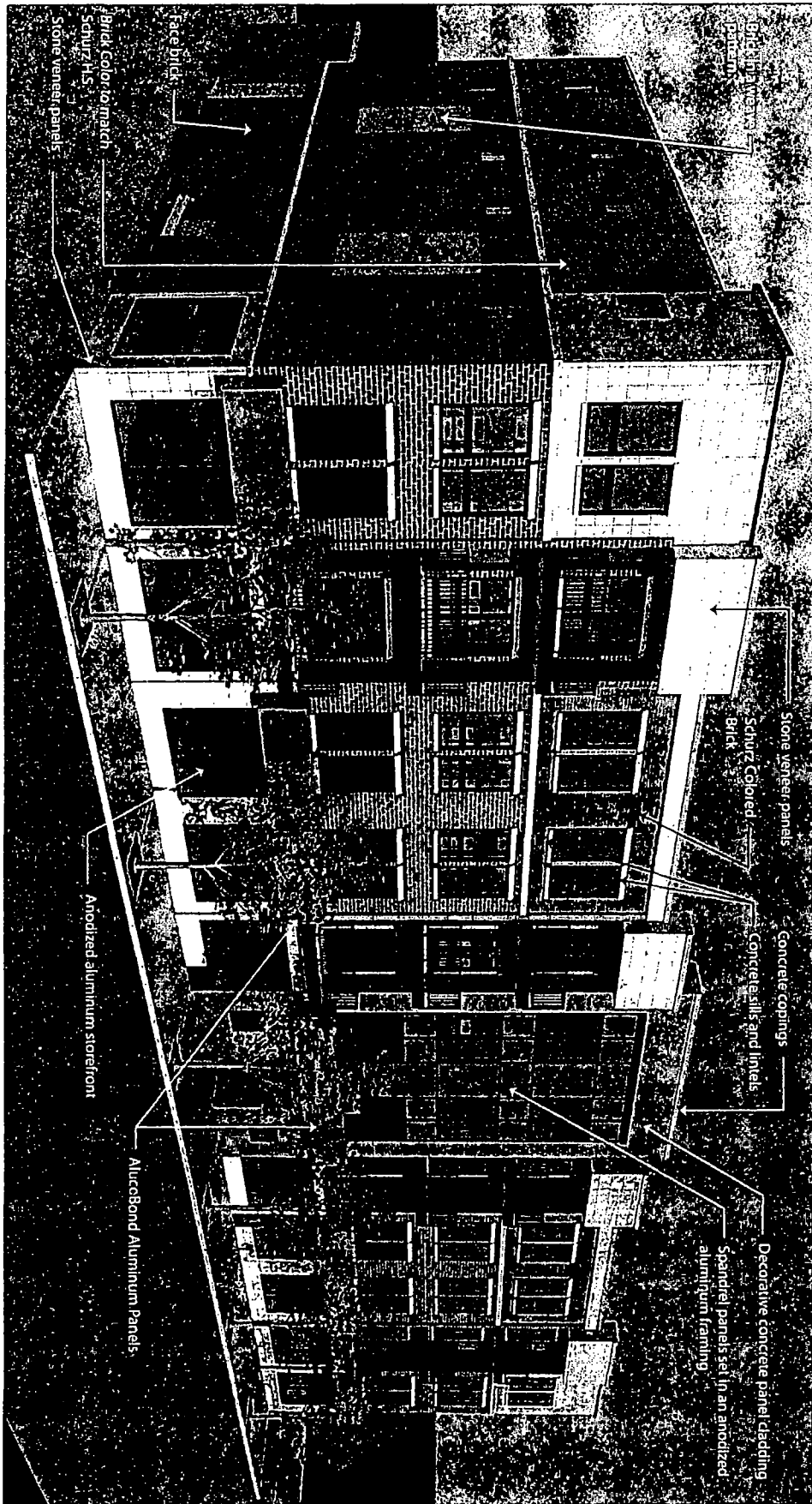
Applicant seeks a Type I Map Amendment of the City of Chicago Zoning Map from the current M1-1 District to that of a B1-3 District for the property commonly known as 3660 North Milwaukee Avenue. The total lot area of the subject site is 19,750 square feet. Applicant seeks to improve the site with ground floor commercial space with 24 residential dwelling units above the ground floor.

The following is a list of the proposed (existing) dimensions of the development:

Density:	24 residential dwelling units
Lot Area Per Unit:	822
Off Street Parking:	29 spaces
Height:	43 feet
Floor Area:	52,979 square feet
Floor Area Ratio:	2.68
Front (East) Setback:	2 feet
Rear (West) Setback:	23 feet 4 inches
North Side Setback:	0 feet
East Side Setback:	0 feet

FINAL FOR PUBLICATION

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10.25.2017

Proposed 3652-66 N Milwaukee Ave Condominiums

Proposed Main East Elevation Rendering

Sheet

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Southeast Corner Rendering

Gajic Condominiums
3652-66 N Milwaukee Ave
Chicago, Illinois
Preliminary No 01
Project

Project No

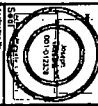
16014

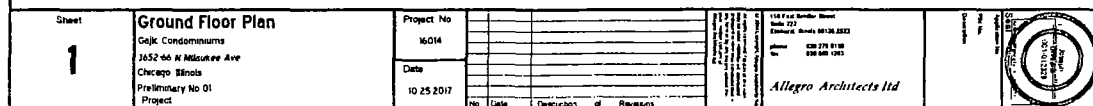
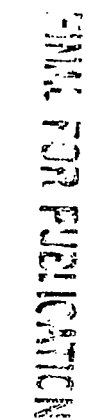
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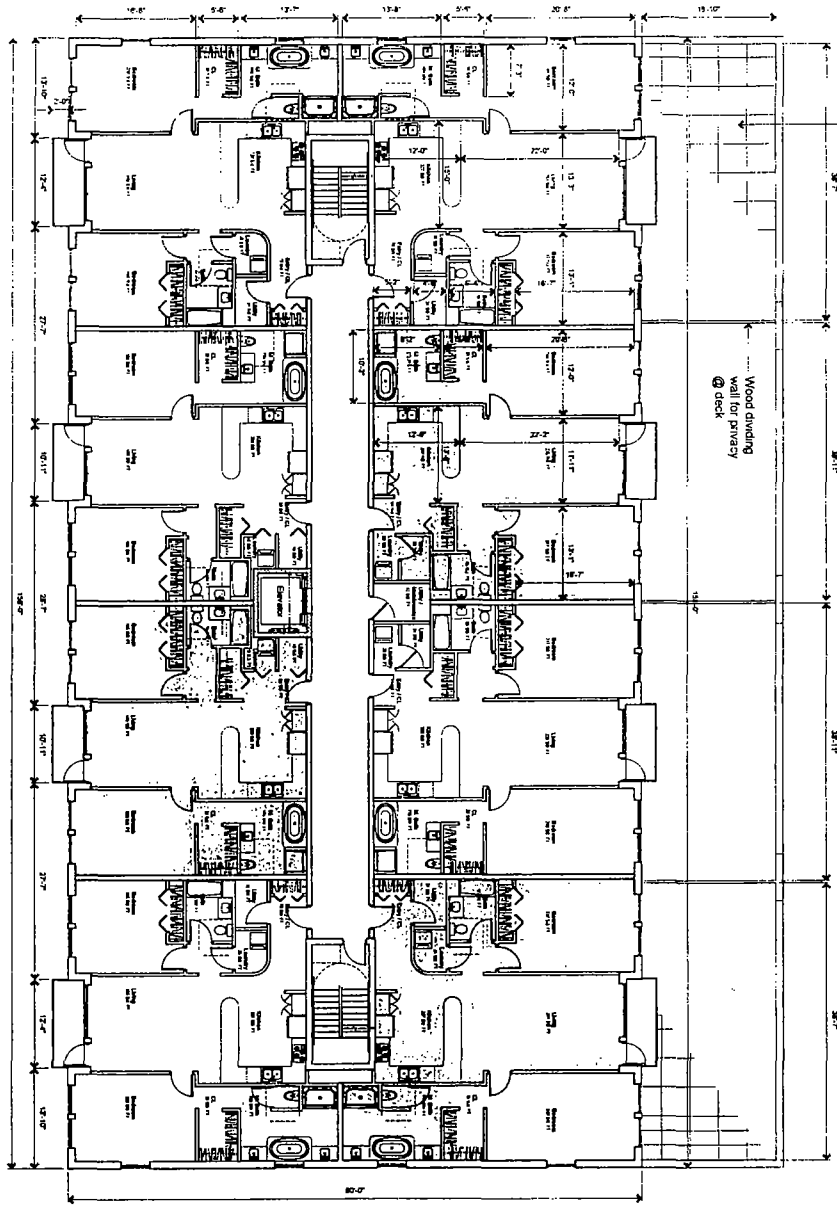
No.	Date	Description of Revisions

110 East Madison Street
Chicago, Illinois 60601-3033
Phone: 312.270.6100
Fax: 312.270.6101
www.allegroarchitects.com
Allegro Architects Ltd.



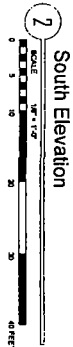
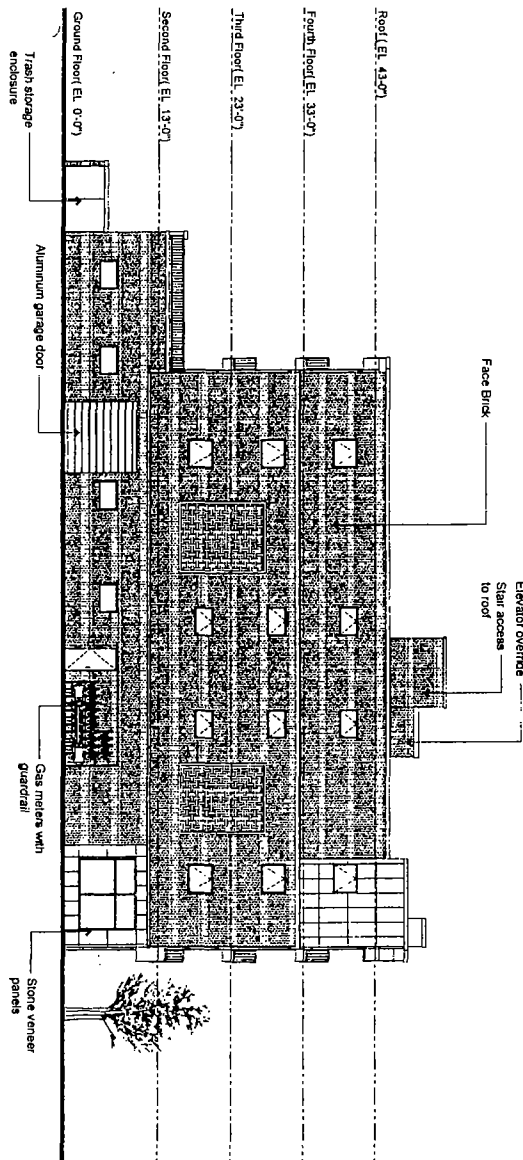
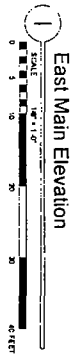
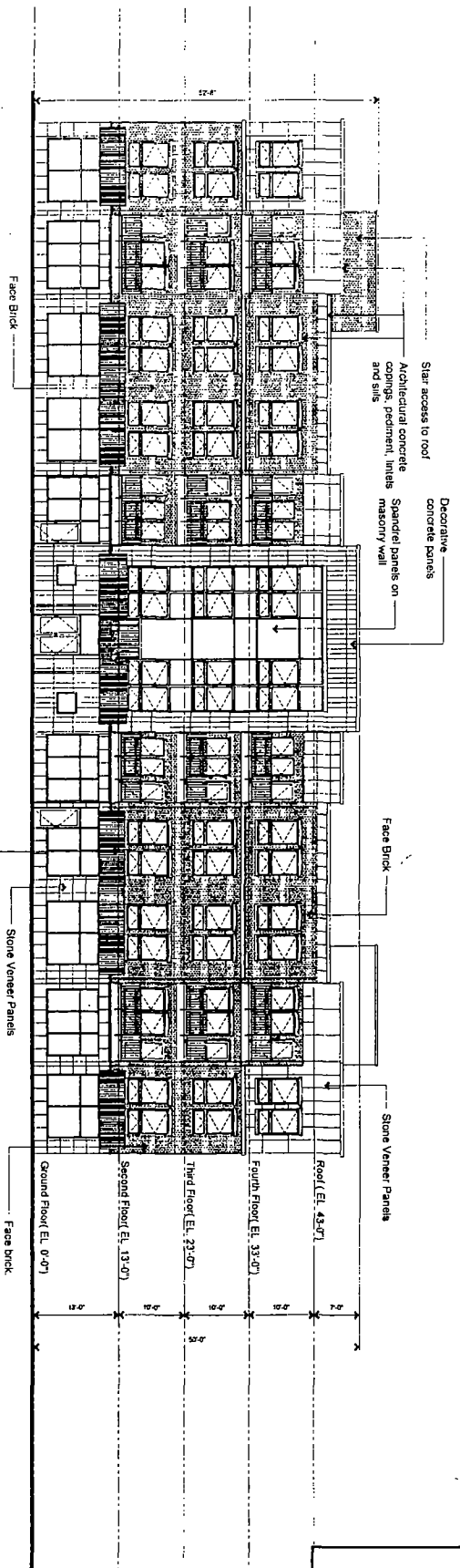


Deck at second floor only in lieu of balconies



NOT FOR PUBLICATION

UNIT AREAS	
UNIT	AREA
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FOR PUBLICATION

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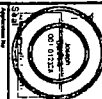
East & South Exterior Elevations
Gale Condominiums
3652-66 N Milwaukee Ave
Chicago, Illinois
Preliminary No 01
Project

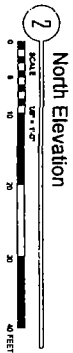
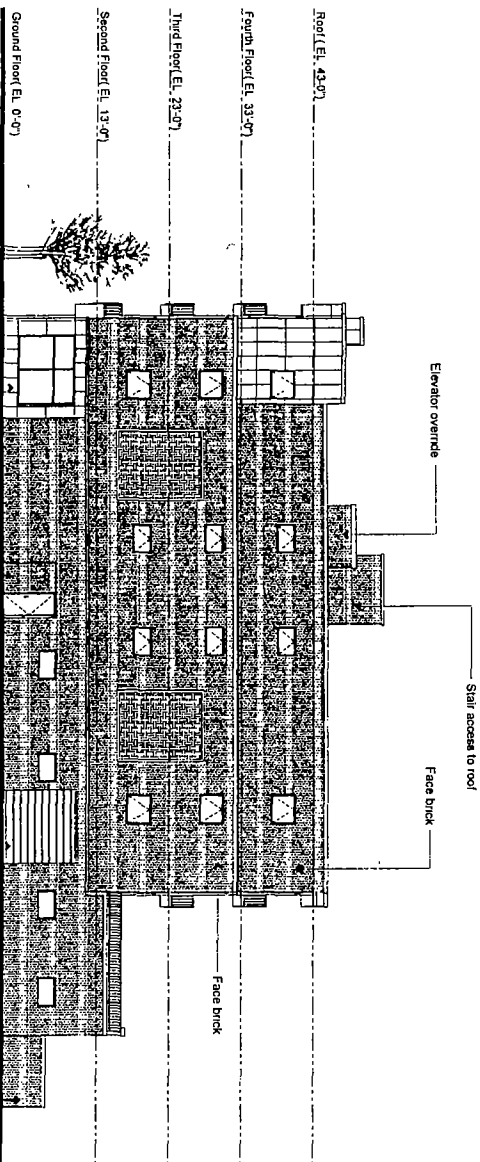
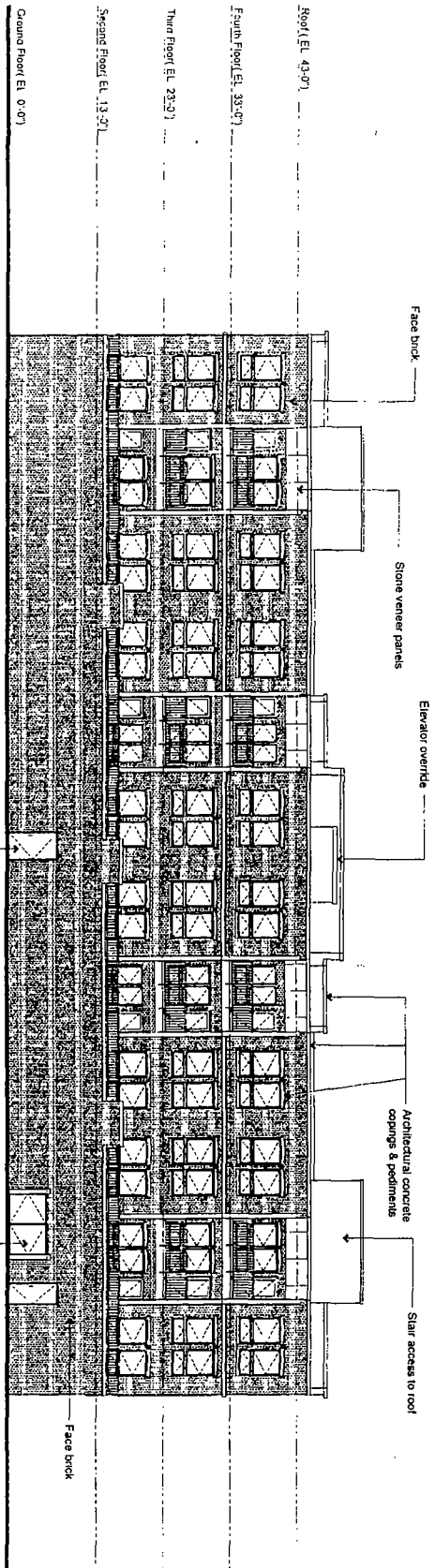
Project No
N014
Date
10-25-2017

No.	Date	Description of Revisions

110 East North Street
Suite 207
Chicago, Illinois 60610-2022
Phone: 312.779.8100
Fax: 312.779.8101

Allegro Architects Ltd





NOT FOR CONSTRUCTION

Sheet
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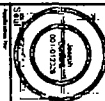
North & West Exterior Elevations
Gale Condominiums
3652-66 N Milwaukee Ave
Chicago Illinois
Preliminary No 01
Project

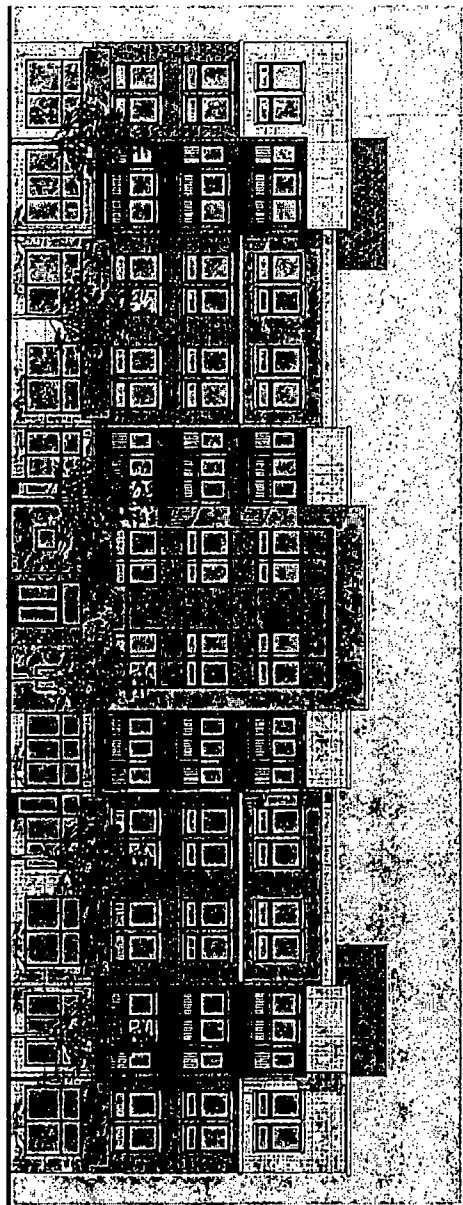
Project No
16014
Date
10 25 2017

No	Date	Description of	Revisions

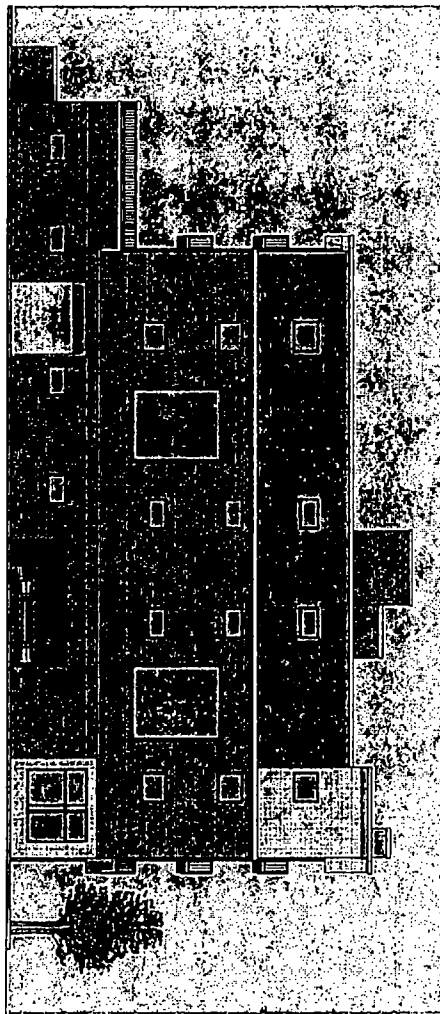
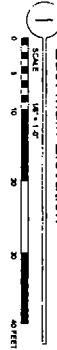
118 East Superior Street
Chicago, Illinois 60601
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East Main Elevation



South Elevation



FOR PRELIMINARY

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5

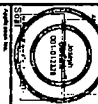
West & South Exterior Elevations
Gallic Condominiums
3652 66 N Milwaukee Ave
Chicago Illinois
Preliminary No 01
Project

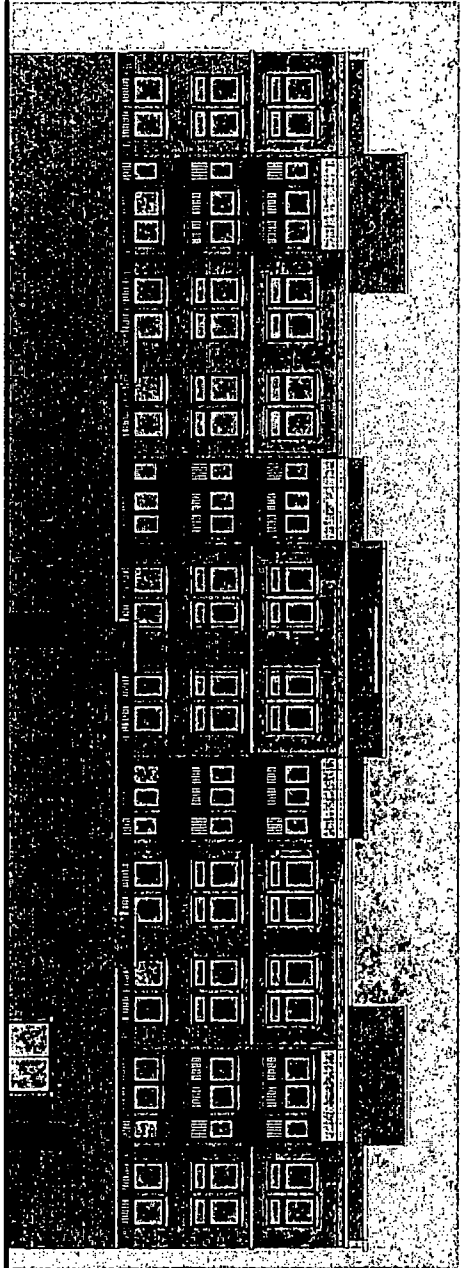
Project No
16014
Date
10 25 2017

No	Date	Description of Revisions

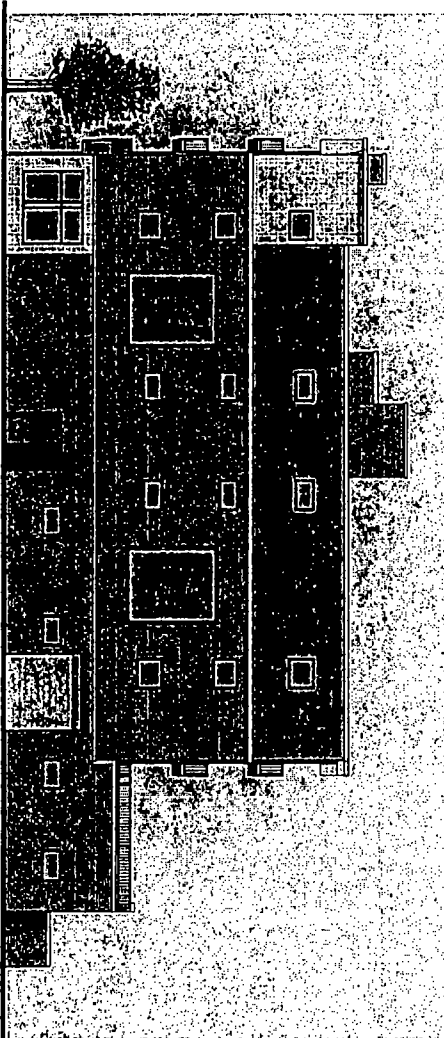
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West Elevation



North Elevation



FOR PUBLICATION

Sheet

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North & East Exterior Elevations

Galle Condominiums
3652-66 N Milwaukee Ave
Chicago Illinois
Preliminary No 01
Project

Project No

16014

Date

10 25 2017

No	Date	Description of	Revisions

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