



City of Chicago



SO2014-8020

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	10/8/2014
Sponsor(s):	City Clerk (transmitted by)
Type:	Ordinance
Title:	Zoning Reclassification Map No. 5-I at 2505 W Fullerton Ave - App No. 18181T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18181 T1

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the **B3-1, Community Shopping District**, as shown on Map 5-I in the area bounded by:

West Fullerton Avenue, a line 178.25 feet west of North Campbell Avenue, the alley south of and parallel to West Fullerton Avenue and a line 151.25 feet west of North Campbell Avenue.

To those of B2-3, Neighborhood Mixed Use District

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property: 2505 West Fullerton Avenue, Chicago, Illinois

6 3 12
#18181 T1

SUBSTITUTE NARRATIVE
FOR THE PROPOSED REZONING AT
2505 WEST FULLERTON AVENUE

The application to change zoning for 2505 West Fullerton Avenue is to allow for the construction of a four story, three unit residential building with a basement.

Proposed Zoning: B2-3, Neighborhood Mixed-Use District.

Lot Area: 2,754 square feet

Floor Area Ratio: 2.10

Building Area: 5,796

Density, Lot Area per Dwelling Unit: 918 sq. ft. each unit.

Off-street Parking: one garage parking space per unit (a total of 3 parking spaces).

Front Setback: Zero

Rear Setback: 22 feet 6 inches

Side Setback: The east and west setbacks are each 3 feet.

Building Height: The height will be 46 feet 6 inches (a four story building with a basement).

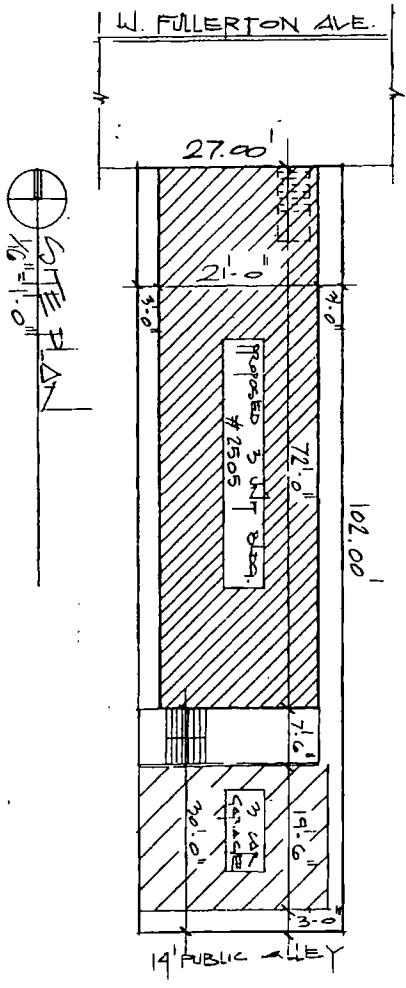
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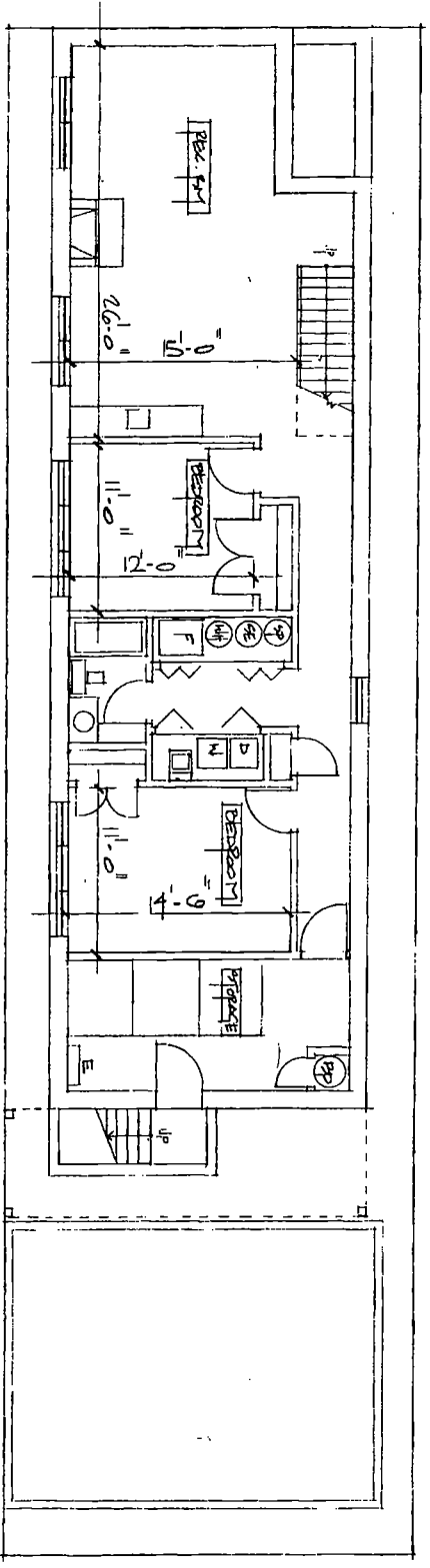
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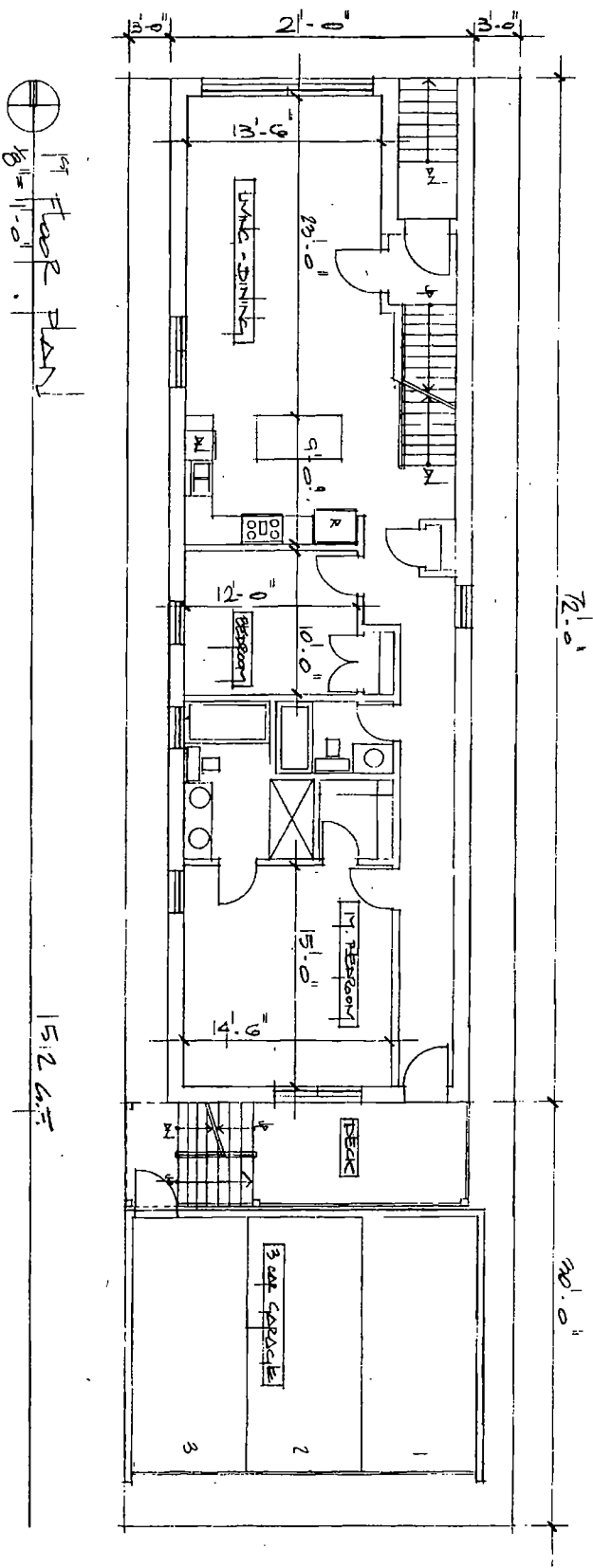
⊕ BSM FOR PLAN
 1/8" = 1'-0"

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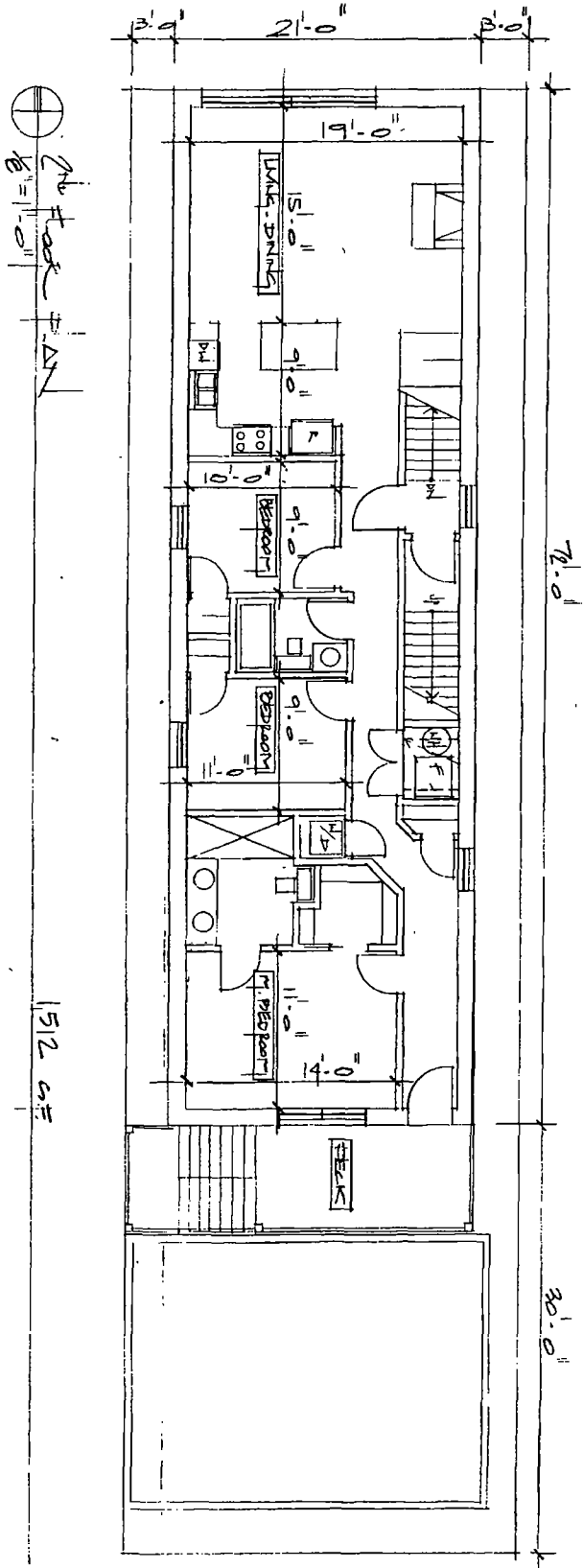


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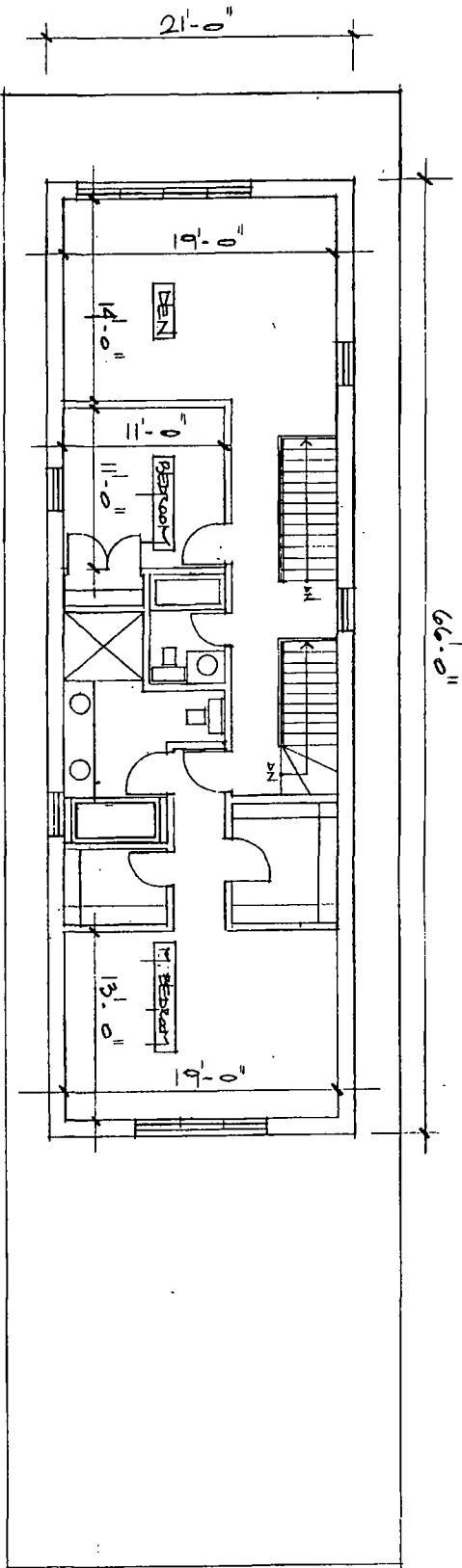


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4th Floor PLAN
1/8" = 1'-0"

1386 S.F.

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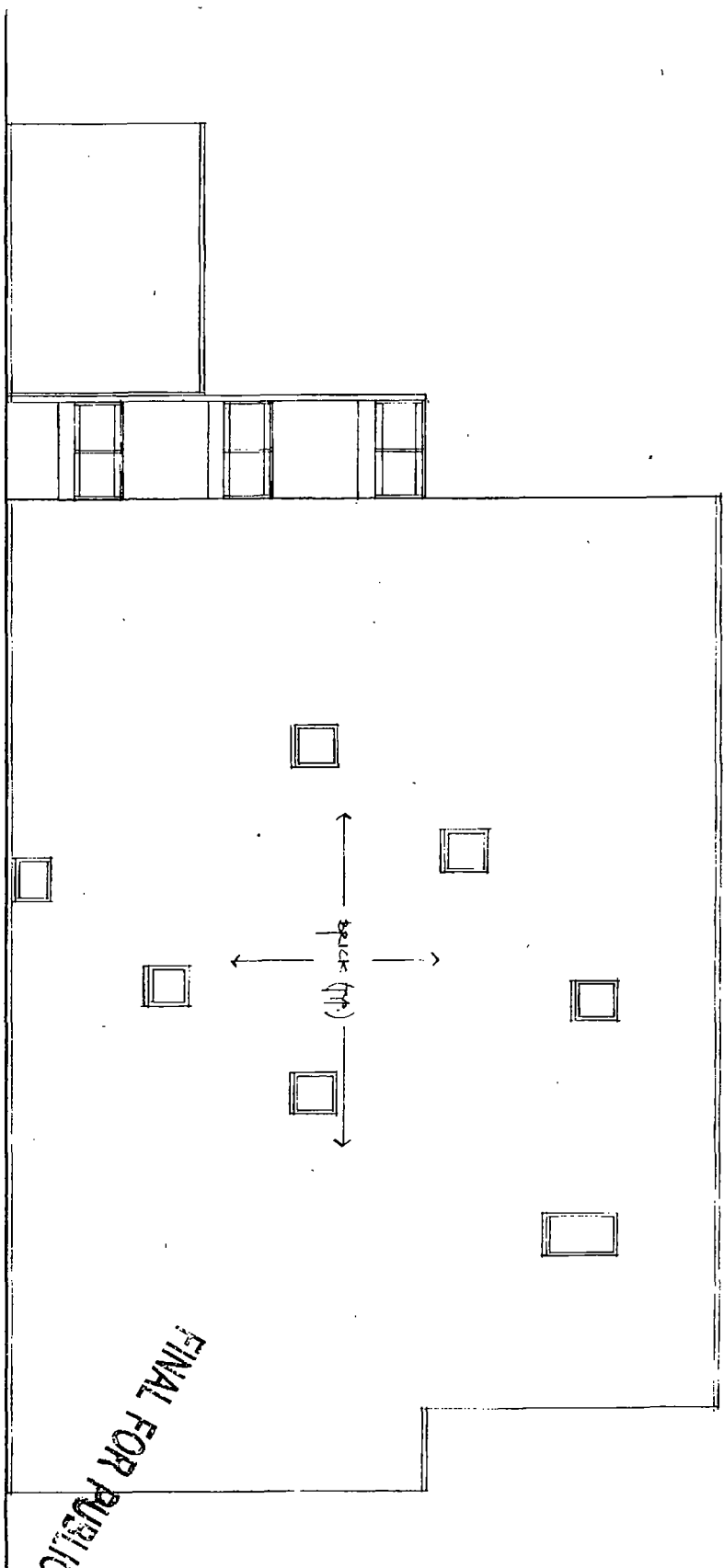
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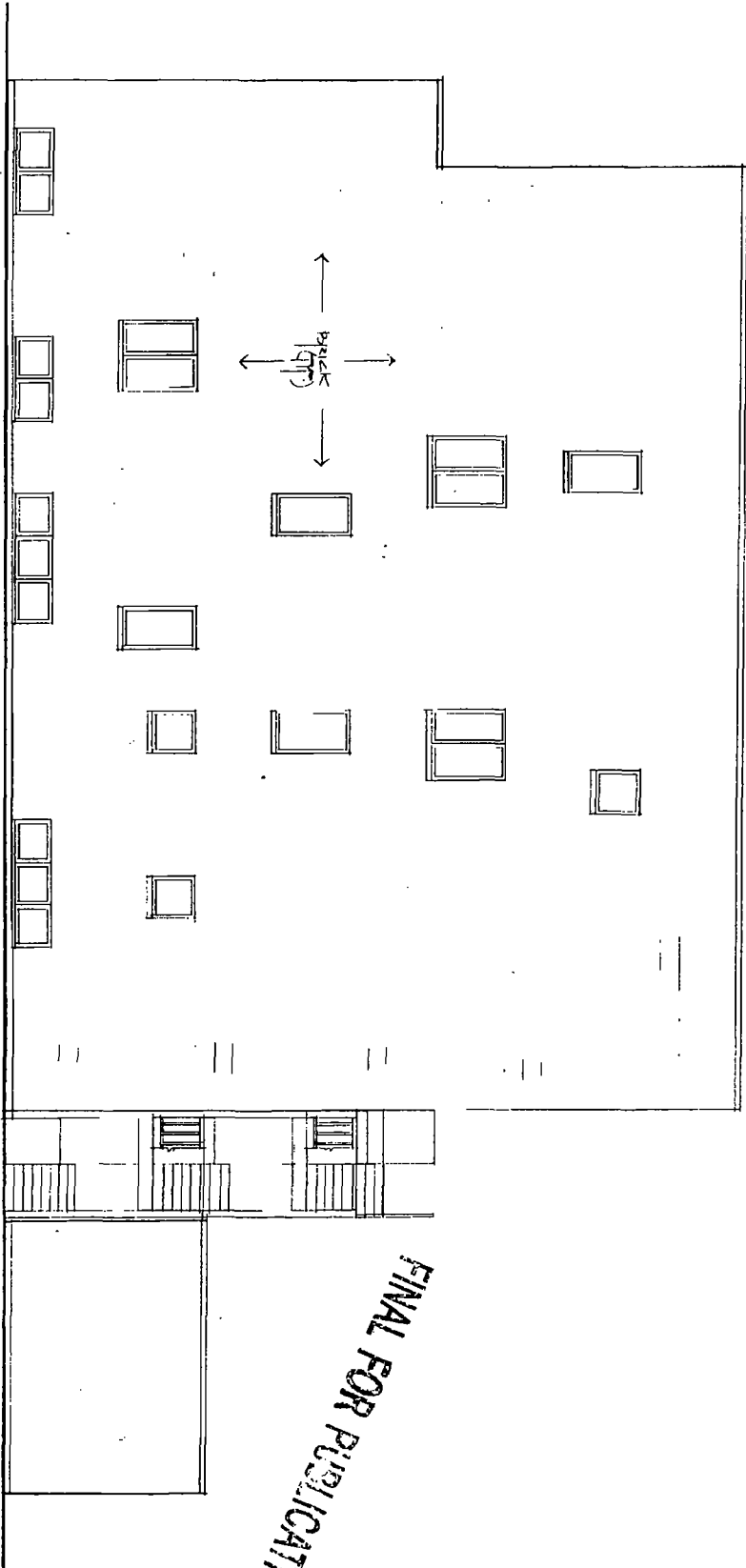
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○ EAST ELEVATION
1/8" = 1'-0"

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West Elevation



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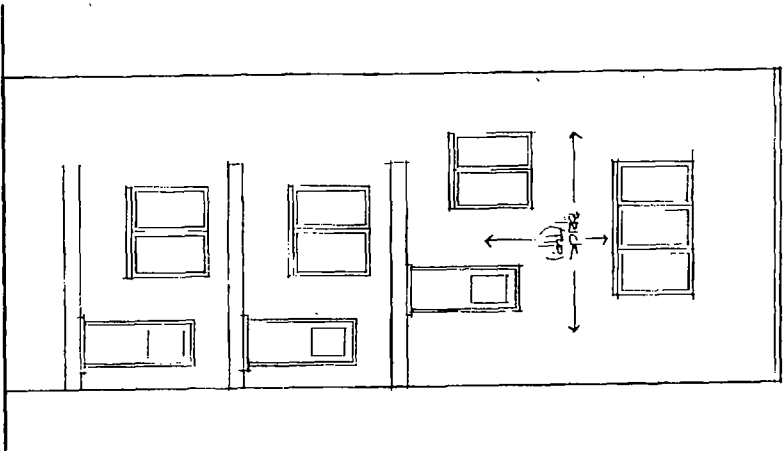
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South Elevation
1/8" = 1'-0"

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