



City of Chicago



O2016-8634

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 12/14/2016

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 5-I at 1905 N Albany Ave -
App No. 19056T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

FF 19056 TT
INTRO DATE
DEC. 14, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS-3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No5-I the area bounded by

A line 57.87 feet north of and parallel to the north line of West Cortland Street; the north south alley east of and parallel to North Albany Avenue; A line 32.87 feet north of and parallel to the north line of West Cortland Street; North Albany Avenue

to those of a RT-4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 1905 North Albany Avenue

PROJECT NARRATIVE
TYPE 1 ZONING AMENDMENT
1905 North Albany

Proposed Zoning Change RT-4 Residential Two-Flat, Townhouse and Multi-Unit District

The applicant is requesting a zoning amendment from a RS-3 Residential Single-Unit (Detached House) District to a RT-4 Residential Two-Flat, Townhouse and Multi-Unit District to allow for a proposed three-story, 3 residential dwelling unit building with 3 parking spaces.

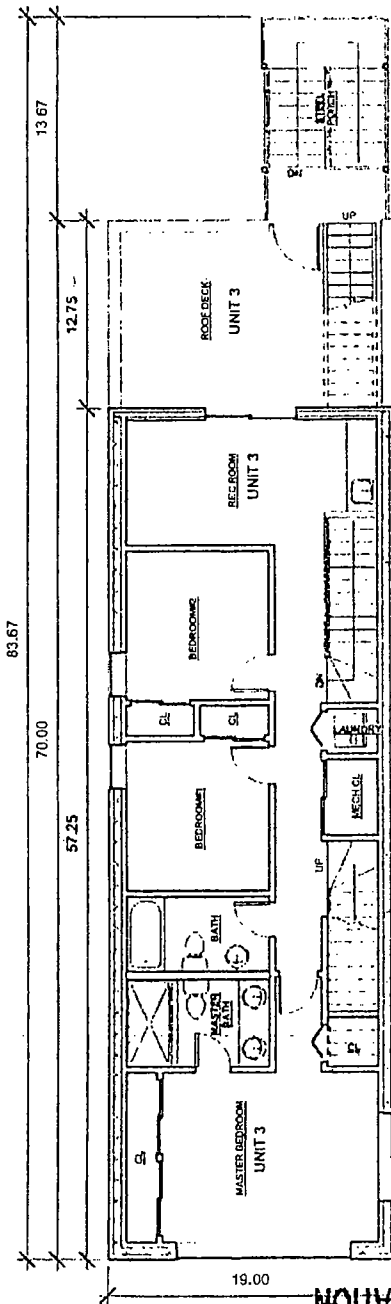
Lot Area	3,125 square feet
Parking	3 Spaces
Front Setback	4.70 feet
Rear Yard	50 feet
North Side Setback	3 feet
South Side Setback	3 feet
FAR	1.2
Building Square Footage	3,747.75 square feet
Building Height	36 Feet

1905 NORTH ALBANY AVE



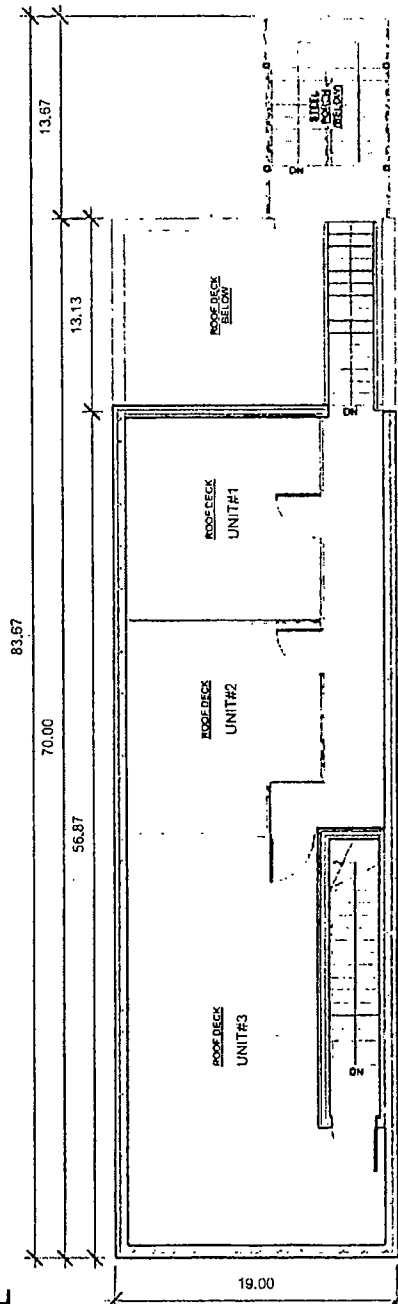
3RD FLOOR PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"



FINAL FOR PUBLICATION

1905 NORTH ALBANY AVE



BASEMENT PLAN

SCALE: 1/8" = 1'-0"



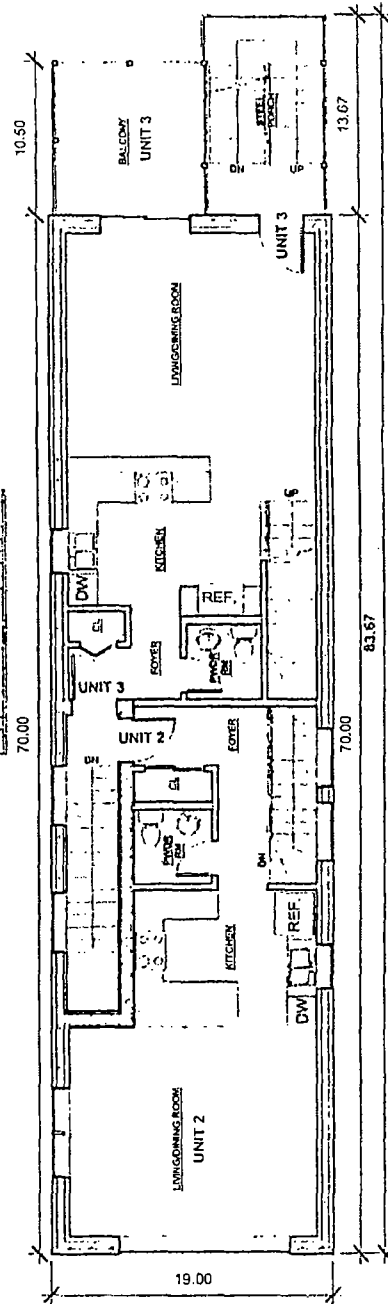
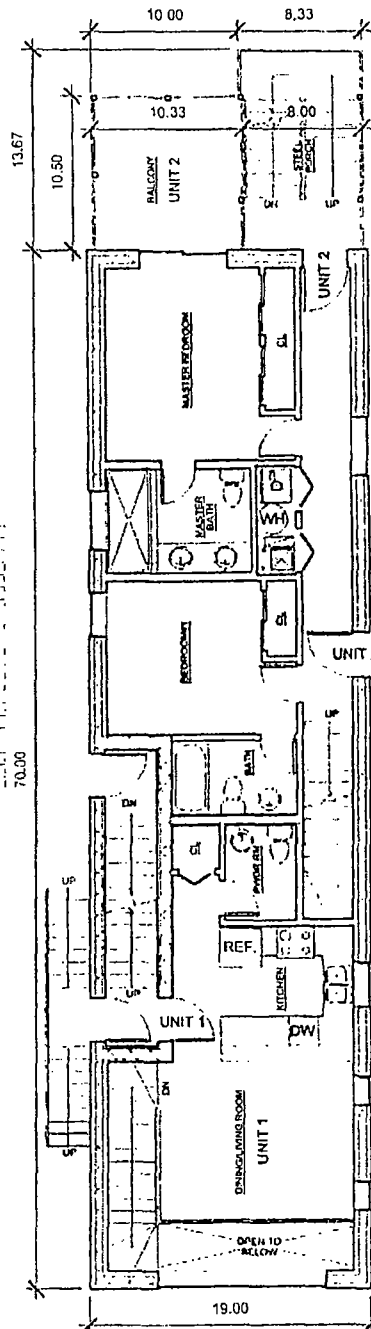
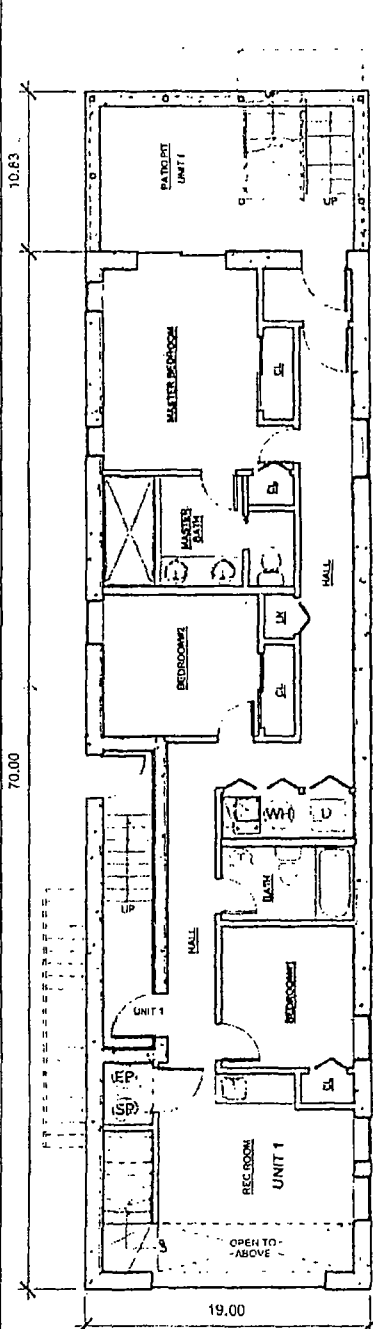
1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

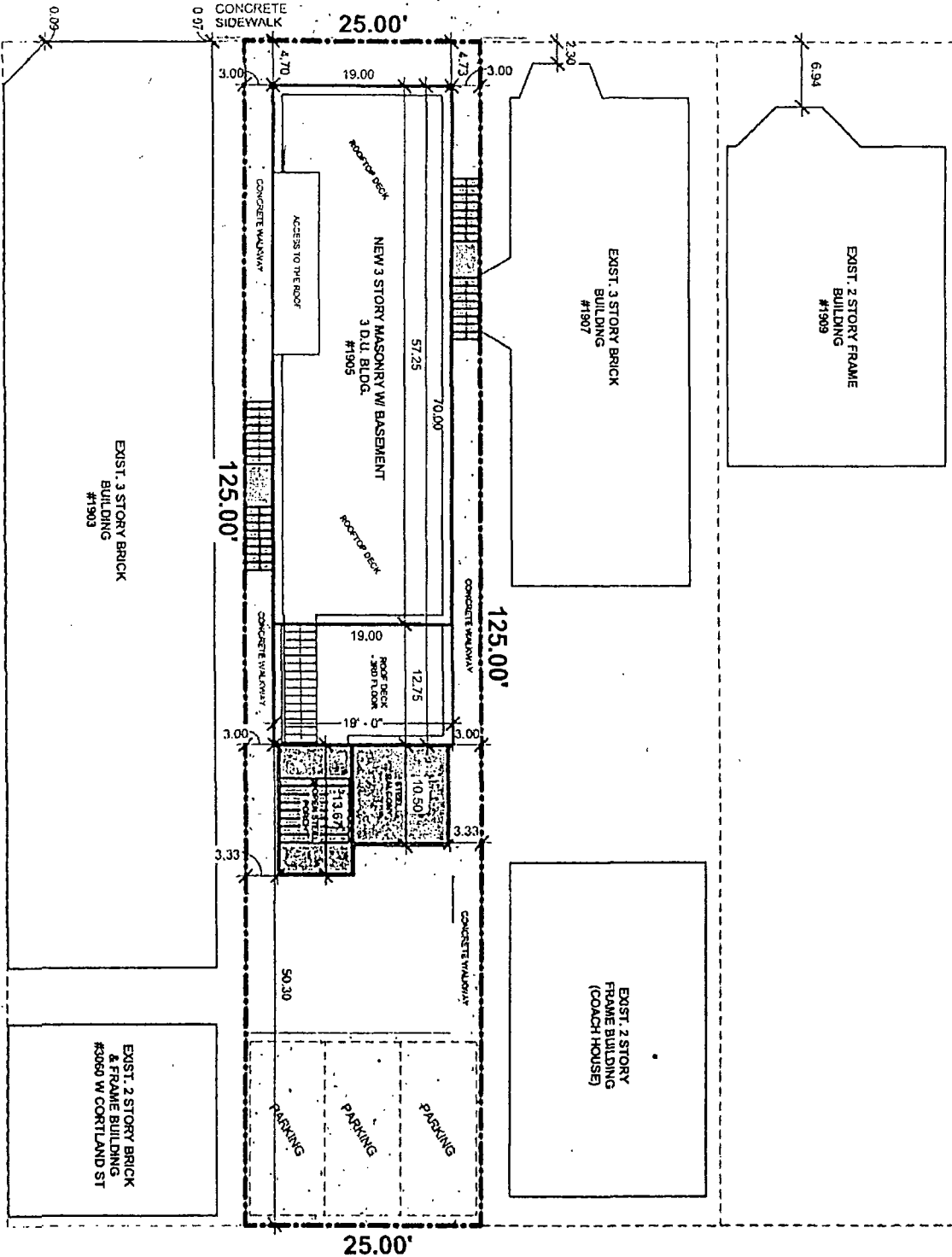


FINAL FOR PUBLICATION

NORTH ALBANY AVENUE

FINAL FOR PUBLICATION

WEST CORTLAND STREET



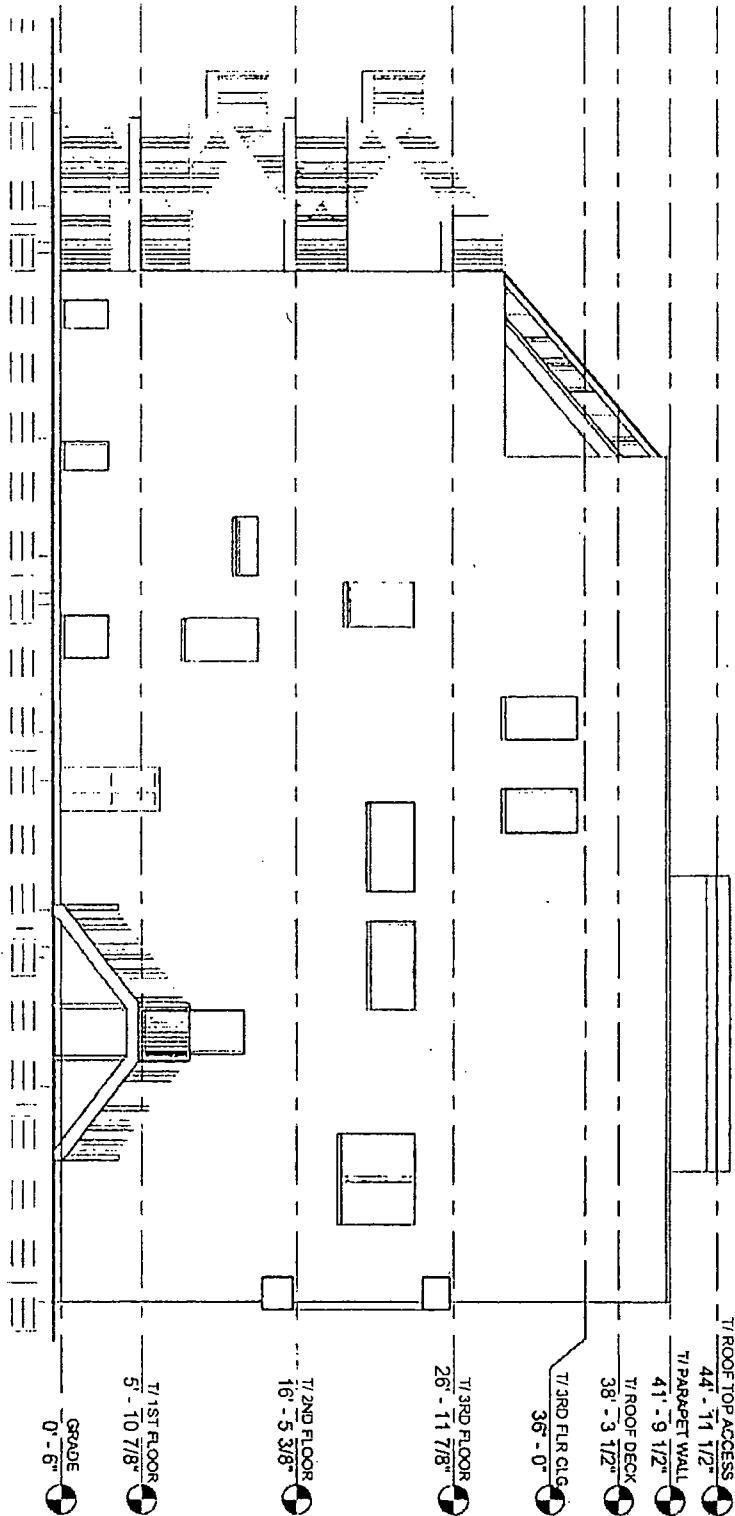
1 SITE PLAN
3/32" = 1'-0"



1905 NORTH ALBANY AVE

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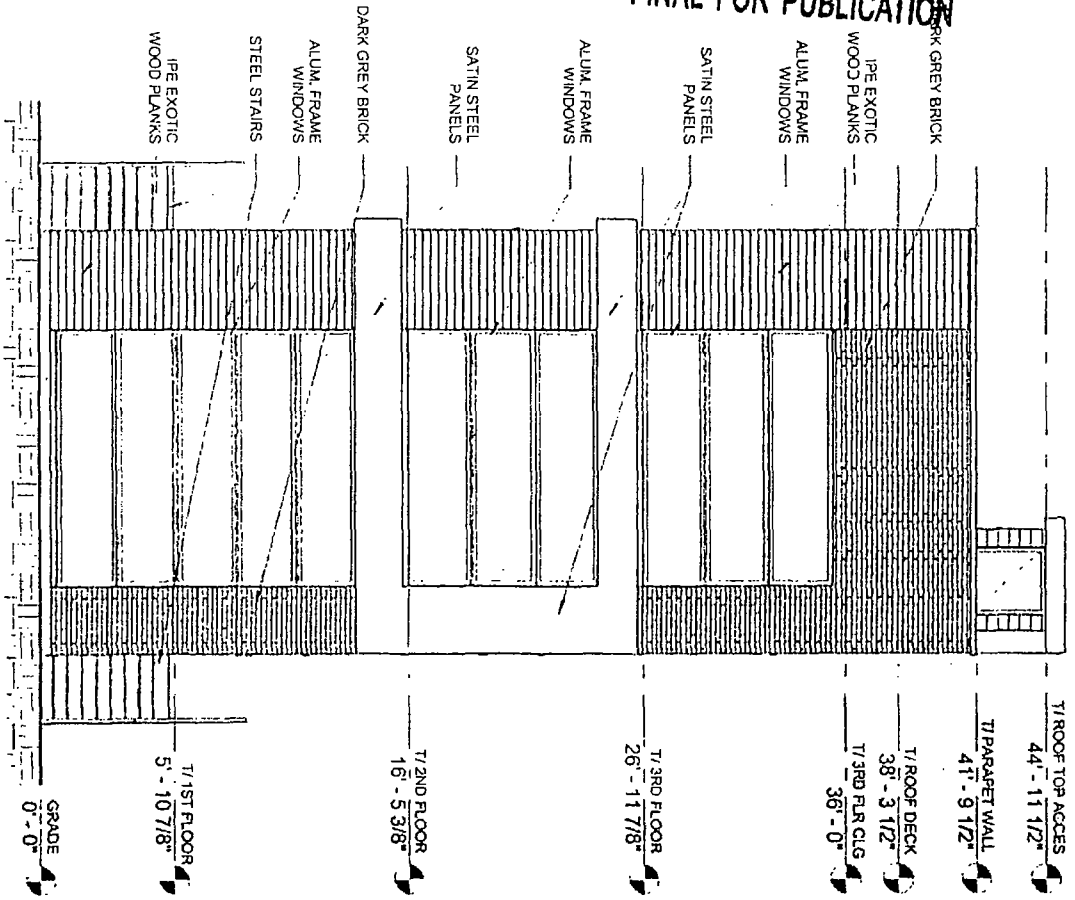
NORTH (LEFT SIDE) ELEVATION



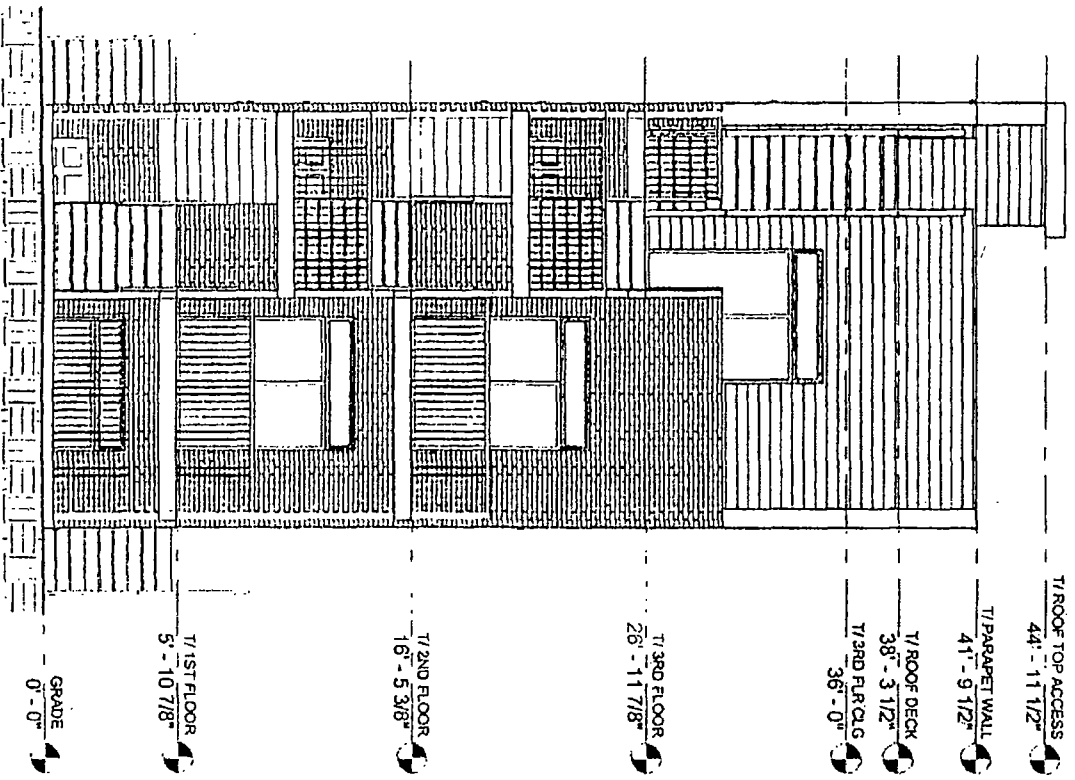
1905 NORTH ALBANY AVE

FINAL FOR PUBLICATION

WEST (FRONT) ELEVATION



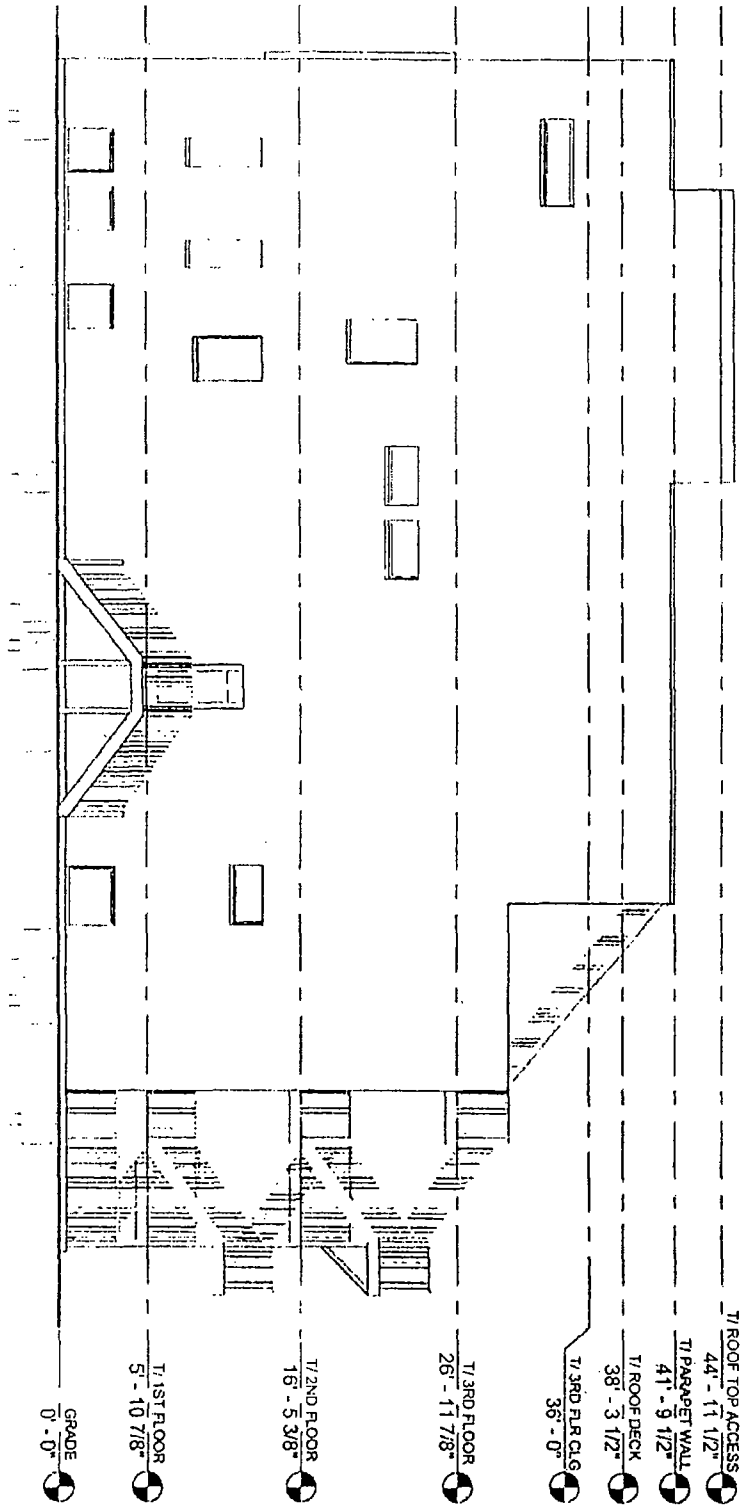
EAST (REAR) ELEVATION



1905 NORTH ALBANY AVE

FINAL FOR PUBLICATION

SOUTH (RIGHT SIDE) ELEVATION



1905 NORTH ALBANY AVE



CITY COUNCIL

CITY OF CHICAGO

COUNCIL CHAMBER
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121 NORTH LA SALLE STREET
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TELEPHONE 312 744-6845
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COMMITTEE MEMBERSHIPS

ZONING, LANDMARKS & BUILDING STANDARDS
(CHAIRMAN)
.....
AVIATION
.....
BUDGET AND GOVERNMENT OPERATIONS
.....
COMMITTEES, RULES & ETHICS
.....
EDUCATION AND CHILD DEVELOPMENT
.....
FINANCE
.....
HUMAN RESOURCES
.....
PUBLIC SAFETY
.....
WORKFORCE DEVELOPMENT AND AUDIT

DANIEL S. SOLIS

ALDERMAN, 25TH WARD
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JANUARY 25, 2017

REPORT OF THE COMMITTEE ON ZONING, LANDMARKS, AND BUILDING STANDARDS

PRESENTING A REPORT FOR YOUR COMMITTEE ON ZONING,
LANDMARKS AND BUILDING STANDARDS WHICH HELD A MEETING ON
JANUARY 23, 2017. THE FOLLOWING ORDINANCES WERE PASSED BY A
MAJORITY OF THE MEMBERS PRESENT.

PAGES ONE THRU TWELVE CONTAIN VARIOUS MAP AMENDMENTS
REGARDING LAND USE.

PAGE TWELVE CONTAINS BUSINESS ID SIGNS AND TWO
ORDINANCES FOR FEE WAIVERS FOR HISTORICAL LANDMARKS.

I HEREBY MOVE PASSAGE OF THESE ITEMS BY THE LAST MOST
FAVORABLE VOTE OF THE FINANCE COMMITTEE REPORT AND THE
ASSOCIATED MOTION TO RECONSIDER.

Respectfully submitted,

Daniel S. Solis

Alderman, 25 th Ward