



City of Chicago



O2019-8488

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 11/13/2019

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 4-F at 2117-2119 S Halsted St - App No. 20255T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-2 Limited Manufacturing /Business Park District symbols and indications as shown on Map No. 4-F in the area bounded by

A line 50 feet north of and parallel to West 21st Place; the alley next east of and parallel to South Halsted Street; West 21st Place; and South Halsted Street,

to those of a B3-3 Community Shopping District and a corresponding uses district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property: 2117-2119 South Halsted Street

**NARRATIVE AND PLANS
FOR THE PROPOSED TYPE 1 REZONING**

AT
2119 S. Halsted, Chicago, IL
11th Ward

The Applicant intends to change the zoning from the existing M1-2 to B3-3 to maintain and legalize the use of the property, to continue the operation of the existing business/restaurant with accessory liquor and with 8 dwelling units. This establishment is described as:

ZONING: B3-3

LOT AREA: 5000 square feet

MINIMUM LOT AREA PER DWELLING UNIT: 625 Square Feet

FLOOR AREA RATIO: 3.0

BUILDING AREA: 9804 square feet

OFF-STREET PARKING: 3 parking spots

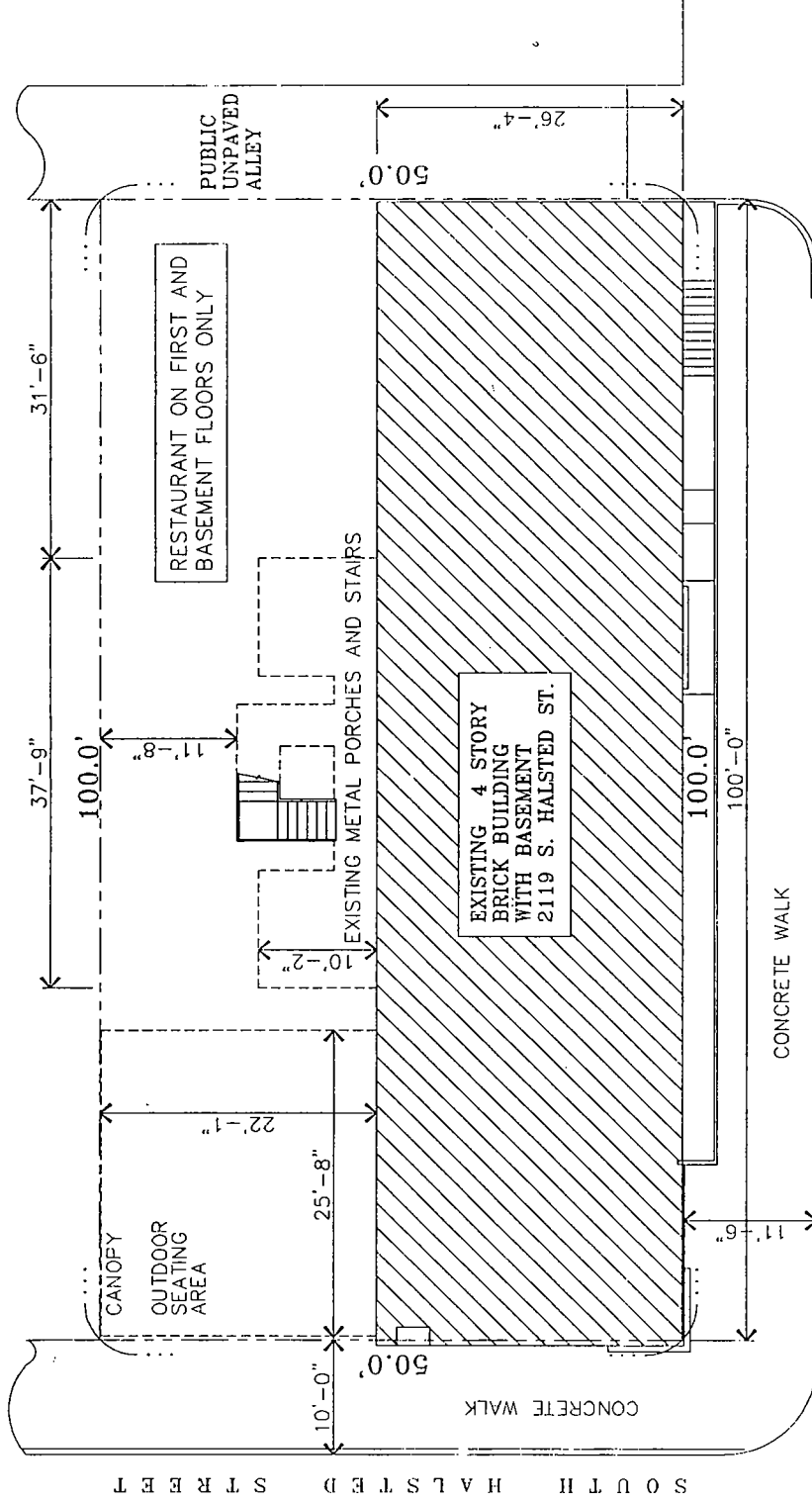
FRONT SETBACK: 0 feet 0 inches

REAR SETBACK: 0 feet 0 inches

SIDE SETBACK: 0 feet 0 feet on each side

BUILDING HEIGHT: 40 feet

Attachments included.



SITE PLAN

SCALE: 1/16" = 1'-0"

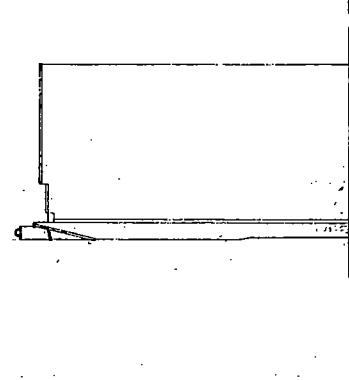
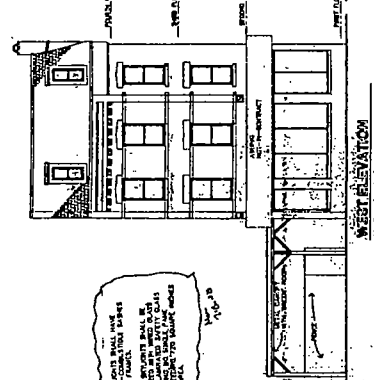
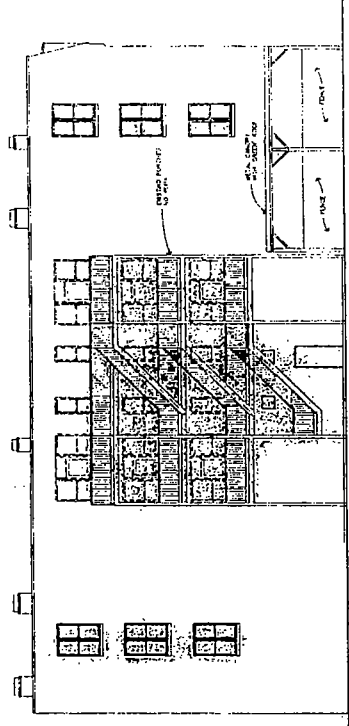
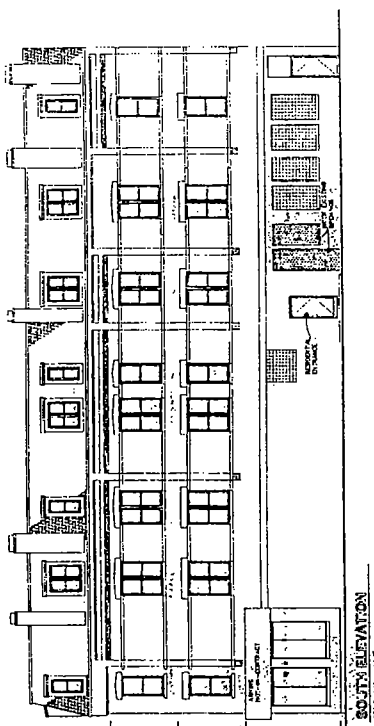
WEST 21st PLACE

SOUTH HALSTED STREET

RECORD	
1	DATE
2	DESCRIPTION
3	BY
4	CHECKED
5	DATE
6	DESCRIPTION
7	BY
8	CHECKED
9	DATE
10	DESCRIPTION
11	BY
12	CHECKED
13	DATE
14	DESCRIPTION
15	BY
16	CHECKED
17	DATE
18	DESCRIPTION
19	BY
20	CHECKED

NEW RESTAURANT
ELEVATIONS
ACCESS DETAILS

A4.1



ACCESSIBILITY NOTES

1. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

2. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

3. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

4. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

5. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

6. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

7. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

8. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

9. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

10. ALL NEW AND EXISTING ACCESSIBLE ELEMENTS SHALL BE CONFORMANT WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL SPOKEN LANGUAGE STANDARDS (ISL) AS APPLICABLE.

ACCESSIBILITY DETAILS

1. **LEVEL CHANGES**

 1:12 SLOPE
 1'-0" MIN. CLEARANCE
 2'-0" MIN. CLEARANCE
 2. **LAVATORY**

 2'-0" MIN. CLEARANCE
 3. **WATER CLOSETS**

 2'-0" MIN. CLEARANCE
 4. **SEAT BAR**

 1'-6" MIN. CLEARANCE
 5. **CONTROLS AND OPERATING MECHANISMS**

 48" MAX. HEIGHT
 6. **HORIZONTAL AT RAMP**

 1:20 SLOPE
 7. **STAR RISING**

 1:12 SLOPE
 8. **STAR DIAGRAM**

 1:12 SLOPE
 9. **STAIR ROISING**

 1:12 SLOPE
 10. **STAIR ROISING**

 1:12 SLOPE

7 6 08

