



City of Chicago



SO2016-5588

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	7/20/2016
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 1-G at 801-813 W Lake St and 174-184 N Halsted St - App No. 18913
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the C3-1 Commercial, Manufacturing and Employment District and DX-5 Downtown Mixed-Use District symbols and indications as shown on Map 1-G in the area bounded by:

West Lake Street; North Halsted Street; a line 165 feet next south of and parallel to West Lake Street; a line 120.20 feet next west of and parallel to North Halsted Street; the public alley next south of and parallel to West Lake Street and a line 150 feet next west of and parallel to North Halsted Street;

to those of a DX-7 Downtown Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the DX-7 Downtown Mixed-Use District symbols and indications as shown on Map 1-G in the area bounded by:

West Lake Street; North Halsted Street; a line 165 feet next south of and parallel to West Lake Street; a line 120.20 feet next west of and parallel to North Halsted Street; the public alley next south of and parallel to West Lake Street and a line 150 feet next west of and parallel to North Halsted Street;

to those of a Business Planned Development.

SECTION 3. This Ordinance shall be in force and effect from and after its passage and publication.

BUSINESS PLANNED DEVELOPMENT NO. _____
PLANNED DEVELOPMENT STATEMENTS

1. The area delineated herein as Planned Development Number TBD, (“Planned Development”) consists of approximately 22,965 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map (“Property”). Partners & Bond LLC is the “Applicant” for this planned development pursuant to authorization from the Property owners.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant’s successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance (the “Zoning Ordinance”), the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation (“CDOT”) on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development (“DPD”) and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

All work proposed in the public way must be designed and constructed in accordance with CDOT Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by CDOT.

4. This Plan of Development consists of these 15 Statements; a Bulk Regulations and Data Table and the following exhibits and plans attached hereto prepared by GREC Architects and dated January 19, 2017 (the “Plans”): an Existing Land-Use Map; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; a Site/Landscape Plan; a Roof Plan; and Building Elevations (North, South, East and West). In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. The following uses are permitted in the area delineated herein as a Business Planned Development: Retail Sales, General; Office; Lodge or Private Club; School; Co-Located Wireless Communication Facilities; Day Care; Postal Service; Public Safety Services; Animal Services; Artist Work or Sales

Applicant: Partners & Bond LLC
Address: 801-813 West Lake Street, 170-184 North Halsted Street Chicago, IL 60607
Introduced: July 20, 2016
Plan Commission: January 19, 2017

Space; Business Equipment Sales and Service; Business Support Services; Urban Farm (Rooftop Operation); Communication Service Establishments; Eating and Drinking Establishments (all, including Tavern); Entertainment and Spectator Sports (excluding Inter-Track Wagering Facility); Financial Services (excluding pawn shops and pay day loan stores); Food and Beverage Retail Sales (provided Liquor Sales shall only be an accessory use); Medical Service; Personal Service; Repair or Laundry Service, Consumer; Children's Play Center; Auto Supply/Accessory Sales; Car Wash or Cleaning Service; Motor Vehicle Repair Shop (not including body work, painting or commercial vehicle repairs); and related, incidental and accessory uses and accessory parking.

6. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-Premise signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The Applicant acknowledges that the project has received a bonus FAR of 4.5, pursuant to Sec. 17-4-1000 of the Zoning Ordinance. With this bonus FAR, the total FAR for the Planned Development is 11.5. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17.4-1003-B & C, prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment will be split between three separate funds, as follows: 80% to the Neighborhoods Opportunity Fund, 10% to the Citywide Adopt-a-Landmark Fund and 10% to the Local Impact Fund. In lieu of paying the City directly, the Department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or, (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

In this case, the Applicant will contribute one half (1/2) of the Local Impact portion of the bonus payment for construction of a field house located at Skinner Park and one half (1/2) of the Local Impact portion of the bonus payment for construction of a public library (the "Projects") The Projects are located within one mile of the Planned Development site, as required by Sec. 17-4-1005-C. The Applicant must make such payment, or the applicable portion thereof in the case of a phased development, prior to the issuance of the first building permit for the Planned Development or applicable phase thereof. The City must enter into an intergovernmental agreement regarding the manner in which the funds will be used.

9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

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10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall achieve building certification and provide a 50% net green roof equivalent to an actual total of 8,686 square feet.
15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a Zoning Map Amendment to rezone the property to the DX-7 Downtown Mixed-Use District.

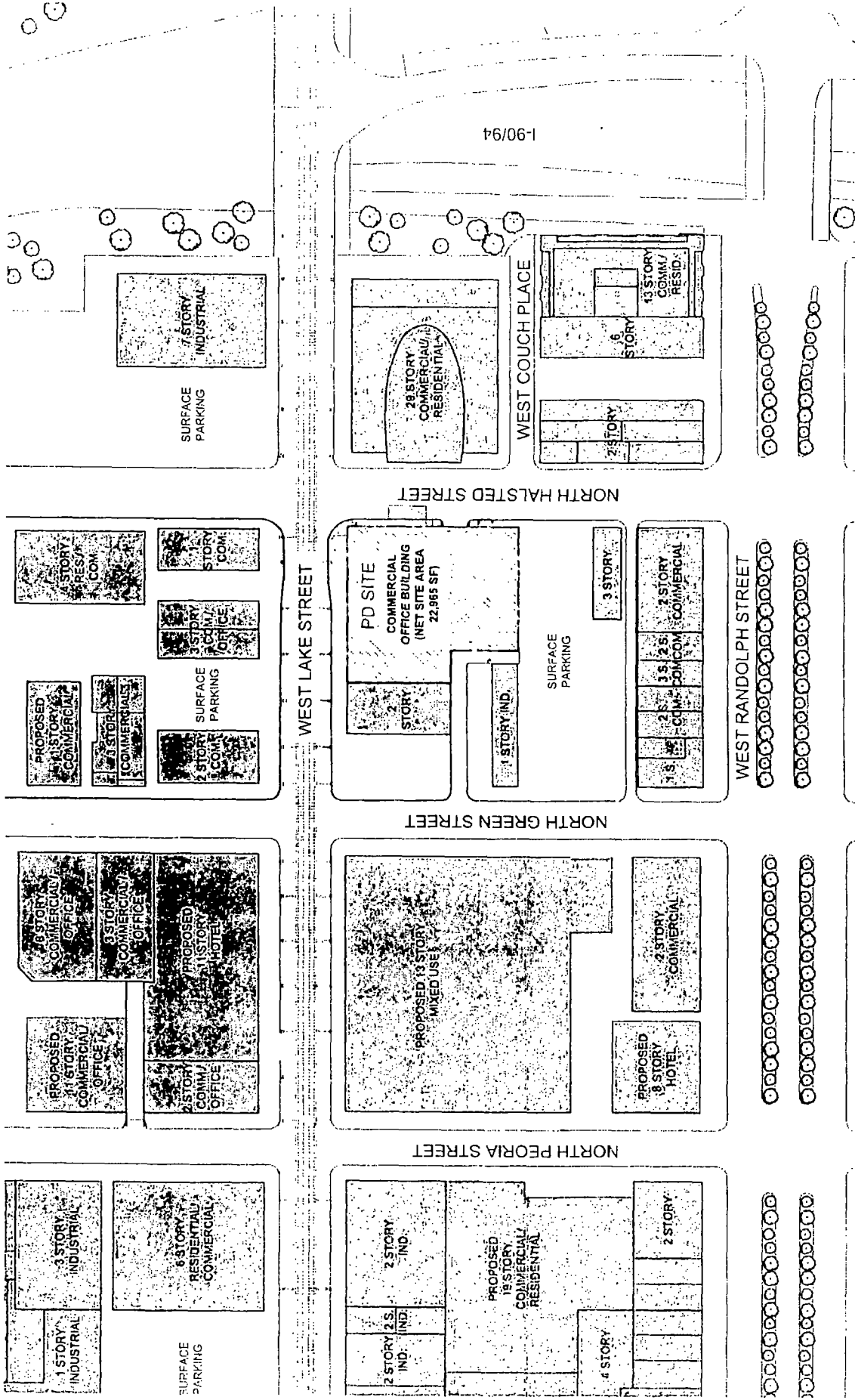
Applicant: Partners & Bond LLC
Address: 801-813 West Lake Street, 170-184 North Halsted Street Chicago, IL 60607
Introduced: July 20, 2016
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BUSINESS PLANNED DEVELOPMENT NO. _____
BULK REGULATIONS AND DATA TABLE

Gross Site Area (sf):	35,825
Area of Public Rights-of-Way (sf):	12,860
Net Site Area (sf):	22,965
Maximum Floor Area Ratio:	11.5
Minimum Off-Street Parking Spaces:	48
Minimum Off-Street Loading Spaces:	1 (10'x25')
Maximum Building Height:	240'0"
Minimum Setbacks:	In substantial conformance with the Plans

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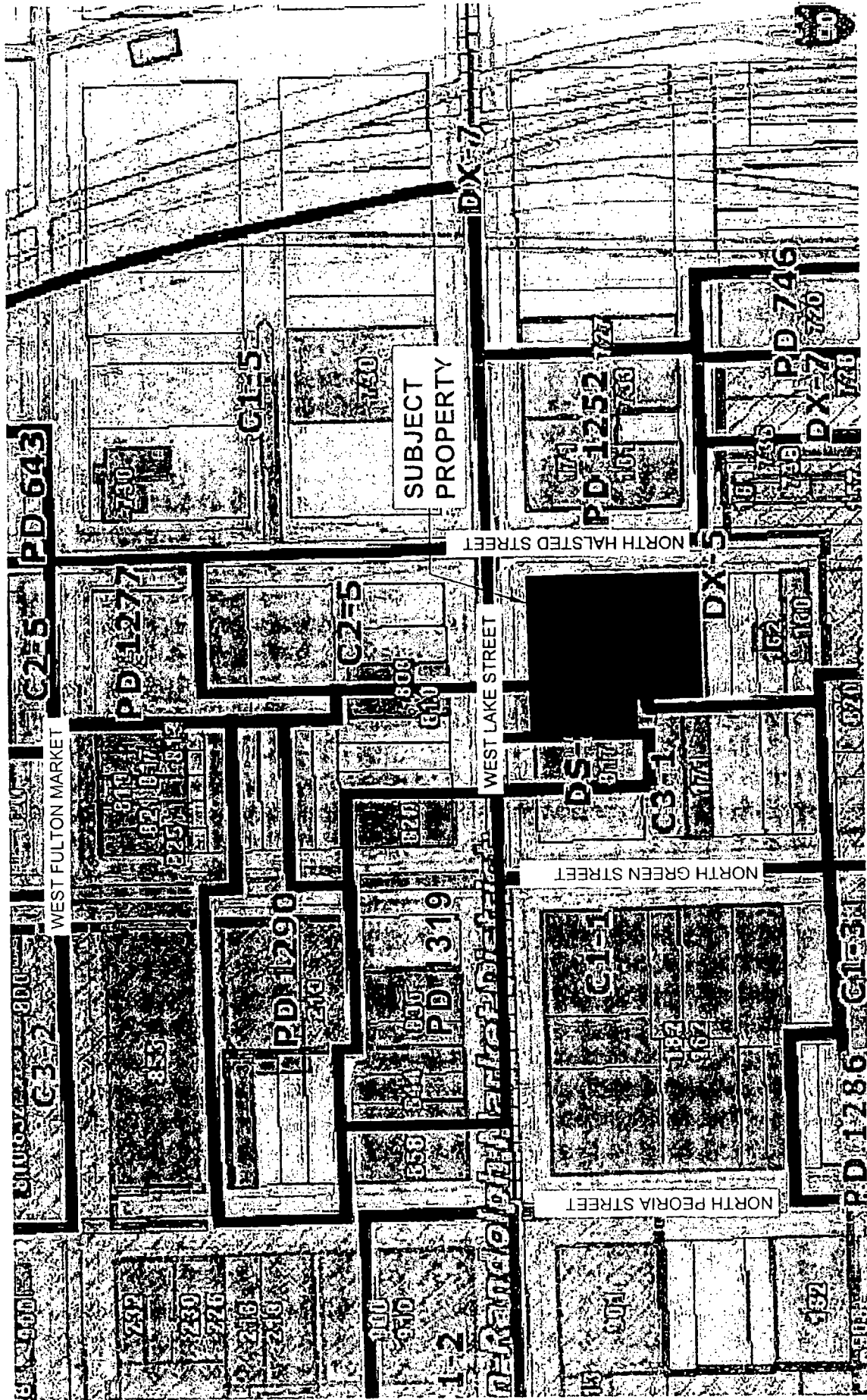
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EXISTING LAND-USE MAP

SCALE: NTS

APPLICANT: PARTNERS & BOND LLC
 ADDRESS: 801-813 W. LAKE ST. : 170-184 N. HALSTED ST.
 INTRODUCTION DATE: JULY 20, 2016
 PLAN COMMISSION DATE: JANUARY 19, 2017

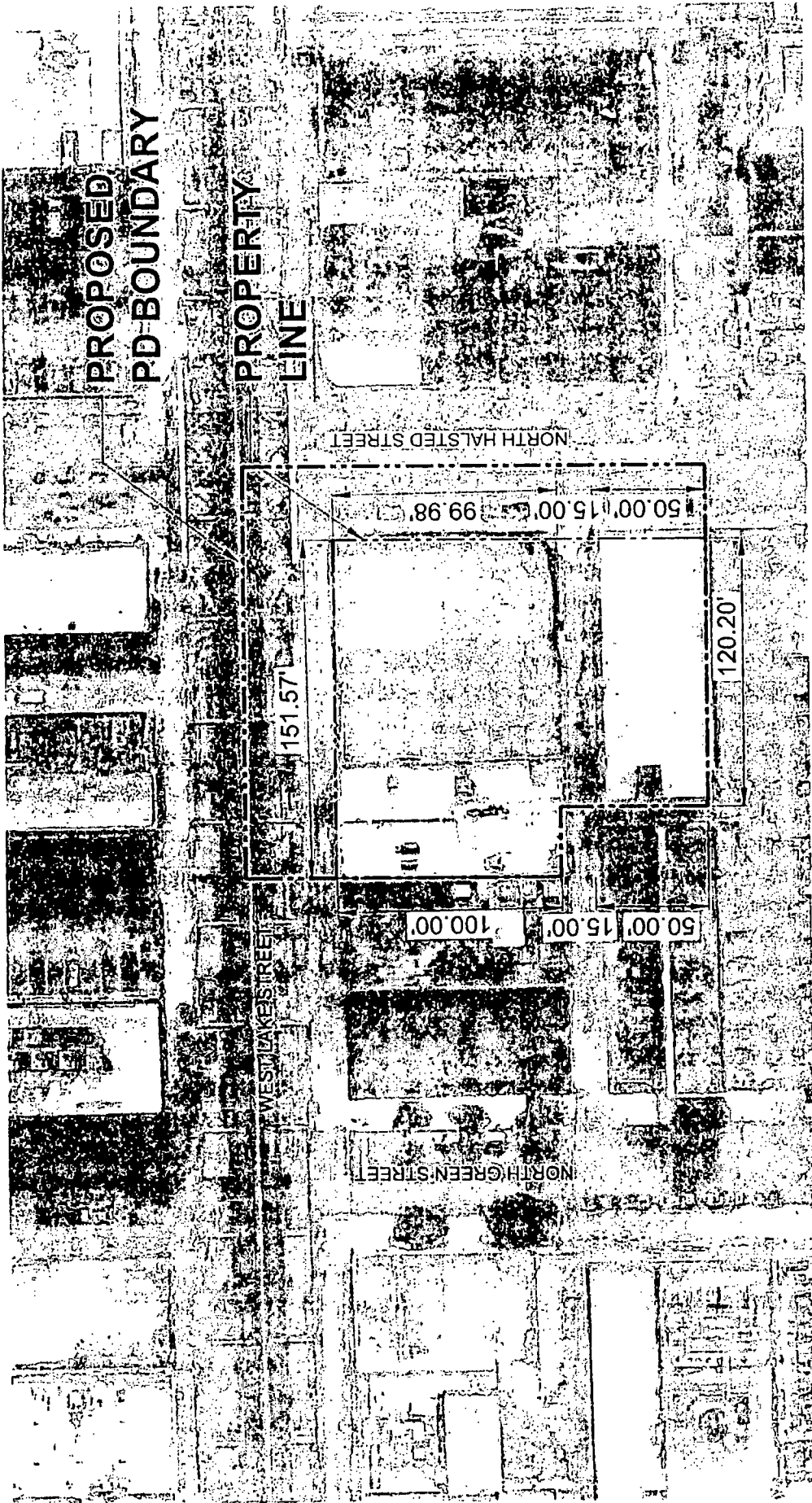


EXISTING ZONING MAP

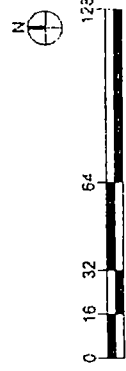
SCALE: NTS

APPLICANT: PARTNERS & BOND LLC
 ADDRESS: 801-813 W. LAKE ST ; 170-184 N. HALSTED ST.
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NET SITE AREA: 22,965 SF
 AREA IN RIGHT-OF-WAY: 12,860 SF
 GROSS SITE AREA: 35,825 SF



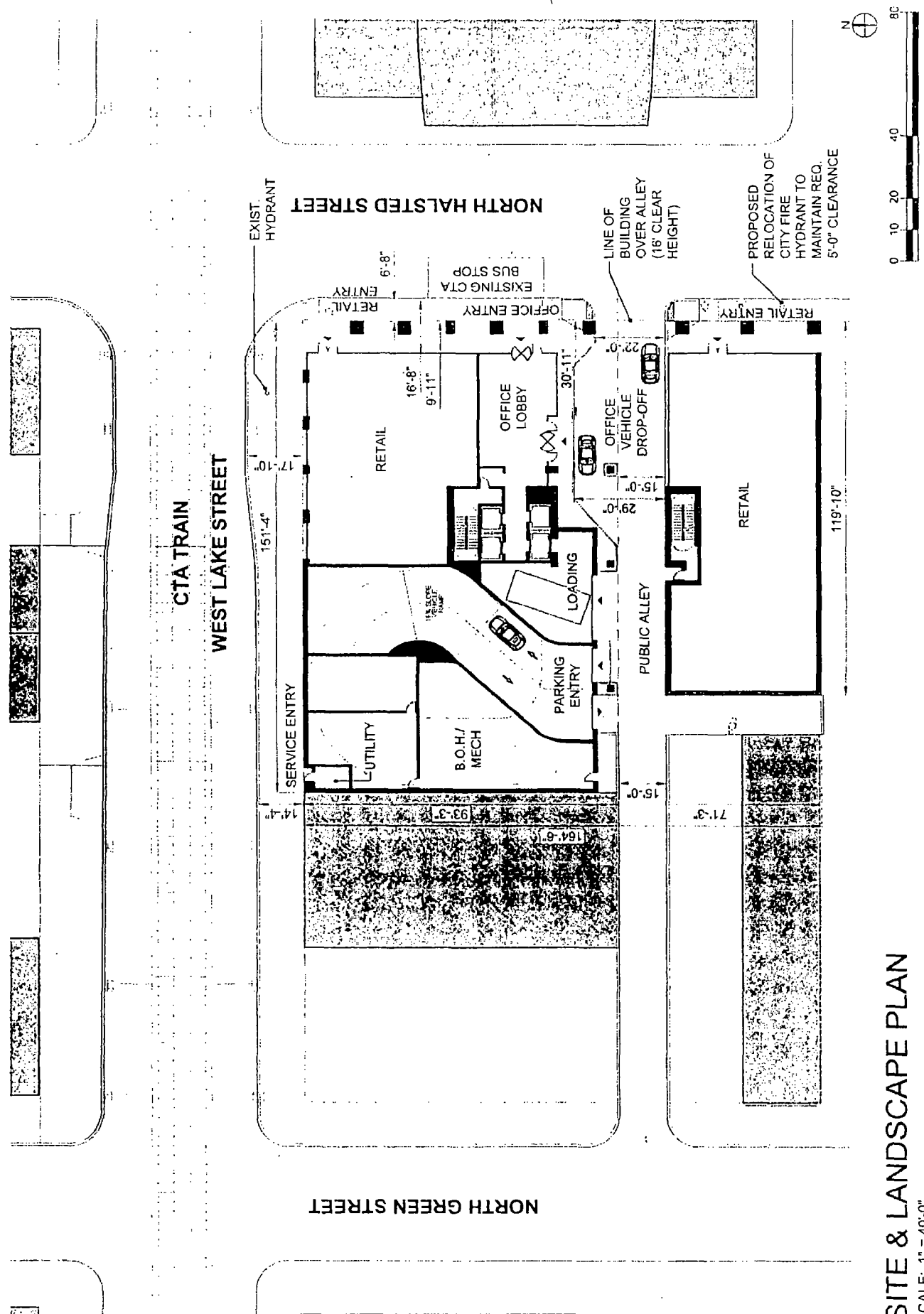
PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE MAP

SCALE: 1/4"=1'-0"

APPLICANT: PARTNERS & BOND LLC
 ADDRESS: 801-813 W. LAKE ST., 170-184 N. HALSTED ST.
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SHAPACK PARTNERS | **FOCUS** | **GIRIIC ARCHITECTS**

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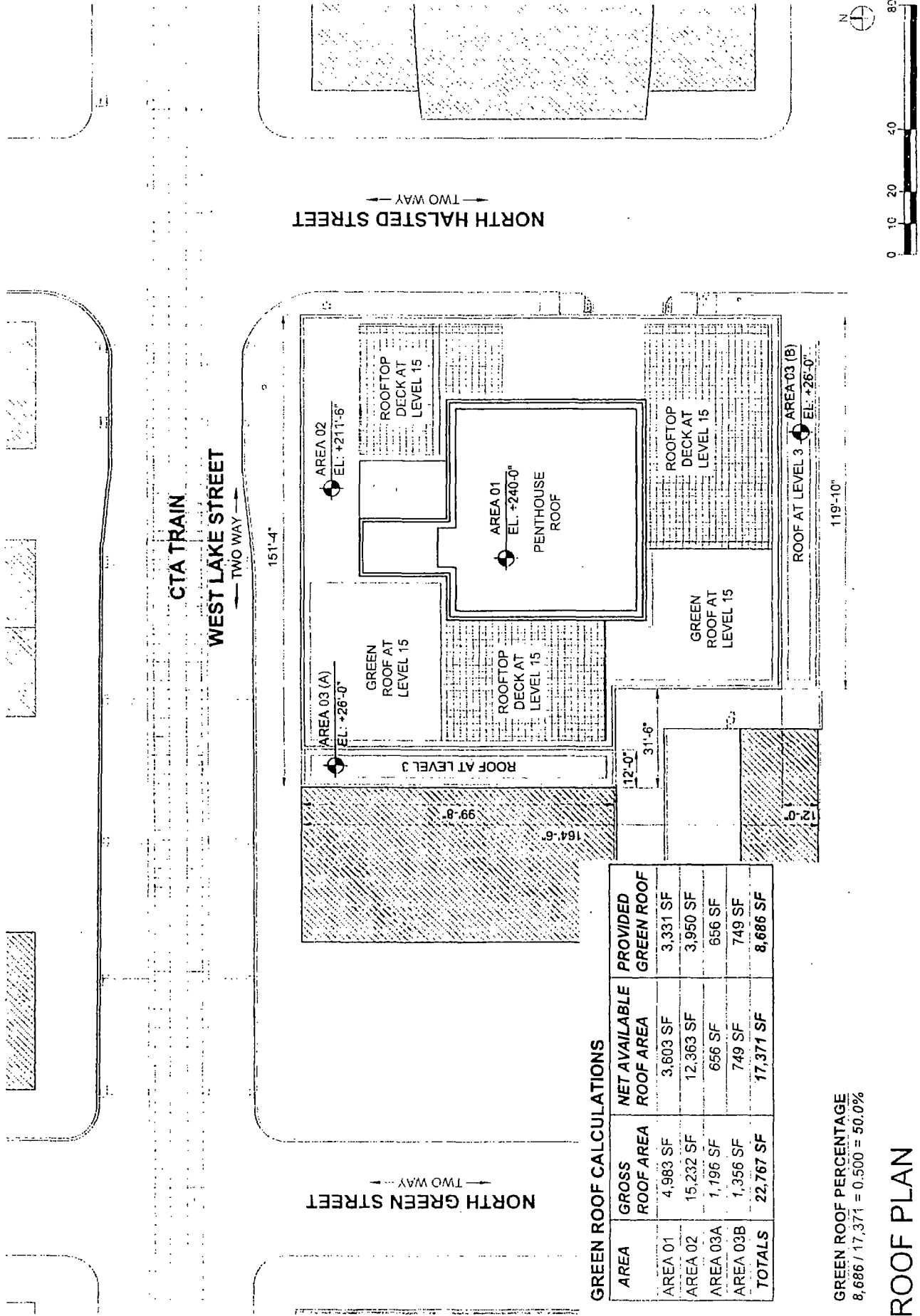
SITE & LANDSCAPE PLAN

SCALE: 1" = 40'-0"

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SHAPACK PARTNERS | **FOCUS** | **GRIEJC ARCHITECTS**

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GREEN ROOF CALCULATIONS

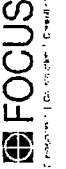
AREA	GROSS ROOF AREA	NET AVAILABLE ROOF AREA	PROVIDED GREEN ROOF
AREA 01	4,983 SF	3,603 SF	3,331 SF
AREA 02	15,232 SF	12,363 SF	3,950 SF
AREA 03A	1,196 SF	656 SF	656 SF
AREA 03B	1,356 SF	749 SF	749 SF
TOTALS	22,767 SF	17,371 SF	8,686 SF

GREEN ROOF PERCENTAGE
 $8,686 / 17,371 = 0.500 = 50.0\%$

ROOF PLAN

SCALE: 1" = 40'-0"

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GJR|E|C ARCHITECTS

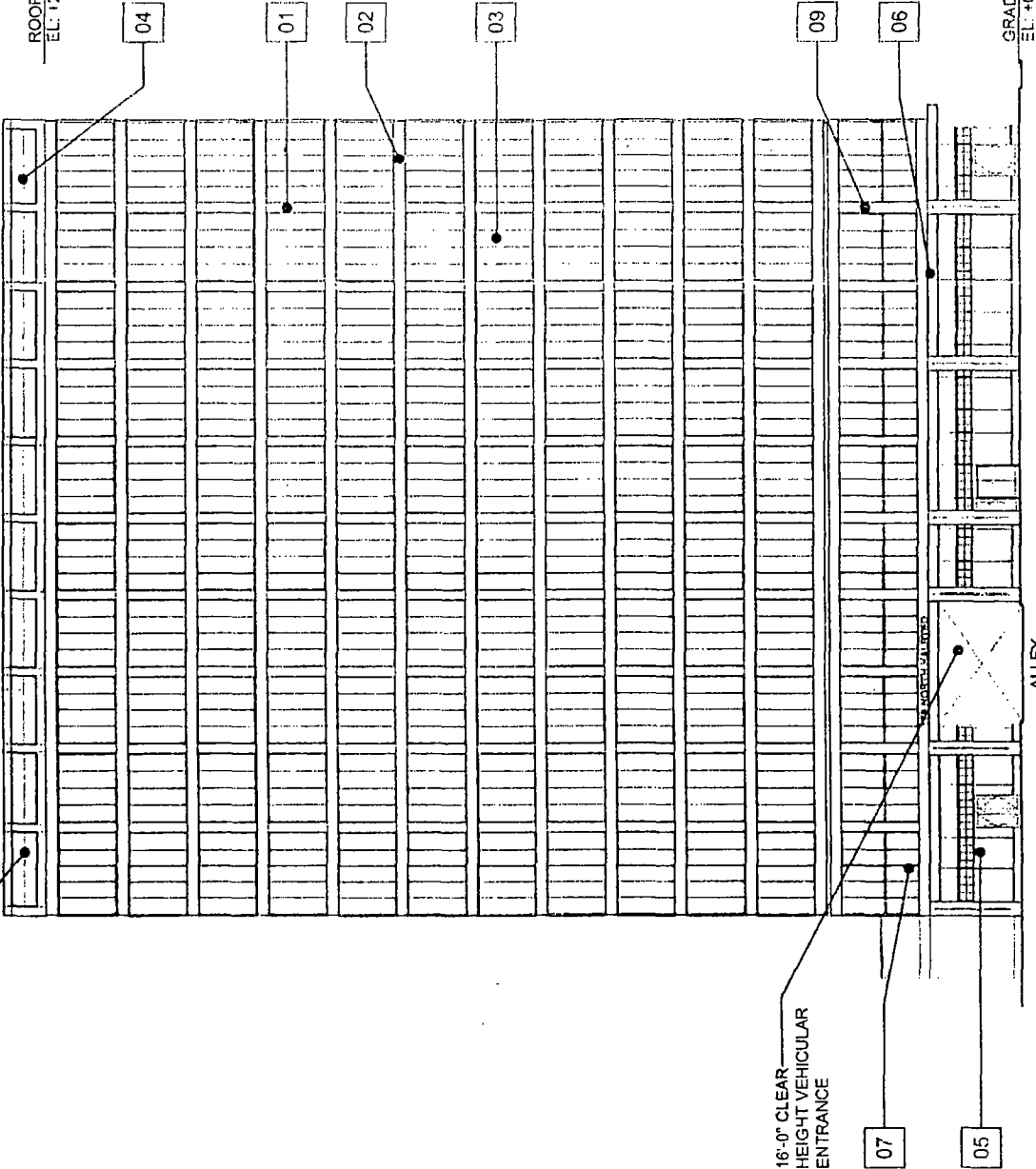
FOR INFORMATION

MATERIAL LEGEND

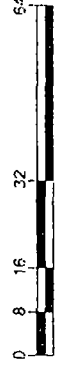
- 01 COATED METAL COLUMN COVER
- 02 COATED METAL PANEL
- 03 METAL & GLASS WINDOW SYSTEM
- 04 GLASS RAILING
- 05 METAL & GLASS STOREFRONT SYSTEM
- 06 COATED METAL CANOPY
- 07 SPANDREL GLASS
- 08 COATED CAST-IN-PLACE CONCRETE
- 09 MASONRY BASE
- 10 WALL SURFACE WITH OPTIONAL PUBLIC ART

T/ ROOF
EL: +225'-0"

ROOF DECK
EL: 1211'-6"



GRADE LEVEL
EL: +0'-0"



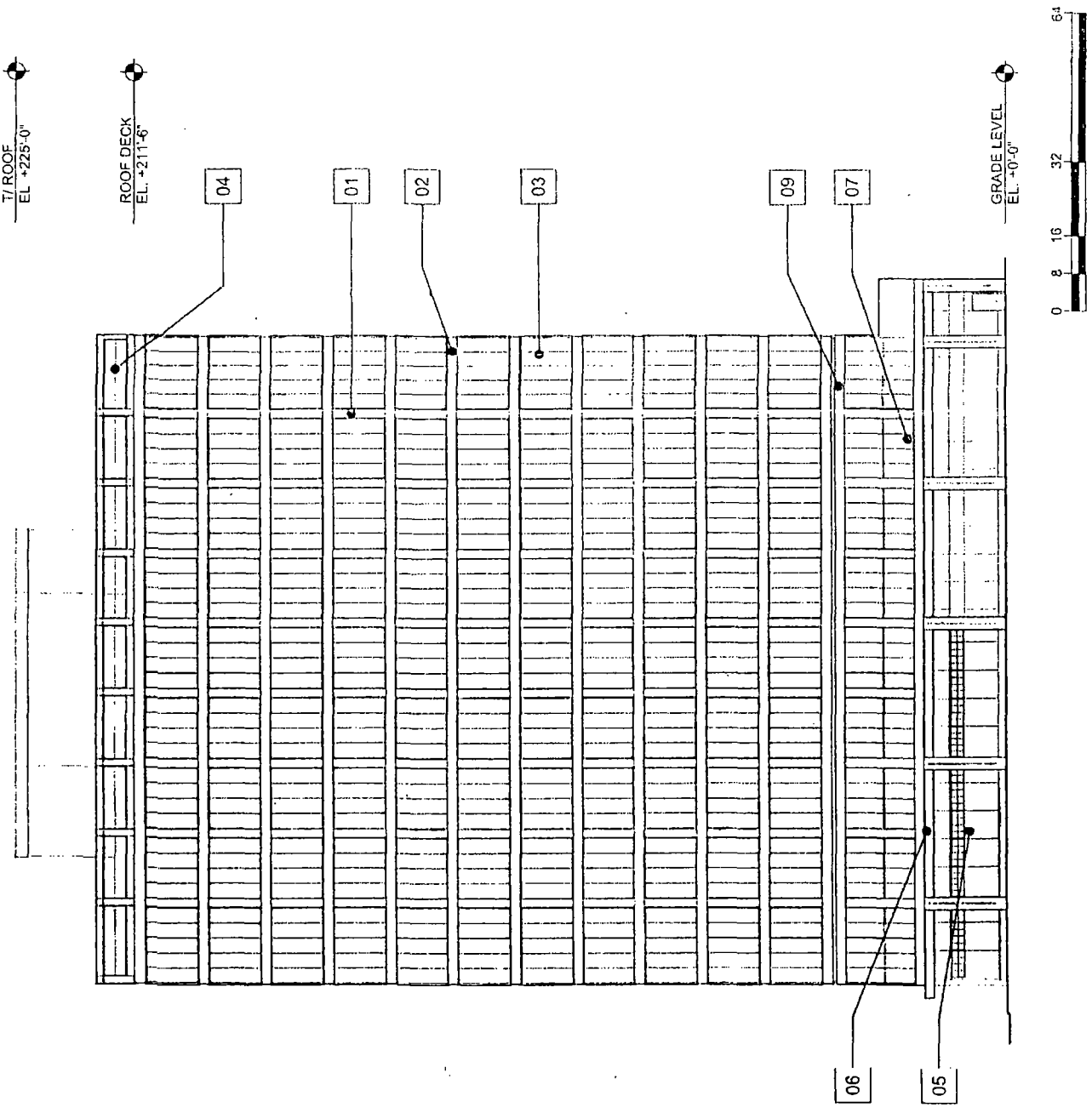
EAST ELEVATION
SCALE: 1/32" = 1'-0"

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FINAL FOR PERMITS

MATERIAL LEGEND

- 01 COATED METAL COLUMN COVER
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NORTH ELEVATION

SCALE: 1/32" = 1'-0"

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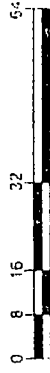
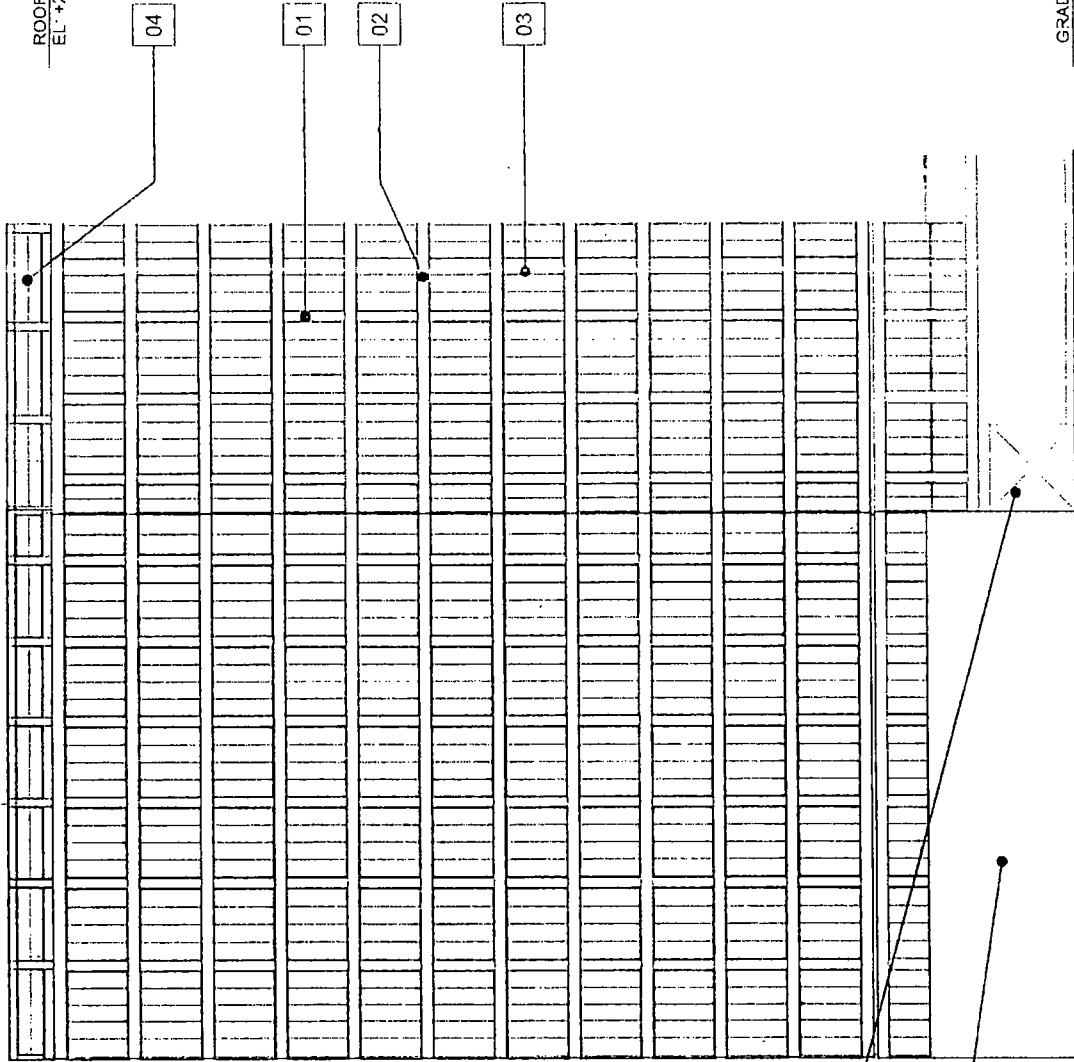
T/ ROOF
EL. +225'-0"

ROOF DECK
EL. +211'-6"

GRADE LEVEL
EL. +0'-0"

MATERIAL LEGEND

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WEST ELEVATION

SCALE: 1/32" = 1'-0"

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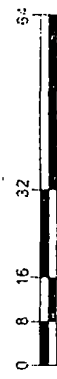
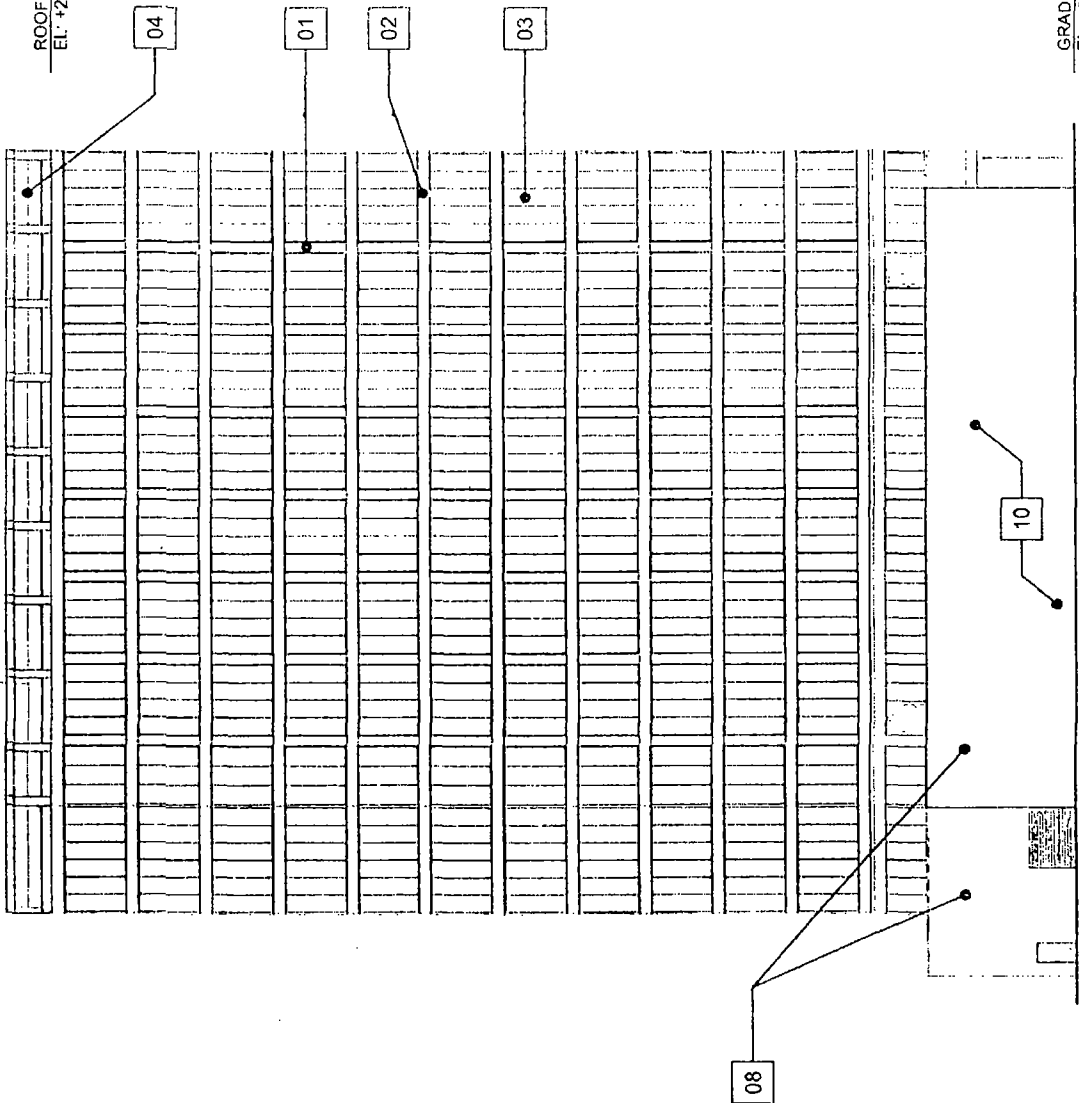
1/ ROOF
EL. +225'-0"

ROOF DECK
EL. +211'-6"

GRADE LEVEL
EL. +0'-0"

MATERIAL LEGEND

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SOUTH ELEVATION

SCALE: 1/32" = 1'-0"

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 INTRODUCTION DATE: JULY 20, 2016
 PLAN COMMISSION DATE: JANUARY 19, 2017




18913
FINAL

DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

MEMORANDUM

To: Alderman Daniel S. Solis
Chairman, City Council Committee on Zoning

From: 
David L. Reifman
Chicago Plan Commission

Date: January 19, 2017

Re: Proposed Planned Development for the property generally located at 801 West Lake Street

On January 19, 2017, the Chicago Plan Commission recommended approval of the proposed planned development submitted by Partners & Bond LLC; a copy of which is attached. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development, Bureau of Zoning and Land Use recommendation and a copy of the resolution. If you have any questions in this regard, please do not hesitate to contact me at 744-9476.

Cc: Steve Valenziano
PD Master File (Original PD, copy of memo)