



# City of Chicago



O2019-7959

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	10/16/2019
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 15-H at 5600 N Ashland Ave - App No. 20218T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

FINAL FOR PUBLICATION

**ORDINANCE**

***BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:***

***SECTION 1.*** Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No. 15-H in the area bounded by

A line 29.10 feet north of and parallel to West Bryn Mawr Avenue;  
North Ashland Avenue; West Bryn Mawr Avenue; and the alley  
next west of and parallel to North Ashland Avenue,

to those of a B1-2 Neighborhood Shopping District and a corresponding uses district is hereby established in the area above described.

***SECTION 2.*** This ordinance shall be in force and effect from and after its passage and due publication.

Common address of property:           5600 North Ashland Avenue

**NARRATIVE AND PLANS FOR PROPOSED REZONING FOR A TYPE 1  
ZONING AMENDMENT – 5600 N. ASHLAND AVENUE**

The current zoning of the parcel is RS-3 Residential Single-Unit (Detached House) District. The zoning amendment is required to change the zoning of the parcel to B1-2 Neighborhood Shopping District.. The zoning map amendment is needed to decrease the required non-residential parking spaces from 2 parking spaces to -0- zero spaces and provide 1 off-street parking space for the residential dwelling unit at the 2<sup>nd</sup> floor

<b>Lot Area:</b>	3,446.5 sq. ft.
<b>FAR:</b>	1.05
<b>Building Area:</b>	3,500 sq. ft.
<b>Density/Dwelling Unit:</b>	3,500 sq.ft (1 Residential Dwelling Unit)
<b>Off Street Parking Spaces:</b>	* 1 space
<b>Front Setback:</b>	.-0- (existing)
<b>Rear Setback:</b>	.44.7 ft. (existing)
<b>Sidyard (North):</b>	5.1ft.(existing)
<b>Sidyard (South):</b>	-0- (existing)
<b>Building Height:</b>	26 feet 5 ½ inches (2 story bldg..),

After rezoning, the property shall be used for a daycare center with the required playground area.

\* The Applicant is seeking a Transit Served Location parking exemption.

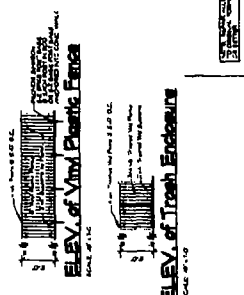
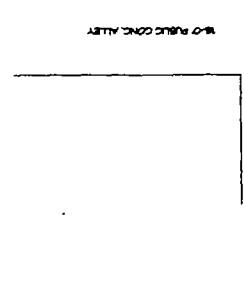
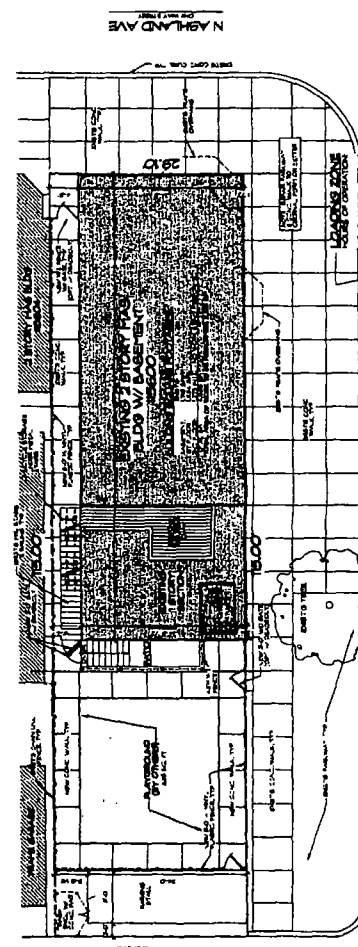
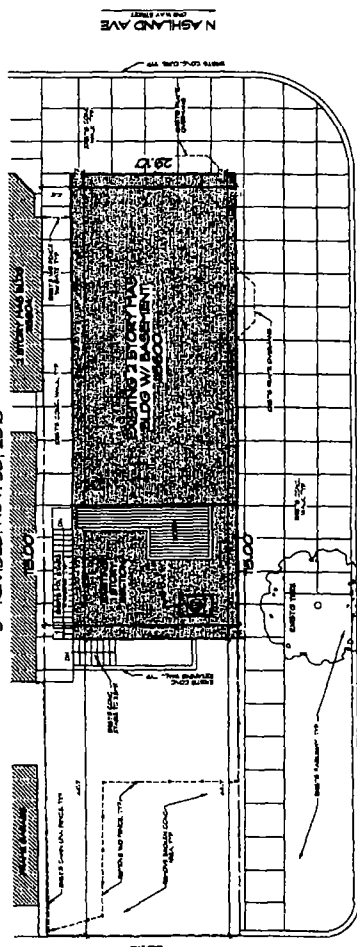
\*\* The applicant shall seek an Administrative Adjustment to reduce the required parking spaces to one residential parking space

# INT & EXT ALTERATIONS TO EXISTING MASONRY BUILDING

LOCATION: 5600 N ASHLAND AVE  
 CHICAGO, IL 60660  
 OWNER: MISS LINNETTE, LLC  
 5600 N ASHLAND AVE  
 CHICAGO, IL 60660

ARCHITECT: LASZLO SIMOVIC ARCHITECTS, L.L.C.  
 6512 N ARTESIAN AVE  
 CHICAGO, IL 60645

EMAIL: OFFICE@LASZLOARCH.COM  
 1 - ISSUED FOR PERMIT: SEPT. 20, 2018  
 2 - REVISED: NOV. 2, 2018  
 3 - REVISED: NOV. 30, 2018



**NOTICE FOR ARCHITECTS BY CHICAGO MUNICIPAL ORDINANCE 48-0001**  
 (SECTION 48-0001) CHICAGO BUILDING CODE 2018 ELECTRICAL CODE  
 THESE DRAWINGS ARE PREPARED UNDER THE SUPERVISION AND SEAL OF THE PROFESSIONAL ENGINEER AND ARCHITECT AND SHALL BE CONSIDERED TO BE IN FULL COMPLIANCE WITH THE CHICAGO BUILDING CODE AND THE CHICAGO ELECTRICAL CODE AS OF APRIL 21, 2008.  
 LICENSE NUMBER: \_\_\_\_\_ DATE: NOVEMBER 30, 2018

**OPERATIONAL DOCUMENTATION:**  
 1. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 2. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 3. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 4. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 5. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 6. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 7. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 8. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 9. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.  
 10. The drawings shall be prepared in accordance with the Chicago Building Code 2018 Electrical Code and the Chicago Electrical Code 2018.

**PROJECT TO COMPLY WITH CHICAGO BUILDING CODE 2018 ELECTRICAL CODE**

THESE DRAWINGS ARE PREPARED UNDER THE SUPERVISION AND SEAL OF THE PROFESSIONAL ENGINEER AND ARCHITECT AND SHALL BE CONSIDERED TO BE IN FULL COMPLIANCE WITH THE CHICAGO BUILDING CODE AND THE CHICAGO ELECTRICAL CODE AS OF APRIL 21, 2008.  
 LICENSE NUMBER: \_\_\_\_\_ DATE: NOVEMBER 30, 2018

1ST FLOOR & BASEMENT TO BE FULLY SPRINKLERED

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE 2018 ELECTRICAL CODE AND THE CHICAGO ELECTRICAL CODE 2018.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE 2018 ELECTRICAL CODE AND THE CHICAGO ELECTRICAL CODE 2018.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE 2018 ELECTRICAL CODE AND THE CHICAGO ELECTRICAL CODE 2018.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE 2018 ELECTRICAL CODE AND THE CHICAGO ELECTRICAL CODE 2018.

FINAL FOR PUBLICATION



**PARTIAL ELEVATION 'A'**

**CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/11
2	ISSUED FOR PERMIT	08/15/11
3	ISSUED FOR PERMIT	08/15/11
4	ISSUED FOR PERMIT	08/15/11

REQUIRED SUPPLIES AND PERSONNEL:

WATER SUPPLY: 3 (1) PORTABLE

ELECTRICITY: 3 (1) PORTABLE

PLUMBING: 1 (1) PORTABLE

MECHANICAL: 1 (1) PORTABLE

SERVICE VEHICLES: 2 (2) PORTABLE

WIND BLOC: 4 (1) BLOC (IDENTIFY)

**OWNER:** LISA UNKLETT, LLC  
1800 N. LAUREL AVE.  
CHICAGO, IL 60640

**PROJECT:** RT. & BPT. ALTERATIONS TO EXISTING 14th FLOOR FOR NEW 14th FLOOR BUILDOUT  
1800 N. LAUREL AVE.  
CHICAGO, IL 60640

**ARCHITECT:** LASTO SIMOVIC ARCHITECTS, L.L.C.  
6512 N. ARTESIAN AVE.  
CHICAGO, IL 60630  
TEL: 773-353-2233  
FAX: 773-353-2235  
E-MAIL: LASTO@LASTO.COM

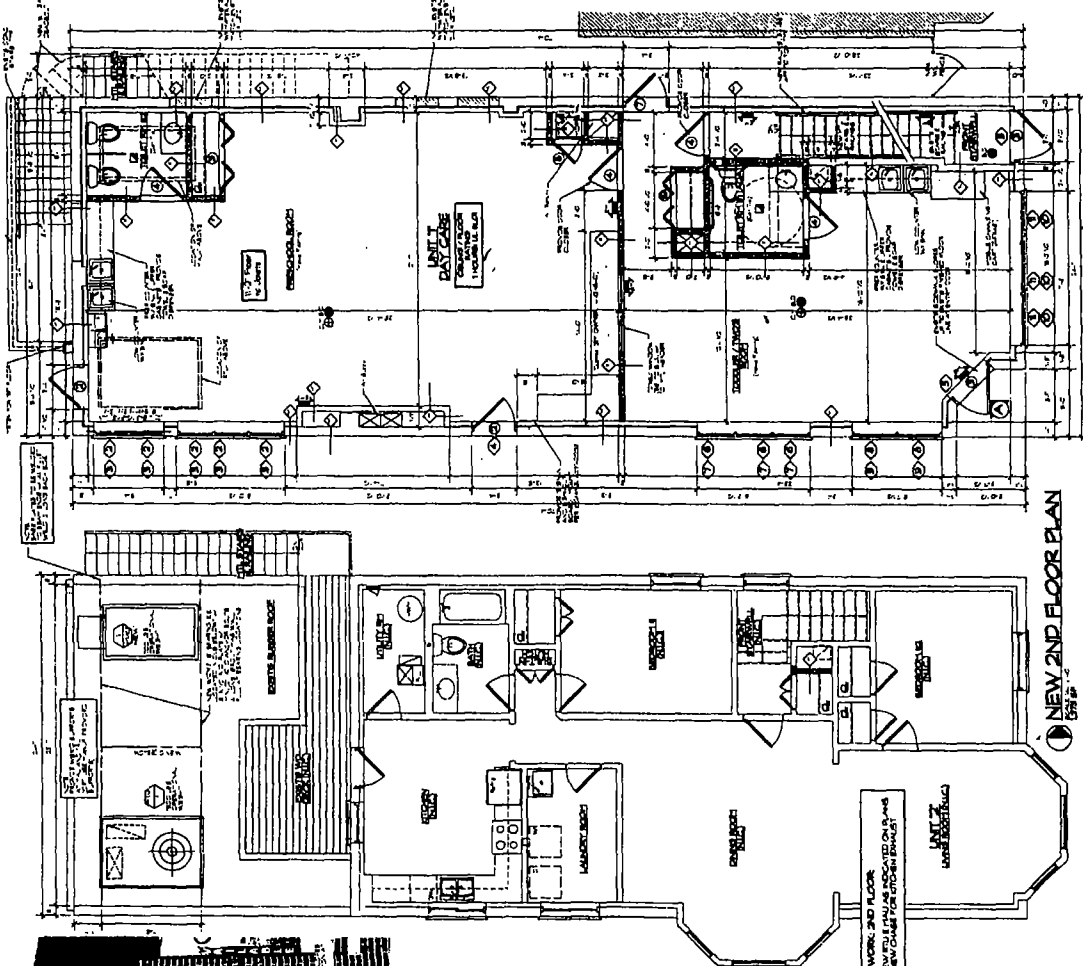
**DATE:** 08/15/11

**SCALE:** AS SHOWN

**PROJECT NO.:** 11-000

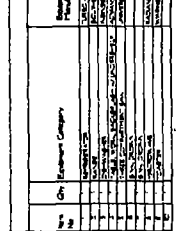
**DATE:** 08/15/11

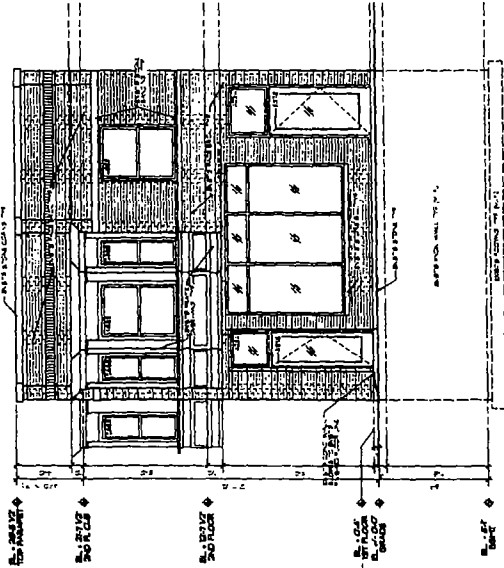
**SCALE:** AS SHOWN



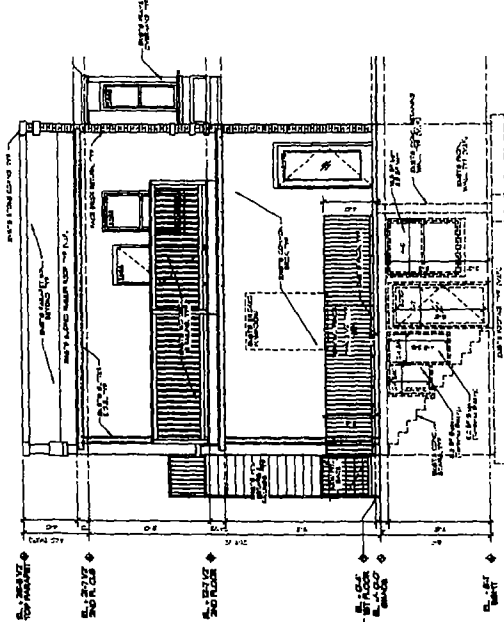
**EQUIPMENT SCHEDULE**

No.	Quantity	Description	Model No.	Manufacturer
1	1	ROOF CURTAIN WALL		
2	1	ROOF CURTAIN WALL		
3	1	ROOF CURTAIN WALL		
4	1	ROOF CURTAIN WALL		
5	1	ROOF CURTAIN WALL		
6	1	ROOF CURTAIN WALL		
7	1	ROOF CURTAIN WALL		
8	1	ROOF CURTAIN WALL		
9	1	ROOF CURTAIN WALL		
10	1	ROOF CURTAIN WALL		
11	1	ROOF CURTAIN WALL		
12	1	ROOF CURTAIN WALL		
13	1	ROOF CURTAIN WALL		
14	1	ROOF CURTAIN WALL		
15	1	ROOF CURTAIN WALL		
16	1	ROOF CURTAIN WALL		
17	1	ROOF CURTAIN WALL		
18	1	ROOF CURTAIN WALL		
19	1	ROOF CURTAIN WALL		
20	1	ROOF CURTAIN WALL		
21	1	ROOF CURTAIN WALL		
22	1	ROOF CURTAIN WALL		
23	1	ROOF CURTAIN WALL		
24	1	ROOF CURTAIN WALL		
25	1	ROOF CURTAIN WALL		
26	1	ROOF CURTAIN WALL		
27	1	ROOF CURTAIN WALL		
28	1	ROOF CURTAIN WALL		
29	1	ROOF CURTAIN WALL		
30	1	ROOF CURTAIN WALL		

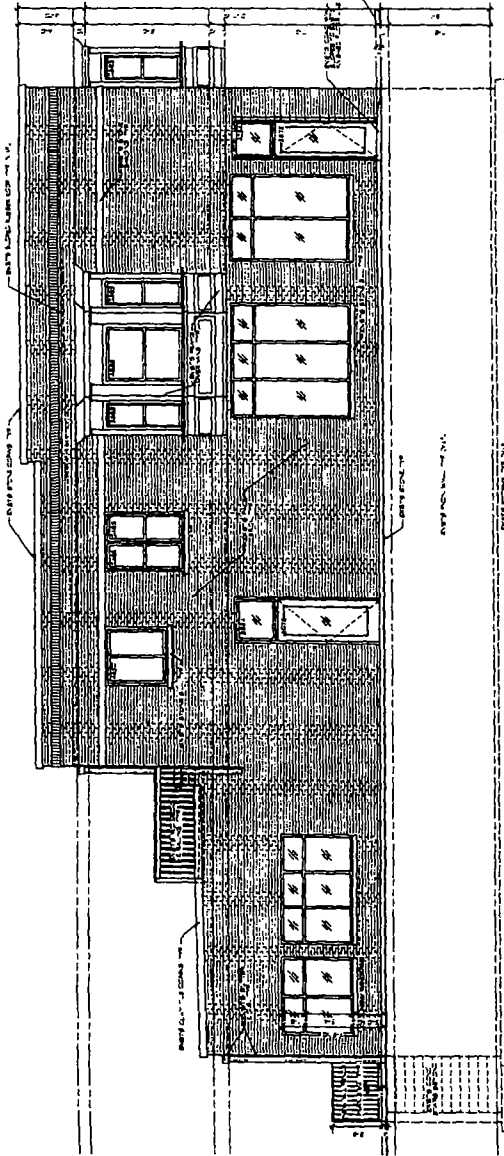




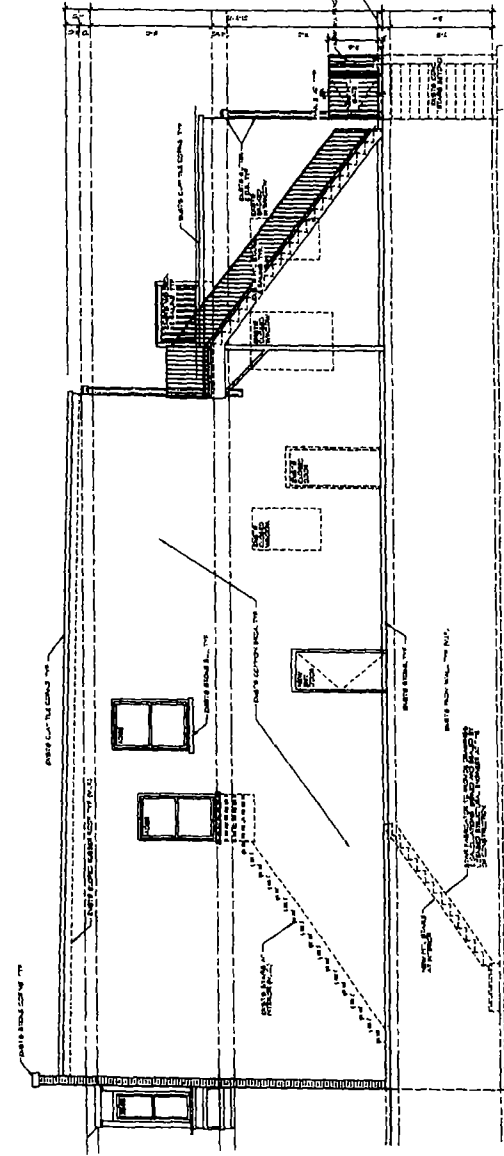
EXISTING EAST ELEVATION - N.I.C.



NEW WEST ELEVATION



NEW SOUTH ELEVATION



NEW NORTH ELEVATION

ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE IBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.



<p>OWNER                  1855 LINNETH, LLC                  3800 N. ASHLAND AVE                  CHICAGO, IL 60660</p>		<p>PROJECT                  211 &amp; 217, ALTERATIONS TO                  EXISTING 4-1/2 STORY BRICK                  BUILDING FOR NEW                  211 &amp; 217, ALTERATIONS TO                  3800 N. ASHLAND AVE                  CHICAGO, IL 60660</p>	
<p>ARCHITECT                  LASZLO SIMOVIC, ARCHITECTS, LLC                  6572 N. ARTESIAN AVE                  CHICAGO, IL 60648                  TEL: 773-358-2288                  FAX: 773-358-2288                  EMAIL: LASZLO@SIMOVIC.COM</p>		<p>DATE                  10/15/14</p>	