



City of Chicago



SO2013-6072

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/11/2013
Sponsor(s):	City Clerk (transmitted by)
Type:	Ordinance
Title:	Zoning Reclassification App No. 17801T1 at 3138-3140 S Indiana Ave
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

FINAL FOR PUBLICATION
17801-T1

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS-3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No. 8-E in area bound by

A line 195 feet North of and parallel to East 32nd Street, the alley next West of and parallel to South Indiana Avenue, a line 245 feet North of and parallel to East 32nd Street, South Indiana Avenue.

to those of a RM-6 Residential Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.

Common Address of Property:

3138-40 S Indiana Avenue

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NARRATIVE

Built in 1887 as the Lakeside Club and known since 1917 as Unity Hall, the building was the headquarters of a political organization called the Peoples Movement Club headed by Oscar Stanton DePriest. Mr. DePriest was the first African-American elected to the Chicago City Council and the first northern African-American elected to the U.S. House of Representatives. Designed by architect L.B. Dixon, Unity Hall became the center of African-American political activity in 1917 when City Councilman DePriest moved his Peoples Movement Club into the building.

Shortly after World War II, Unity Hall was used as a Church. The building's appearance remained largely as originally designed with the exception of its painted exterior masonry and alterations to the front doorway and porch. This rare surviving example of a 19th century clubhouse building is one of nine such structures in the Bronzeville Historic District.

The current Owner of Unity Hall plans to renovate the historic masonry structure consisting of the 2 story church and 3 story attached front building into 21 residential student housing apartment dwelling units with no parking.

	Current Zoning	Required Proposed	Proposed Building
FAR	.90	4.40	4.40
Minimum Lot Area	2,500 sq. ft. per unit	1,650 sq. ft. per unit	1650 sq. ft. per unit
Max Buildable Area	8,334 sq. ft.	35, 200 sq. ft.	6,700 sq. ft.
Max No. of Units	2 (2.78)	300	21
Max Bldg Height	30'-0"	None	40'-0"
Front Setback	20'-0"	15'-0"	13'-0"
Rear Setback	50'-0"	50'-0"	0'-0"
West Side Setback	2' or 8% of lot width	10% of lot width	3'-0"
East Side Setback	2' or 8% of lot width	10% of lot width	0'-6"
Minimum Parking	1 Space per Unit	none	none
Rear Open Space	225/6.5	36/per D.U.	none

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THE STATE OF INDIANA
 DEPARTMENT OF PUBLIC SAFETY
 DIVISION OF FIRE
 1. I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS FOR THE PROPOSED CONSTRUCTION OF THE ABOVE DESCRIBED PROJECT HAVE BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE INDIANA FIRE MARSHAL'S OFFICE AND THE INDIANA FIRE MARSHAL'S OFFICE HAS NO OBJECTION TO THE PROPOSED CONSTRUCTION OF THE ABOVE DESCRIBED PROJECT.

UNITY HALL
 3840 S. INDIANA

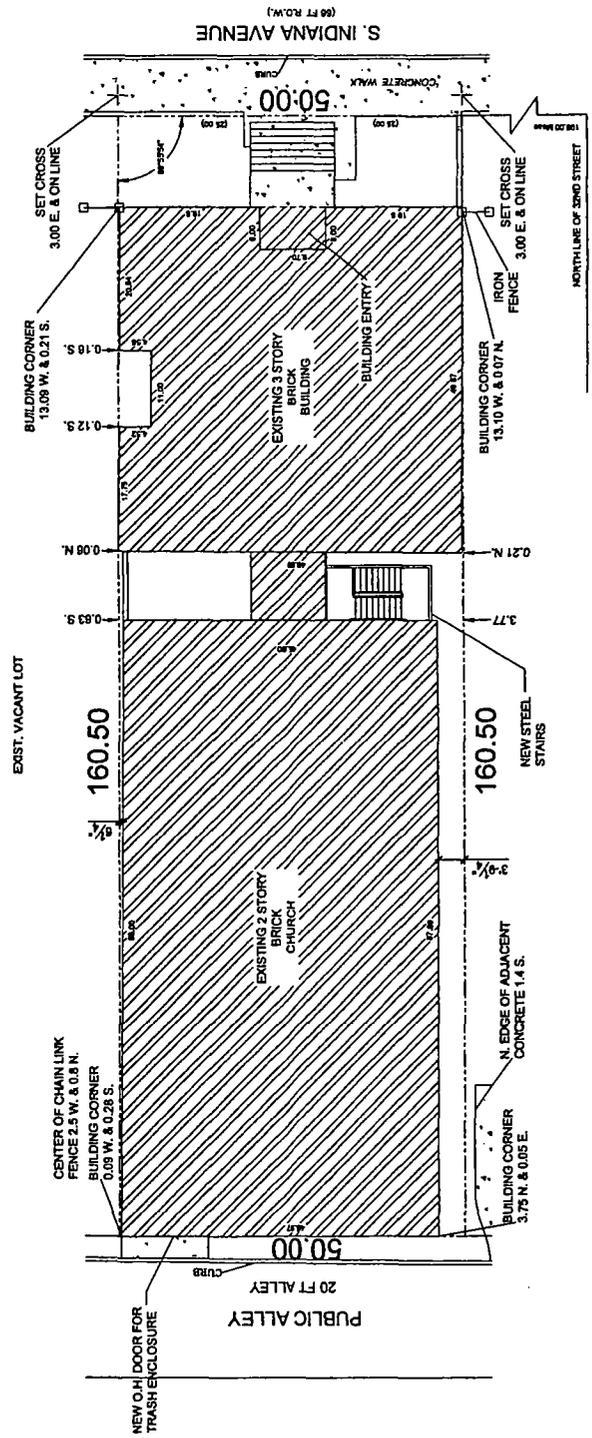


PMPC ARCHITECTS
 1111 W. MARKET STREET, SUITE 200
 INDIANAPOLIS, IN 46202
 (317) 644-1111
 PERMIT # 1000000000
 REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN
 DRAWN BY: []
 CHECKED BY: []
 DATE: []
 SCALE: []

T100



SITE PLAN
 SCALE: 1/8" = 1'-0"

FINAL FOR PUBLICATION

FINAL FOR PUBLICATION



STATE OF INDIANA
 PROFESSIONAL ENGINEER
 No. 12543
 EXPIRES 01/15/2018

UNITY HALL
 3840 S. INDIANA



PMP ARCHITECTS
 1000 N. UNIVERSITY BLVD. SUITE 100
 INDIANAPOLIS, IN 46202-1000
 TEL: 317.633.1111 FAX: 317.633.1112
 WWW.PMPARCHITECTS.COM

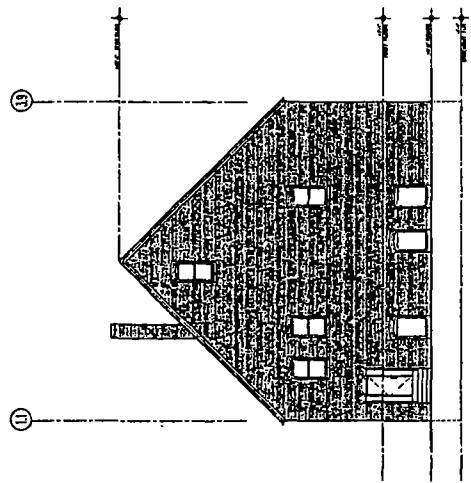
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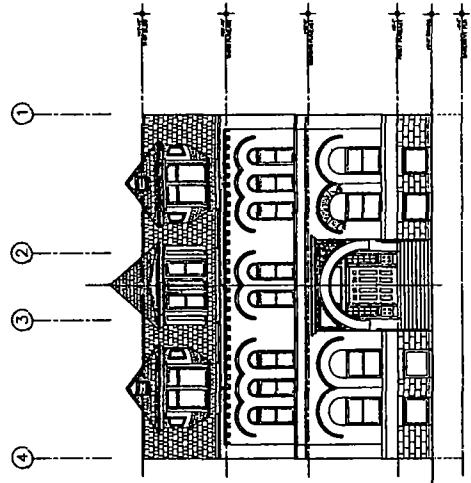
EXISTING ELEVATIONS

NO.	DATE	DESCRIPTION

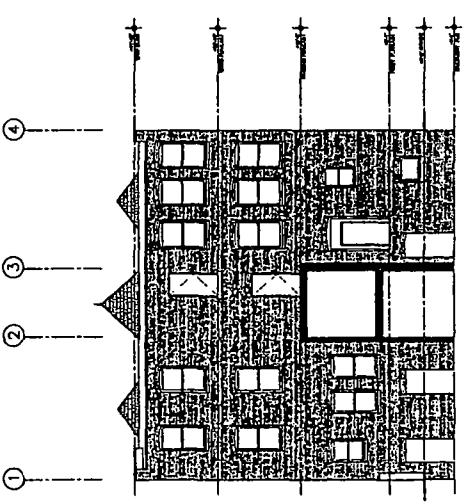
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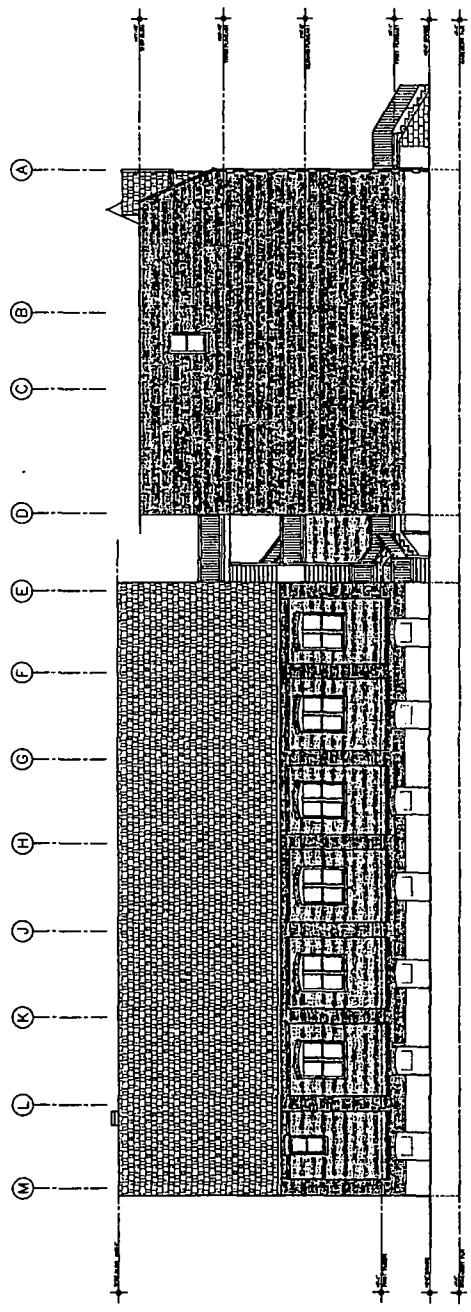
① ELEVATION
 SCALE: 1/8" = 1'-0"



② ELEVATION
 SCALE: 1/8" = 1'-0"



③ ELEVATION
 SCALE: 1/8" = 1'-0"



④ ELEVATION
 SCALE: 1/8" = 1'-0"

FINAL FOR PUBLICATION

FINAL FOR PUBLICATION



STATE OF INDIANA
 PROFESSIONAL ENGINEERS
 BOARD OF REGISTRATION
 100000000

UNITY HALL
 3840 S. INDIANA



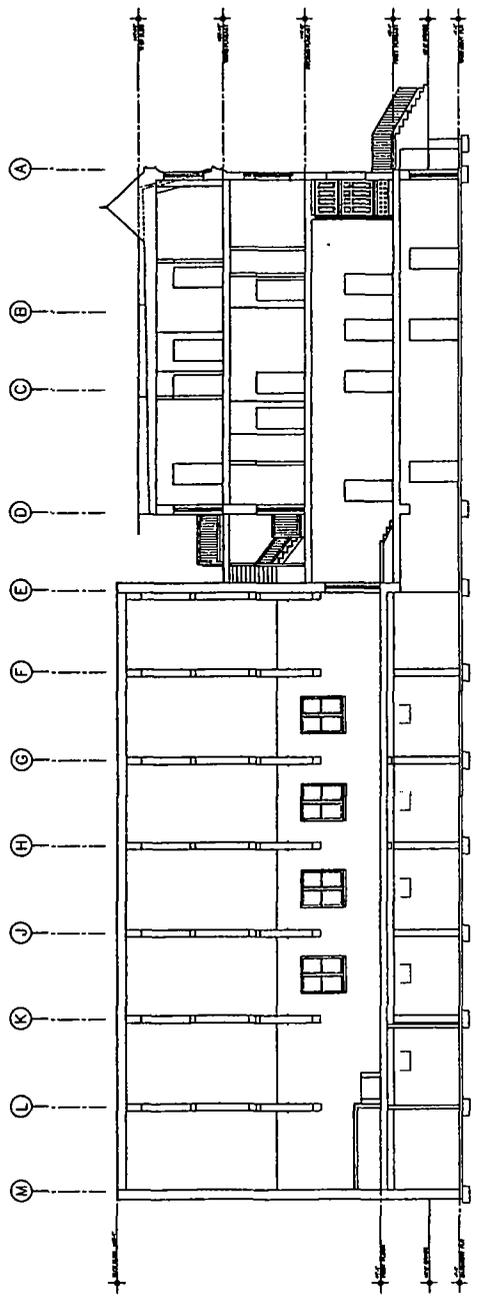
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 1000000000
 PERMIT # 1000000000
 REVISIONS

NO	DATE	DESCRIPTION

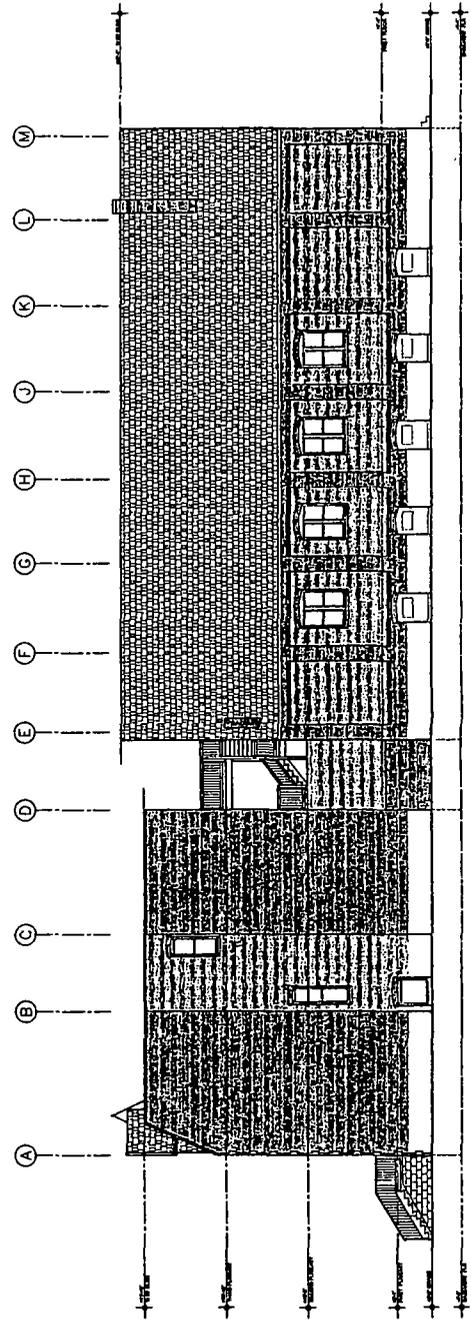
EXISTING ELEVATIONS

NO	DATE	DESCRIPTION

A201



3 BUILDING SECTION
 SCALE: 1/8" = 1'-0"



4 ELEVATION
 SCALE: 1/8" = 1'-0"

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