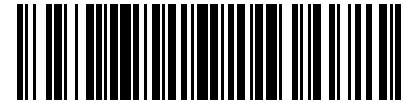




City of Chicago



SO2015-7346

Office of the City Clerk Document Tracking Sheet

Meeting Date:	10/14/2015
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 3-J at 3233 W Potomac Ave - App No. 18548T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

#18548T-1
INTRO DATE:
OCT. 14, 2015

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols as shown on Map No. 3-J in the area bounded by:

West Potomac Avenue; a line 276.10 feet East of and parallel to North Spaulding Avenue; the public alley next south of and parallel to West Potomac Avenue; a line 226.10 feet East of and parallel to North Spaulding Avenue.

To those of a B2-3, Neighborhood Mixed-Use District

SECTION 2. This Ordinance takes effect after its passage and approval.

Common address of property: 3233 West Potomac Avenue, Chicago IL.

#18548 T1

**NARRATIVE FOR TYPE 1 REZONING FOR
3233 WEST POTOMAC AVENUE, CHICAGO, ILLINOIS**

The subject property is currently improved with a residential building with 12 dwelling units. The Applicant needs a zoning change to comply with the minimum lot area and the maximum floor area in order to allow one additional dwelling unit on the ground floor (which is partially below grade) for a total of 13 dwelling units within the existing building.

Project Description:	Zoning Change from an RS3 to a B2-3
Land Use:	13 DU residential building
Lot Area Building Floor Area Floor Area Ratio	6,199 SF 17,248 2.78
Density:	476 SF per DU
Off- Street parking:	No existing parking
Set Backs	Existing Front: 0' Existing Side: 0' Rear: 0'
Building height:	37'-9" (existing; no change)

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GENERAL CONDITIONS

1. The contract shall be subject to the terms and conditions of the contract documents, including the specifications, drawings, and conditions of contract, which are incorporated by reference herein.

2. The contractor shall be responsible for obtaining all necessary permits and licenses for the work to be performed under this contract.

3. The contractor shall be responsible for maintaining the safety of the work area and for protecting the property of others.

4. The contractor shall be responsible for the quality of the work and for complying with all applicable codes and regulations.

5. The contractor shall be responsible for the timely completion of the work and for the proper care and protection of the work.

6. The contractor shall be responsible for the payment of all taxes and fees associated with the work.

7. The contractor shall be responsible for the maintenance of the work area and for the removal of all debris and materials.

8. The contractor shall be responsible for the coordination of the work with other trades and for the protection of the work of others.

9. The contractor shall be responsible for the provision of all necessary labor and materials for the work.

10. The contractor shall be responsible for the maintenance of the work area and for the removal of all debris and materials.

11. The contractor shall be responsible for the coordination of the work with other trades and for the protection of the work of others.

12. The contractor shall be responsible for the provision of all necessary labor and materials for the work.

13. The contractor shall be responsible for the maintenance of the work area and for the removal of all debris and materials.

14. The contractor shall be responsible for the coordination of the work with other trades and for the protection of the work of others.

15. The contractor shall be responsible for the provision of all necessary labor and materials for the work.

SECTION 16 - MASONRY

16.01.1. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.2. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.3. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.4. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.5. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.6. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.7. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.8. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.9. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.10. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.11. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.12. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.13. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.14. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

16.01.15. The masonry shall be constructed in accordance with the requirements of the specifications and the drawings.

SECTION 17 - PAINTS AND COATINGS

17.01.1. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.2. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.3. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.4. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.5. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

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17.01.12. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.13. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.14. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

17.01.15. The painting shall be performed in accordance with the requirements of the specifications and the drawings.

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I, the undersigned, hereby certify that the construction of the building described herein complies with the requirements of the Energy Conservation Code.

Signature: _____ Date: _____

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

Professional Engineer Seal

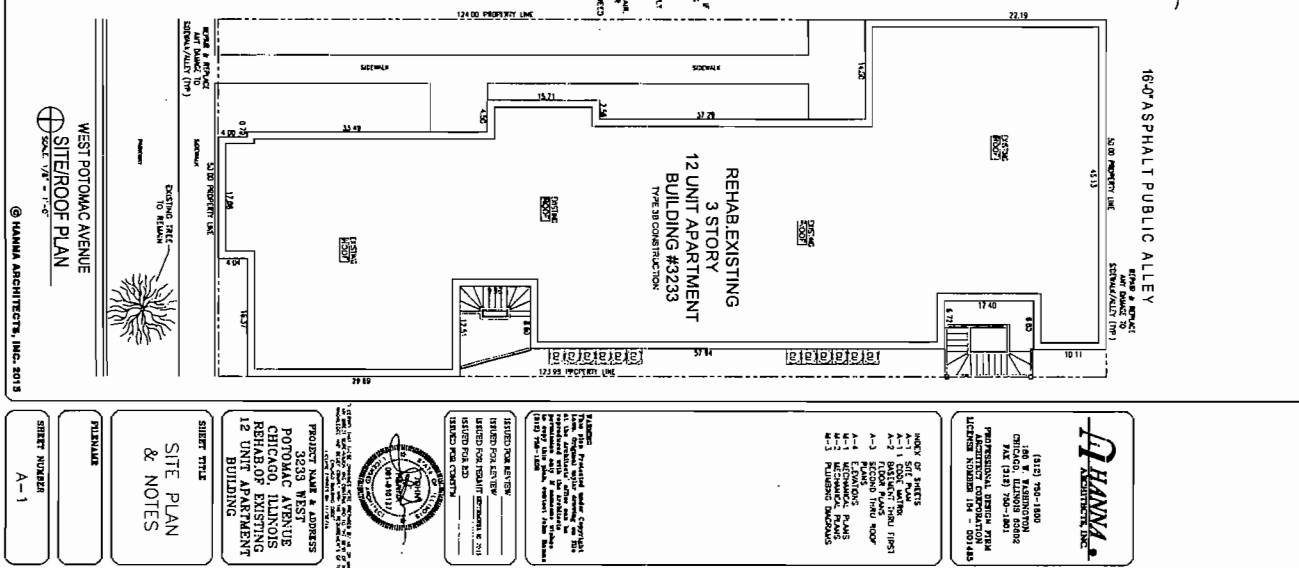
Professional Engineer Seal

Professional Engineer Seal

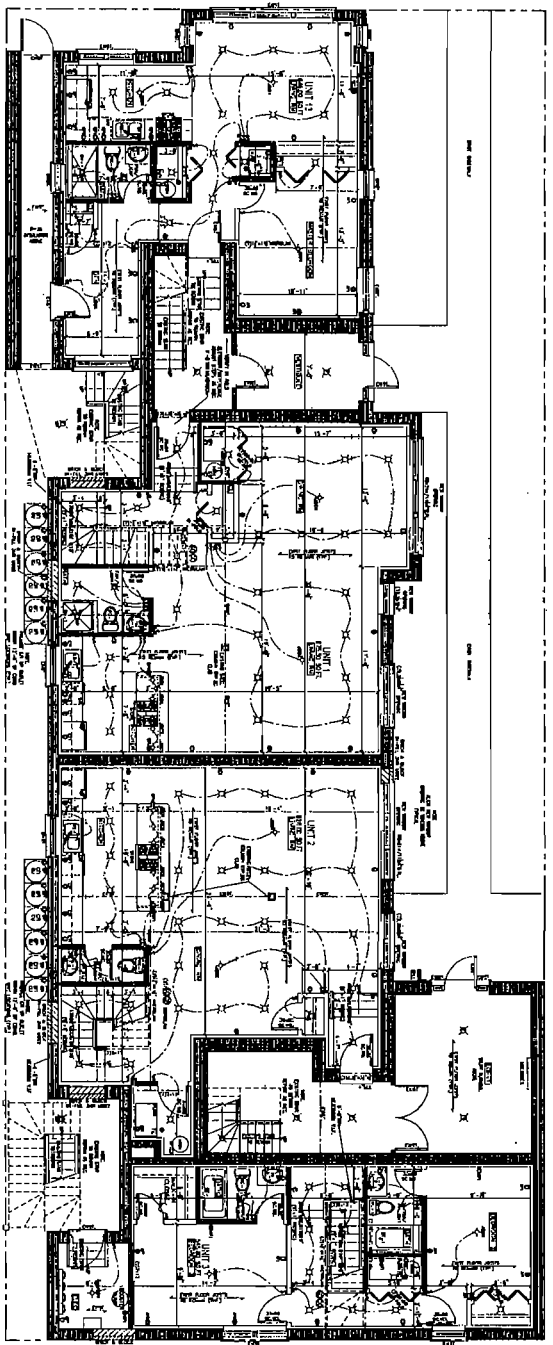
Professional Engineer Seal

Professional Engineer Seal

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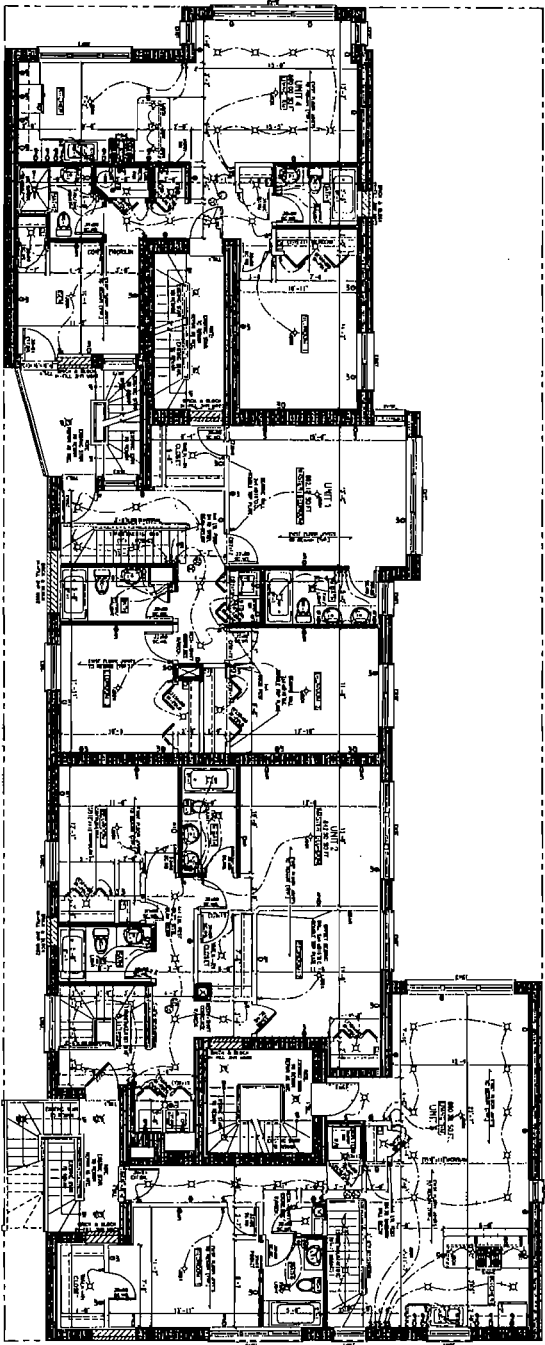
Project information including: PROJECT NAME & ADDRESS (POTOMAC APARTMENT CHICAGO ILLINOIS REHAB OF EXISTING 12 UNIT APARTMENT BUILDING), SHEET TITLE (SITE PLAN & NOTES), SHEET NUMBER (A-1), and contact information for HANNA ARCHITECTS, INC. (1515 16TH STREET NW, WASHINGTON DC 20036, TEL: 202-462-1800).



⊕ BASEMENT FLOOR PLAN
SCALE 3/16" = 1'-0"

THIS IS A FINAL ARCHITECTURAL PLAN FOR THE PROPOSED BASEMENT FLOOR PLAN AND SHALL BE USED FOR CONSTRUCTION OF THE PROJECT.

THIS IS A FINAL ARCHITECTURAL PLAN FOR THE PROPOSED BASEMENT FLOOR PLAN AND SHALL BE USED FOR CONSTRUCTION OF THE PROJECT.



⊕ FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

THIS IS A FINAL ARCHITECTURAL PLAN FOR THE PROPOSED FIRST FLOOR PLAN AND SHALL BE USED FOR CONSTRUCTION OF THE PROJECT.

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FINAL FOR PUBLICATION

HANNA
ARCHITECTS, INC.

118 W. WASHINGTON
CHICAGO, ILLINOIS 60601
TEL (312) 799-1801
FAX (312) 799-1801
PROFESSIONAL DESIGN FIRM
LICENSE NUMBER 184 - 001434



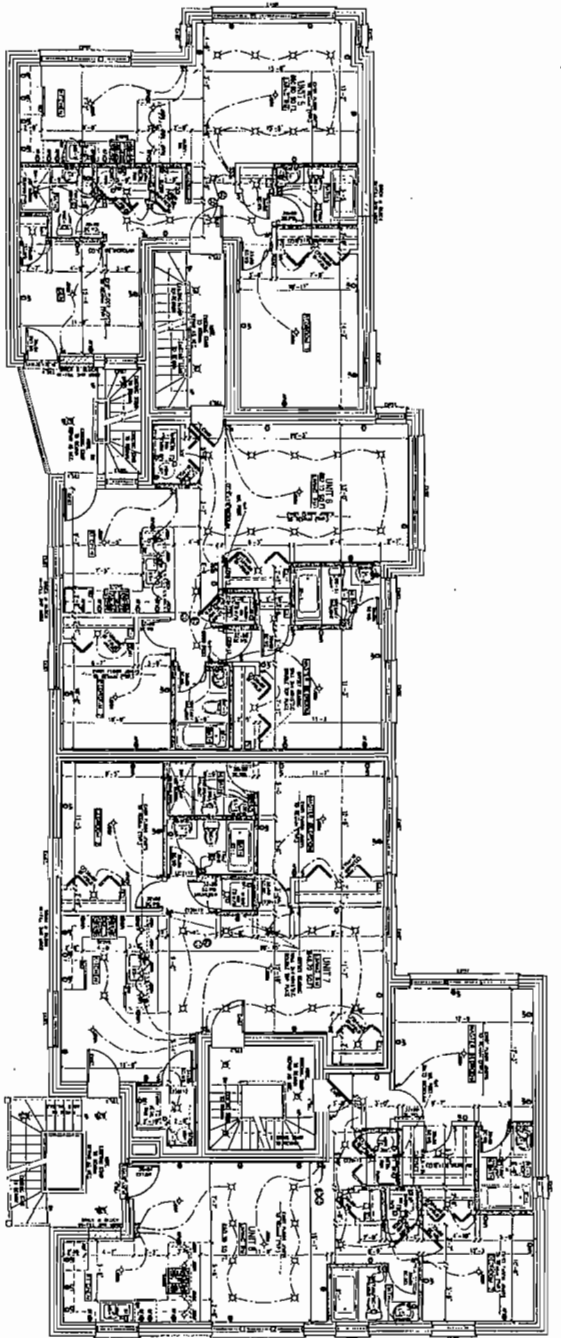
DATE: _____
PROJECT NAME & ADDRESS: _____
3233 WEST FOTONAG AVENUE CHICAGO, ILLINOIS 60640 EXISTING 12 UO BUILDING

PROJECT NUMBER: _____
SHEET NUMBER: _____

SHEET TITLE: PROPOSED BASEMENT THRU FIRST FLOOR PLANS

FILE NAME: _____

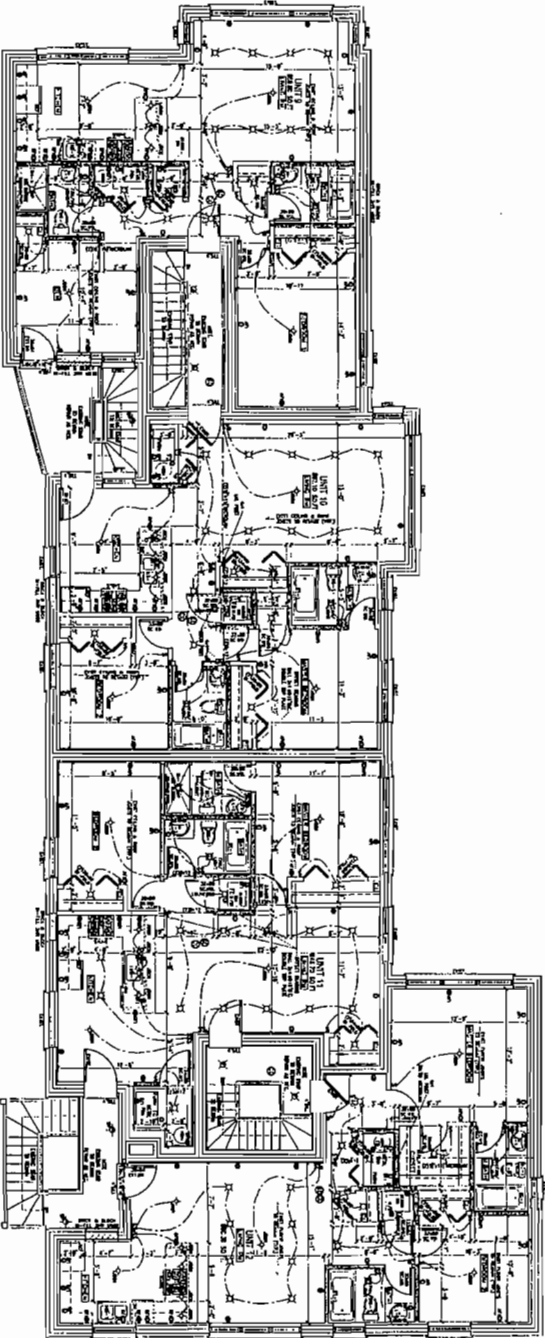
SHEET NUMBER: A-4



⊕ SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

SEE THE LOCAL CONDITIONS SECTION OF THE SPECIFICATIONS TO SECTION 05 20 00 FOR THE SELECTION OF MATERIALS TO BE USED IN THE WORK.

THIS PLAN IS THE PROPERTY OF J. HANNA ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF J. HANNA ARCHITECTS, INC.



⊕ THIRD FLOOR PLAN
SCALE 3/16" = 1'-0"

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J. HANNA
ARCHITECTS, INC.
(312) 750-1800
140 N. WASHINGTON
CHICAGO, ILLINOIS 60601
TEL (312) 750-1800
FAX (312) 750-1801
PROFESSIONAL DESIGN FIRM
LICENSURE NUMBER 044 - 010140



PROJECT NAME & ADDRESS
POTOMAC AVENUE
CHICAGO ILLINOIS
REHAB OF EXISTING
12 UNIT APARTMENT
BUILDING

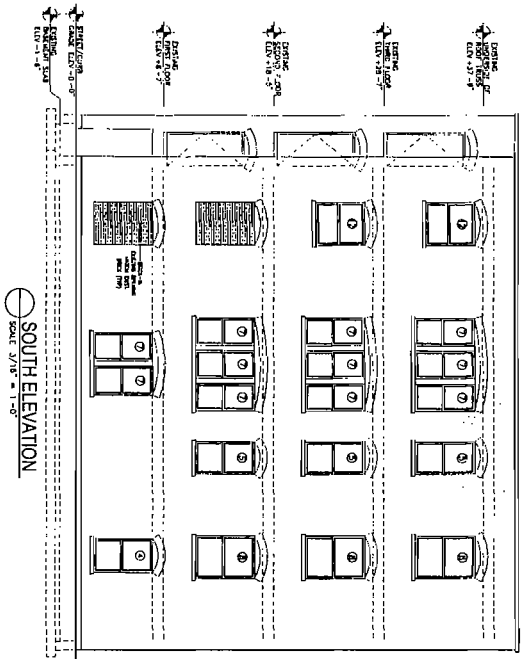
CLIENT
MAYORAL OFFICE
100 N. LA SALLE ST.
CHICAGO, IL 60601
TEL (312) 744-3000

DESIGN TEAM
ARCHITECT: J. HANNA ARCHITECTS, INC.
INTERIOR DESIGN: J. HANNA ARCHITECTS, INC.
MECHANICAL: J. HANNA ARCHITECTS, INC.
ELECTRICAL: J. HANNA ARCHITECTS, INC.
PLUMBING: J. HANNA ARCHITECTS, INC.
STRUCTURAL: J. HANNA ARCHITECTS, INC.

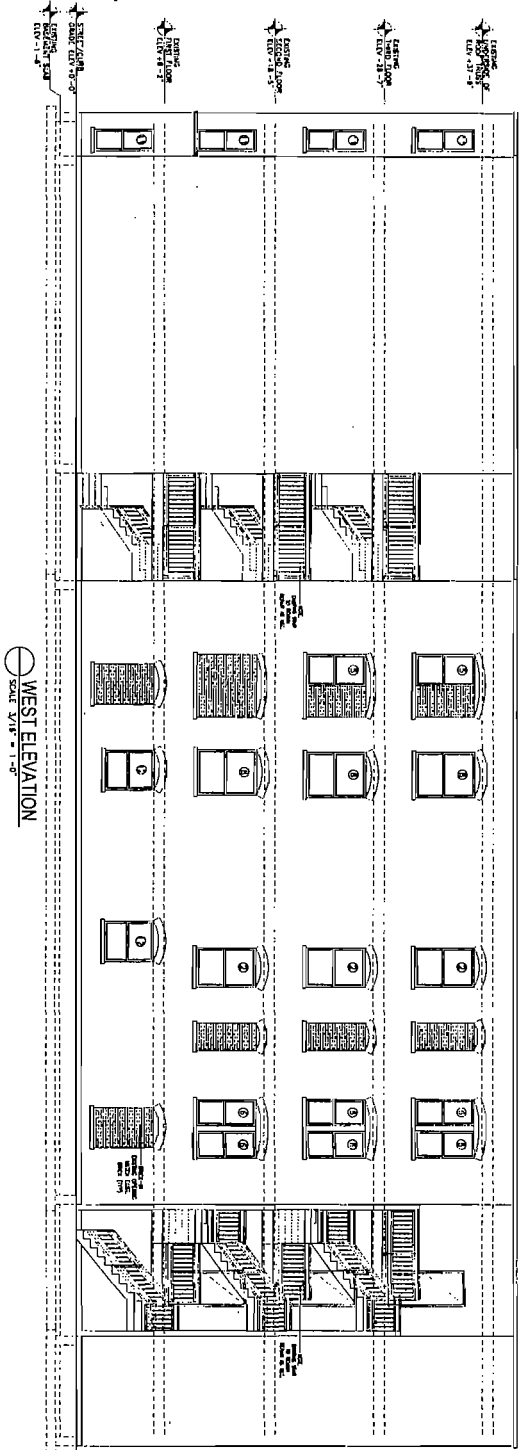
SHEET TITLE & PROPOSED SECOND THRU THIRD FLOOR PLANS

TITLEBLOCK

SHEET NUMBER
A-5



○ SOUTH ELEVATION
SCALE 3/16" = 1'-0"



○ WEST ELEVATION
SCALE 3/16" = 1'-0"

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SHEET NUMBER
A-7

FLOOR PLAN

BUILDING
ELEVATIONS

PROJECT NAME & ADDRESS
3233 WEST
POTOMAC AVENUE
REHAB OF EXISTING
12 UNIT APARTMENT
BUILDING



DESIGNED BY
DRAWN BY
CHECKED BY
DATE

PROFESSIONAL DESIGNER
REGISTERED ARCHITECT
LICENSE NUMBER 194 - 50148

DATE