



City of Chicago



SO2019-6838

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/18/2019
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 7-M at 2748 N Austin Ave - App No. 20173T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District, as shown on Map 7-M in the area bounded by:

North Austin Avenue; a line 125 feet North of and parallel to West Diversey Avenue; the alley next North of and parallel to North Austin Avenue; and a line 99.36 feet North of and parallel to West Diversey Avenue.

To those of **B2-3 Neighborhood Mixed-Use District.**

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 2748 North Austin Avenue, Chicago, IL

**SUBSTITUTE
NARRATIVE AND PLANS
FOR THE PROPOSED ZONING AMENDMENT
TYPE 1 APPLICATION
AT
2748 NORTH AUSTIN AVENUE**

The Application is to change zoning for 2748 North Austin Avenue from B3-1 to B2-3 Neighborhood Mixed-Use District. The zoning change is needed on the existing six (6) unit building to legalize the two basement apartments. The building currently exceeds the minimum lot area allowed under the current zoning district. There will be six (6) parking spaces provided at the Property. The footprint and building height at the property will not change.

LOT AREA: 5,862.24 SQUARE FEET

FLOOR AREA RATIO: 1.35

BUILDING AREA: 4,349 SQUARE FEET

DENSITY, per DWELLING UNIT: 977.04 SQUARE FEET PER DWELLING UNIT (EXISTING 6 DWELLING UNITS)

OFF-STREET PARKING: THERE WILL BE SIX (6) PARKING PROVIDED AT THE PROPERTY.

AS EXISTING FRONT SETBACK: ZERO

AS EXISTING REAR SETBACK: 57 FEET

AS EXISTING SIDE SETBACK: ZERO

AS EXISTING BUILDING HEIGHT: 21 FEET 4 INCHES

FINAL FOR PUBLICATION

SCOPE OF WORK

1. BASEMENTS DECONVERSION
2. REPLACE EXISTING PORCH & STAIRS
3. FRONT ELEVATION LINTEL REPLACEMENT
4. PER CHICAGO CODE 34 (13-200-200) EXISTING PORCHES MAY BE REPAIRED OR REPLACED IN THE SAME LOCATION WITH CONSTRUCTION OF THE SAME TYPE AS THAT OF THE EXISTING PORCH.
5. PORCH PLANS SHOWN ARE SAME AS EXISTING IN PLACE SOME MEMBER SIZES INCREASED TO COMPLY W/CODE

LEGEND

- 6" x 6" WOOD POST
 - 4" x 6" WOOD POST
 - 4" x 4" WOOD POST
 - FLOOR AREA
 - WORK AREA
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFYING ARCHITECT IMMEDIATELY OF ALL DISCREPANCIES. CONTRACTOR'S ARCHITECTED WORK SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THE ORIGINAL DRAWINGS.

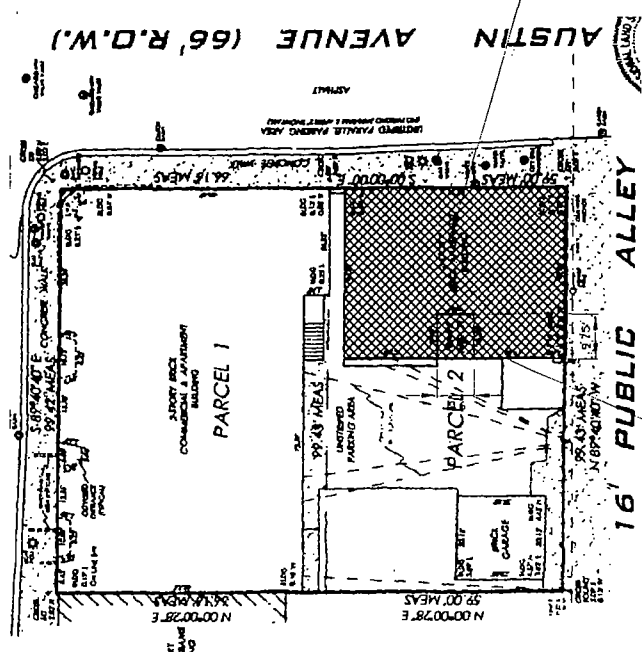
CODE MATRIX

GENERAL BUILDING REQUIREMENTS PER CHICAGO ZONING ORDINANCES (CZO) AND CHICAGO BUILDING CODE (CBC) 2006 Edition

ITEM	ISSUE	CHAPTER / ARTICLE	Ordinance Requirement	Actual	Requirement
ZONING REQUIREMENTS					
1.01	Zoning District	MAP	B-3.1		EXISTING
1.02	Lot Area	17-2-0033-A	2,500 SF	3,688.37 SF	EXISTING
1.03	Minimum Floor Area Ratio	17-2-0034-A	1:2	7,039.64 SF	EXISTING
1.04	Total Building Area	17-2-0034-A	35	EXISTING	EXISTING
1.05	Building Height - No. of Floors	17-2-0011-A	35	EXISTING	EXISTING
1.06	Front Setback	17-2-0035	N/A	EXISTING	EXISTING
1.07	Front Setback	17-2-0035-B	30'	EXISTING	EXISTING
1.08	Side Setback	17-2-0035	N/A	EXISTING	EXISTING
1.09	Side Setback	17-2-0035	N/A	EXISTING	EXISTING

BUILDING REQUIREMENTS

2.01	Occupancy Classification (s)	3 (13-55-540)	Class A-2		
2.02	Types of Construction	6 (13-60-050)	Type II-B		
STRUCTURAL					
1	Floor Joists	16 (13-52-000)	DL 10/LL 100	DL 10/LL 100	
2	Foundations	8 Table (13-132-062a)	3,000 psf	3,000 psf minimum	
3	Concrete Construction	19 (13-138-010)	3,000 psi @ 28 days	3,500 psi @ 28 days	
4	Masonry Construction	21 (13-140-010)	N/A	N/A	
5	Wood Construction	23 (13-144-020)	Grade stamps required	Grade stamps to be reported on invoices	



SITE PLAN
SCALE: N.T.S.

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) AND HAVE REVIEWED THE BEST AVAILABLE PROFESSIONAL KNOWLEDGE AND BELIEVE THAT THE PLANS FOR 2248 N. AUSTIN AVE., CHICAGO, IL, DO NOT NEED TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13 OF THE CITY OF CHICAGO AS EFFECTIVE JANUARY 22, 2011. THE PROJECT IS AN OPEN PORCH - NOT A LIVESABLE SPACE.



CERTIFICATION STATEMENT

I, THE ARCHITECT, HAVE PREPARED THESE PLANS UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CURRENT EDITION OF THE CITY OF CHICAGO BUILDING CODE.

SIGNED: *Frederick E. Kozio* DATE: 02.21.18
UC EXP. DATE: 11-30-18

NOTICE TO CONTRACTOR

1. THE ARCHITECT OF RECORD IS PROVIDING PLANS ONLY. NO OTHER TYPE OF ARCHITECTURAL SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR WHOSE KNOWLEDGE IN THE BUILDING TRADES AND CONSTRUCTION METHODS IS SUPERIOR TO THAT OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INTERPRETATION OF THE PLANS AND FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

2. THE CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS TO DETERMINE THE SCOPE AND THE INTENT OF THESE DOCUMENTS AND DRAWINGS. THE CONTRACTOR MUST VISIT THE SITE AND BECOME INFORMED OF ALL EXISTING CONDITIONS, DIMENSIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY DISCREPANCIES OR OMISSIONS ARE NOTED, THE CONTRACTOR MUST NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, AND INSURANCE. THE CONTRACTOR MUST FURNISH SKILLED LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES, AND PERFORM ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN A SAFE AND WORKMANLIKE MANNER WITHIN THE OWNER'S SCHEDULE. THE CONTRACTOR MUST SUBMIT TO THE OWNER A CERTIFICATE OF INSURANCE WHICH WILL NAME THE FOLLOWING AS THE OWNER'S INSURER:

- THE ARCHITECT
- THE CITY OF CHICAGO

GENERAL NOTES

1. GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS IN FIELD.
2. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS.
3. ALL EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR CONCRETE.
4. ALL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE CONTRACTOR'S SATISFACTION.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS GENERATED BY THE WORK. CLEAN UP IS REQUIRED ON DAILY BASIS.
6. UNLESS NOTED, GUTTERS (AND DOWNPOUTS) WILL BE PREFINISHED ALUMINUM WITH VESICUM RITCH OF 1/16" PER FOOT.

STRUCTURAL DESIGN CRITERIA:

1. ROOF SNOW LOAD: 10PSF. WIND UPLIFT: LOAD 20PSF.
2. FLOOR OR PORCH: LIVE LOAD: 100PSF + 10PSF DEAD LOAD.
3. NEW LUMBER: JOISTS & BEAMS: SOUTHERN PINE #2
FLOOR: 2x10 @ 16" O.C.
CEILING: 2x10 @ 16" O.C.
EL. MOD. = -1.000K
4. EXIST LUMBER: JOISTS & BEAMS: HEAVY-FIR #2
FLOOR: 2x10 @ 16" O.C.
CEILING: 2x10 @ 16" O.C.
EL. MOD. = -1.000K

ALL WOOD TO BE AS SPECIFIED OR BETTER

4. SOIL BEARING: 3,000PSF. CONCRETE: 3,500PSI @ 28 DAYS.
5. STAIRWAY & BALCONY RAILING DESIGNED TO RESIST SIMULTANEOUS VERTICAL AND HORIZONTAL T-RUBS: OF 50 P.L.F. WITH APPLIED POINT LOAD OF 200 CONCENTRATED LOAD IN ANY DIRECTION AT ANY POINT ALONG TOP RAIL.
6. ALL EXTERIOR FINISHES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE CONTRACTOR'S SATISFACTION.
7. PROJECTING ELEMENTS: ALL CORNICES, BALCONIES AND PARAPETS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND WIND PRESSURES IN ANY DIRECTION EQUAL TO 200 PERCENT OF 21 POUNDS PER SQUARE FOOT.

CARPENTRY NOTES

1. USE WATER PROTECTED WOOD FOR OUTSIDE CONNECTIONS.
2. ALL WOOD BEARING ON MASONRY SHALL HAVE BT W/ BEARING.
3. ALL WOOD BEARING ON MASONRY SHALL HAVE BT W/ BEARING.
4. REPLACE EXISTING DECK LUMBER WHERE REQUIRED.
5. FURNISH AND INSTALL ALL HANGERS AND CONNECTION DEVICES AS REQUIRED TO INSURE PROPER FRAMING CONNECTIONS FOR ALL STRUCTURAL STEEL SHALL BE COATED WITH A RUST PROHIBITED PRIMER WITH A MINIMUM DRY THICKNESS OF 3 MILS.
6. ALL STRUCTURAL STEEL SHALL BE COATED WITH A RUST PROHIBITED PRIMER WITH A MINIMUM DRY THICKNESS OF 3 MILS.
7. ALL SPLICES IN POSTS MUST BE PER DETAIL OR CITY GUIDELINES.
8. PROVIDE JOIST BRACING @ 8'-0" O.C.

ARCHITECT
ARCHITECTURAL FIRM, INC.
CHICAGO, IL 60602
2248 N. AUSTIN AVE.
CHICAGO, IL 60602

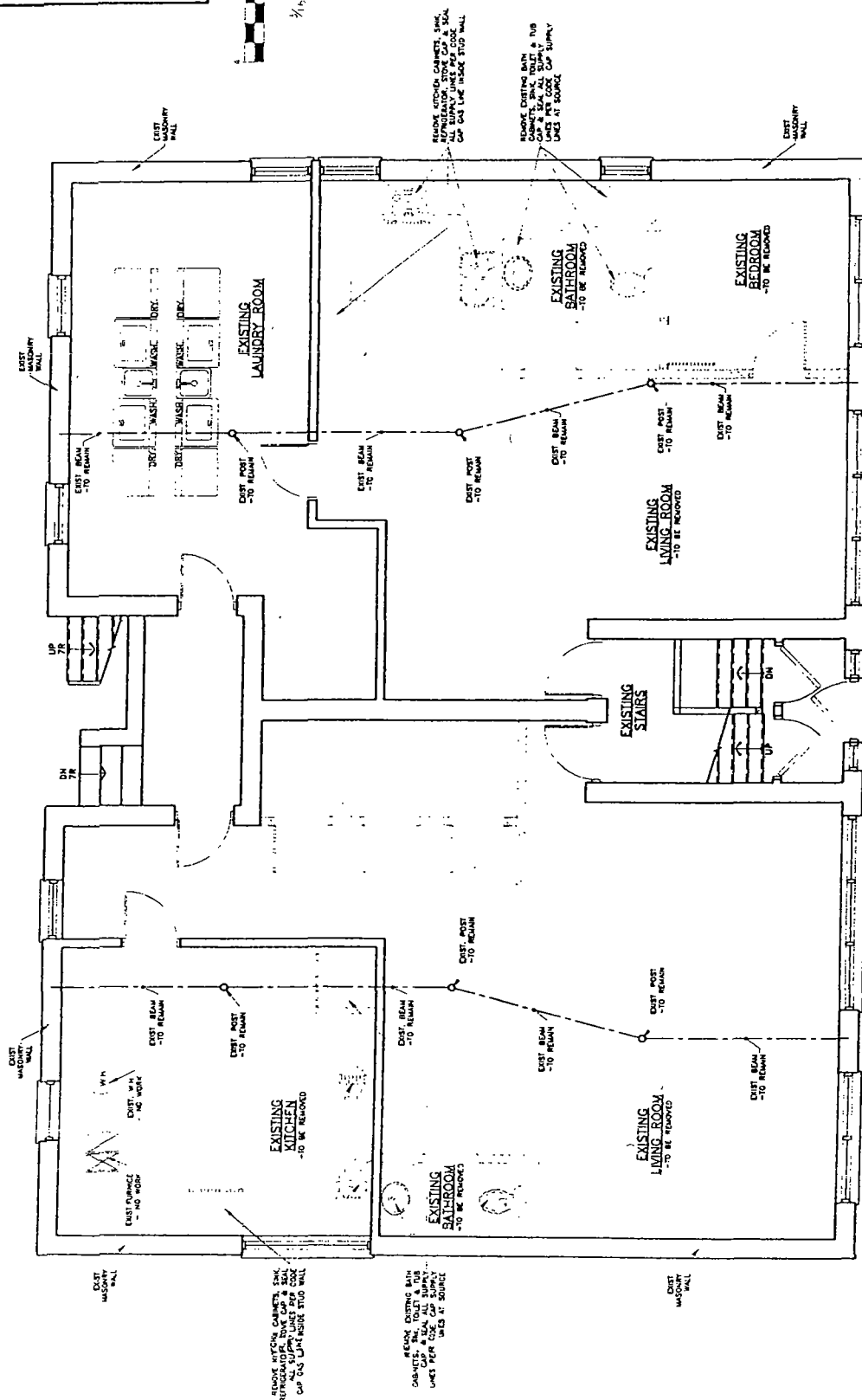
REVISIONS
CHECKED BY: [Signature]
DATE: [Date]
SUBMITTED BY: [Signature]
DATE: [Date]

2248 N. AUSTIN AVE.
CHICAGO, IL 60602

ARCHITECT
ARCHITECTURAL FIRM, INC.
CHICAGO, IL 60602
2248 N. AUSTIN AVE.
CHICAGO, IL 60602

PROJECT: 2248 N. AUSTIN AVE.
DATE: 02.21.18
SCALE: N.T.S.
SHEET: A1

SHEET	DATE	12-06-15
	SCALE	1/4" = 1'-0"
PROJECT	ARCHITECTURE	ARCHITECTURAL ENGINEERING
A2		
	77777 27th Avenue Chicago, IL 60622	
2748 N. AUSTIN AVE. CHICAGO, IL		
BASEMENTS DECONVERSION		
REVISIONS CHECKED BY P. K. DRAWN BY MEASURED BY BY		

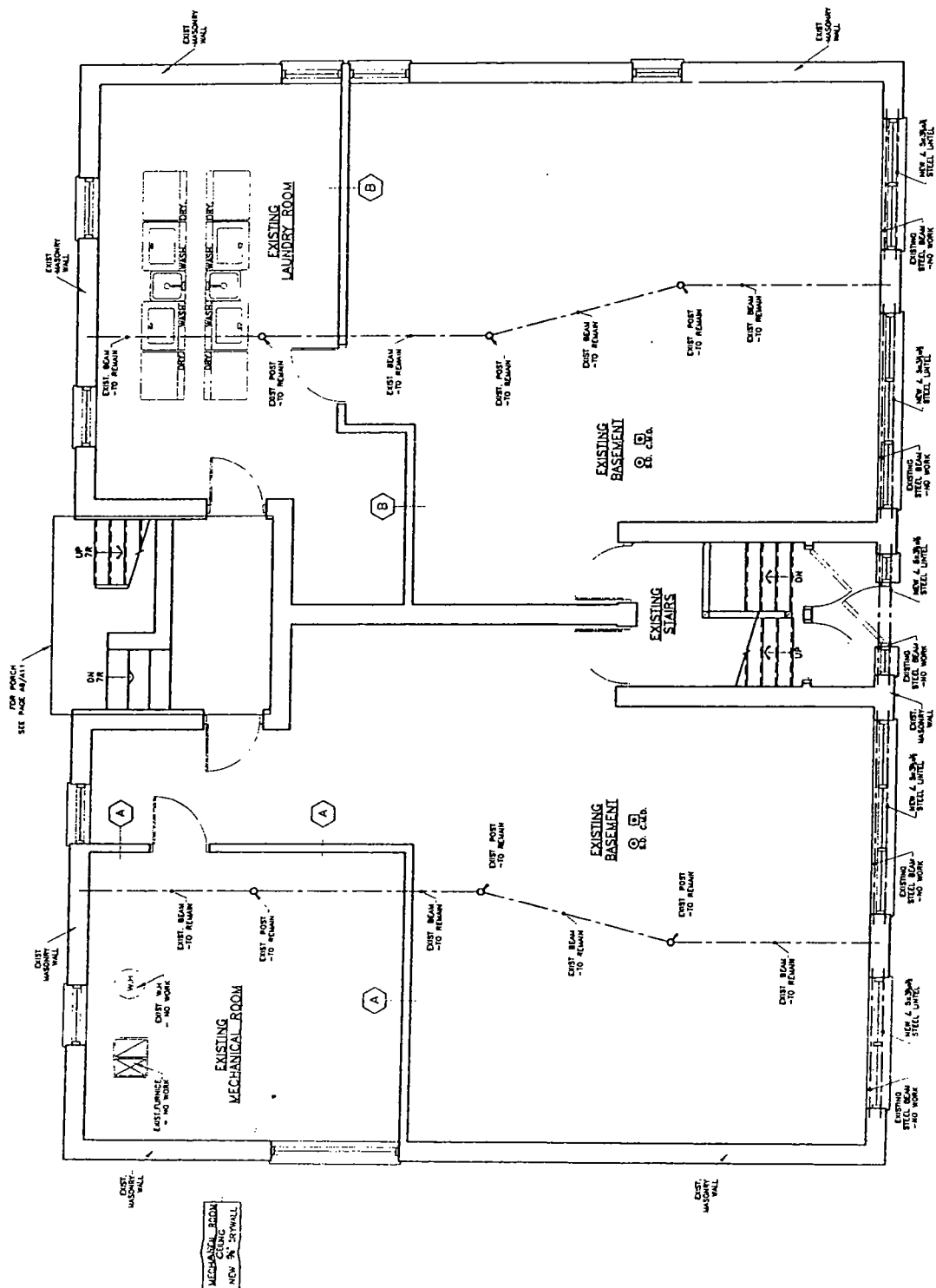
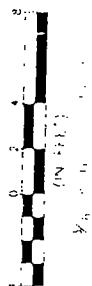


EXISTING BASEMENT
LEVEL PLAN
SCALE: 3/16" = 1'-0"

LEGEND

=====	WALLS / PARTITION TO REMAIN
----	WALLS / PARTITION TO BE DEMOLISHED

SHEET:	A3	DATE: 12-06-15	PROJECT:	ARCHITECTURE		 DPM ARCHITECTS 825 N. Dearborn Ave Chicago, IL 60610 773.777.2700 773.777.2704 FAX	2748 N AUSTIN AVE CHICAGO, IL BASEMENTS DECONVERSION
			SCALE: 1/4" = 1'-0"	PLANNING	ARCHITECTURAL ENGINEERING		
REVISIONS		CHECKED BY: P.L. DRAWN BY: M.S.A. / B.B. BT					



PROPOSED BASEMENT
LEVEL PLAN
SCALE: 3/16" = 1'-0"

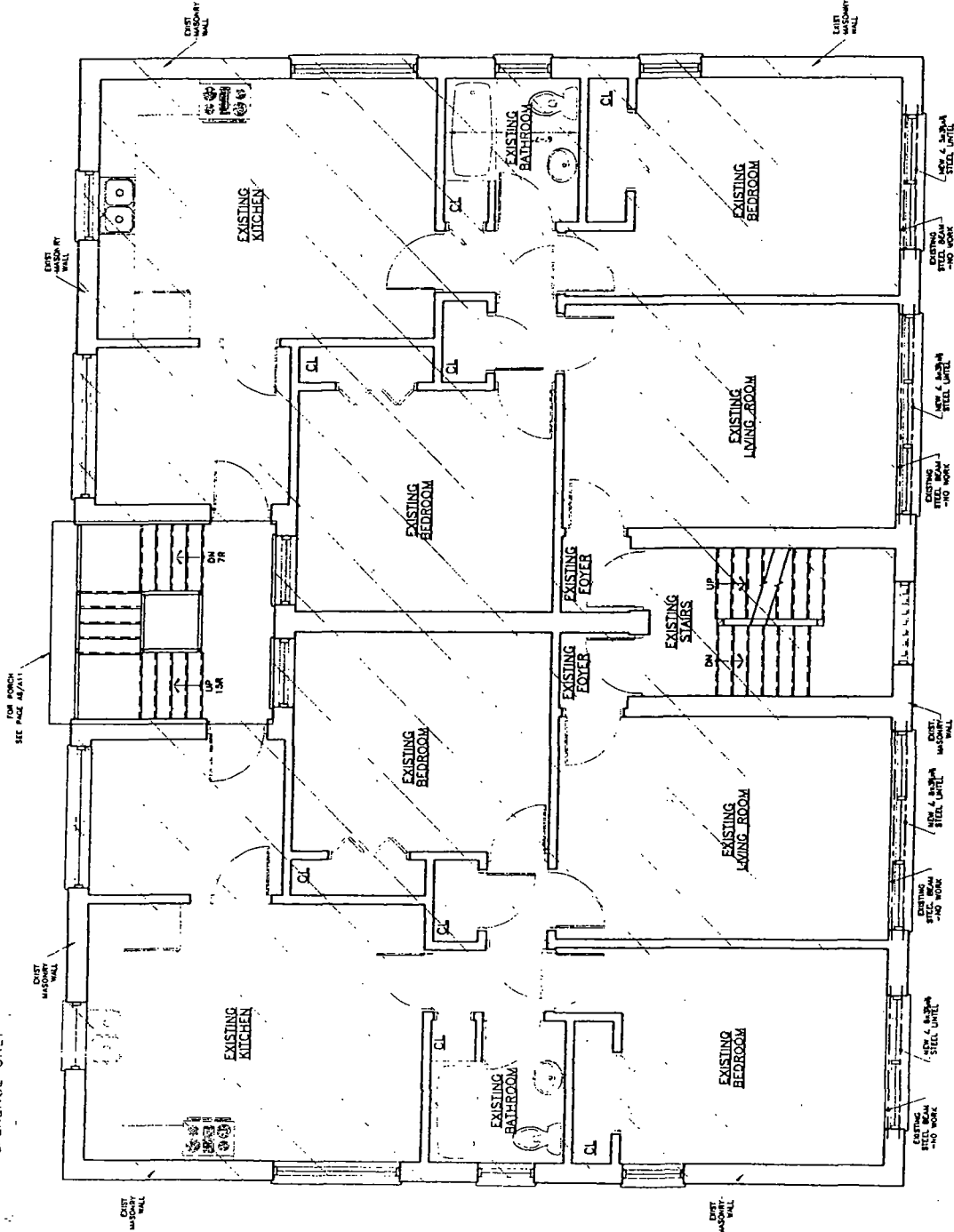
LEGEND

WALLS / PARTITION TO REMAIN

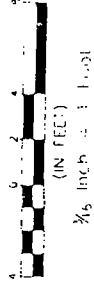
WALLS / PARTITION TO BE DEMOLISHED

FINAL FOR PUBLICATION

-NO WORK
FOR REFERENCE ONLY



PROJECT ARCHITECTURE	ARCHITECTURAL ENGINEERING	DATE 12-09-15	SHEET A4
PLANNING	ARCHITECTS	SCALE 1/4" = 1'-0"	
278 N. Dearborn Ave. Chicago, IL 60610	278 N. Dearborn Ave. Chicago, IL 60610	2748 N. AUSTIN AVE. CHICAGO, IL	BASEMENTS DECONVERSION
DESIGNED BY P. A.	CHECKED BY P. A.	MEASURED BY P. A.	NOTES

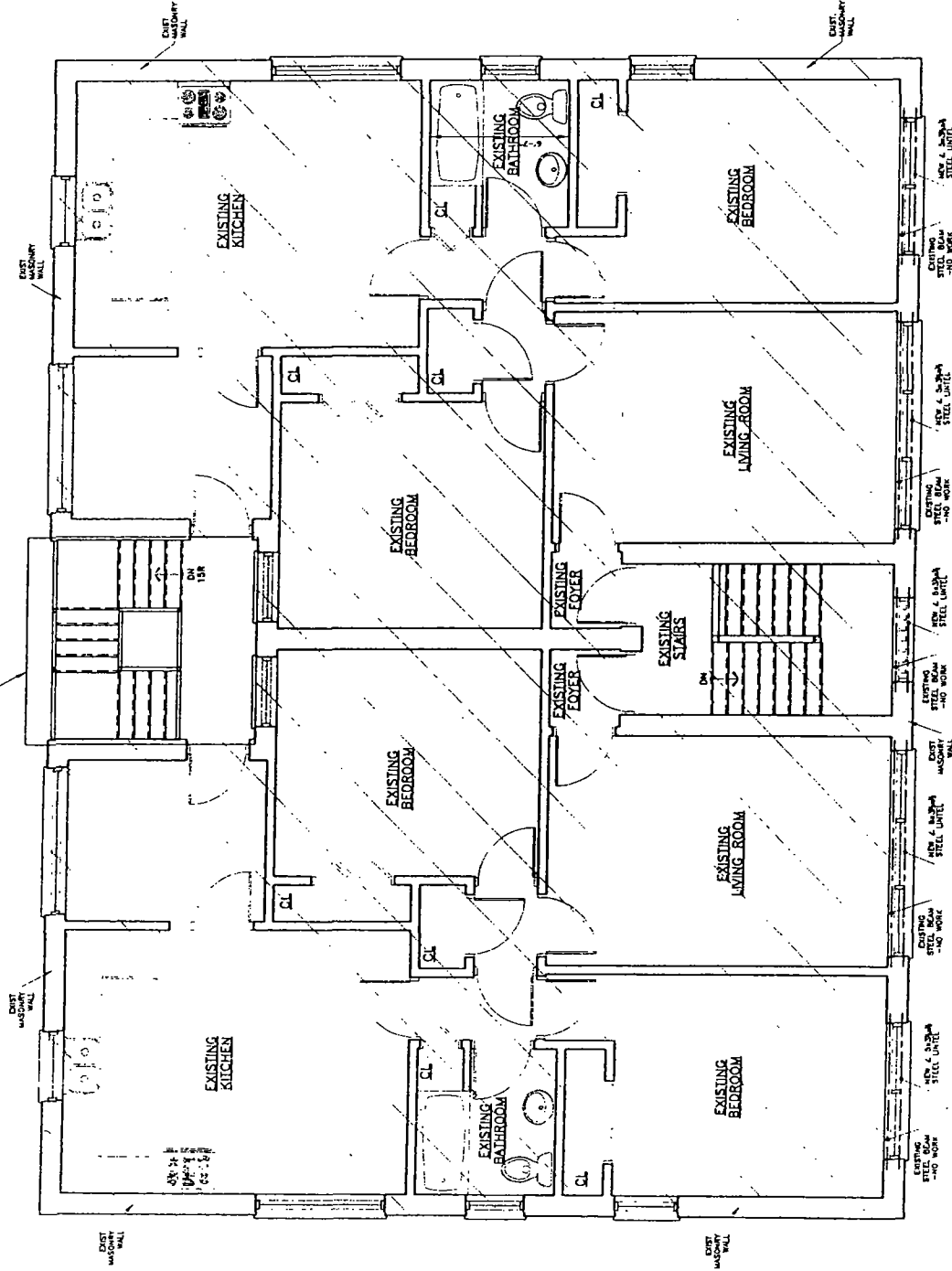


EXISTING
FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

FINAL FOR SUBMISSION

-NO WORK
FOR REFERENCE ONLY

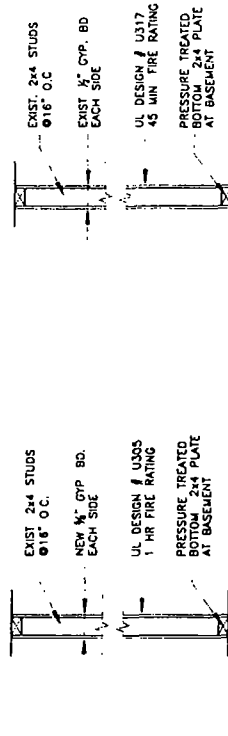
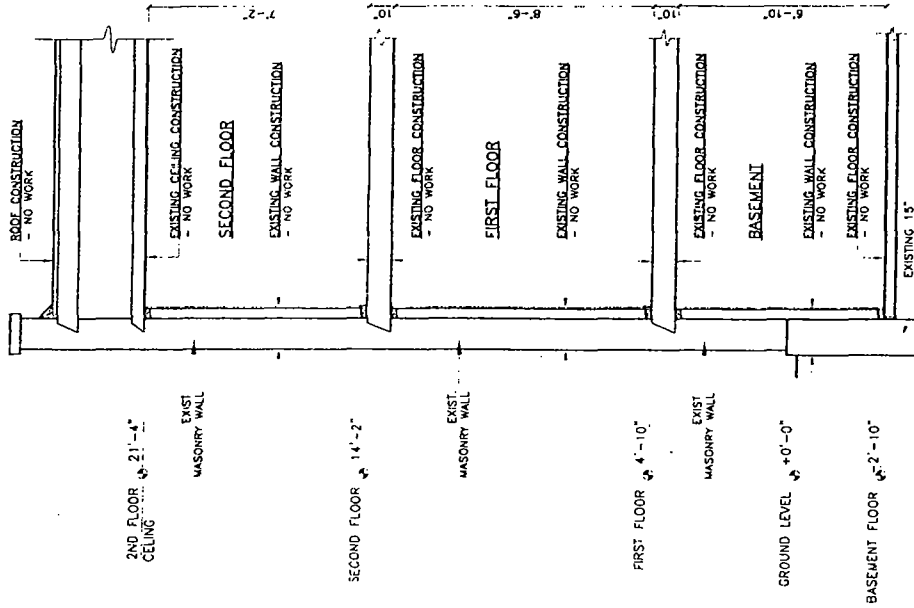
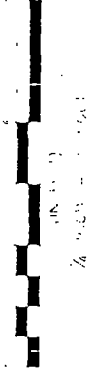
FOR PORCH
SEE PAGE 44/45



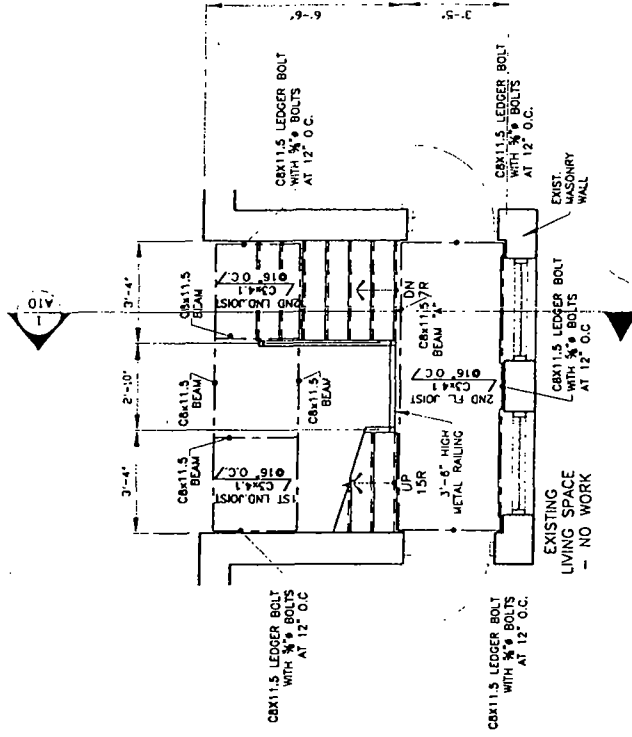
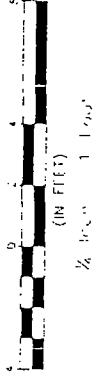
EXISTING
SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

PROJECT		ARCHITECTURE	ARCHITECTS	2749 N. AUSTIN AVE. CHICAGO, IL 60640	BASEMENTS DECONVERSION	REVISIONS
SHEET		PLANNING	DATE	12-09-15	DESIGNED BY	1
A5		SCALE	1/4" = 1'-0"	12-09-15	TEXTURED BY	1

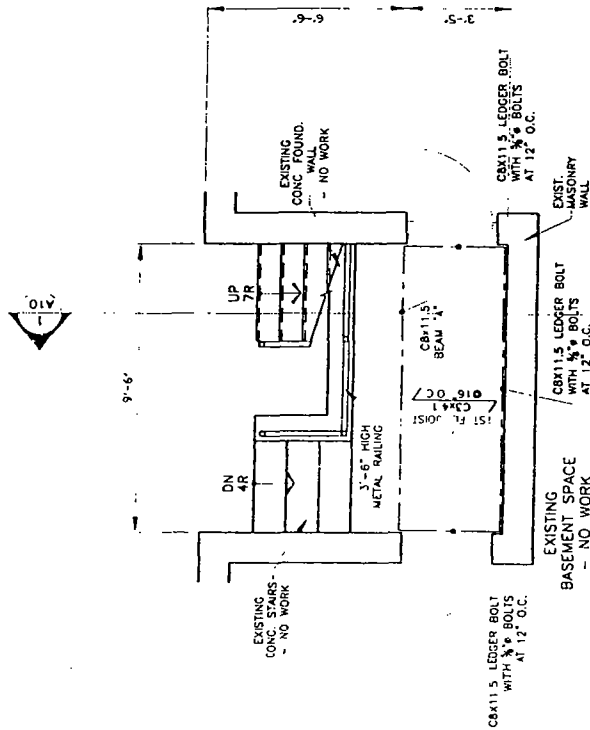
ELEVATION
SCALE: 3/16" = 1'-0"



PROJECT ARCHITECTURE	ARCHITECTURAL ENGINEERING	ARCHITECTS	2748 N. AUSTIN AVE CHICAGO, IL 60622	2748 N. AUSTIN AVE CHICAGO, IL 60622	REVISIONS
DATE 12-08-13	SCALE 1/4" = 1'-0"	PROJECT A7	12-08-13	12-08-13	CHECKED BY DESIGNED BY DRAWN BY REMARKS



2
(A10)



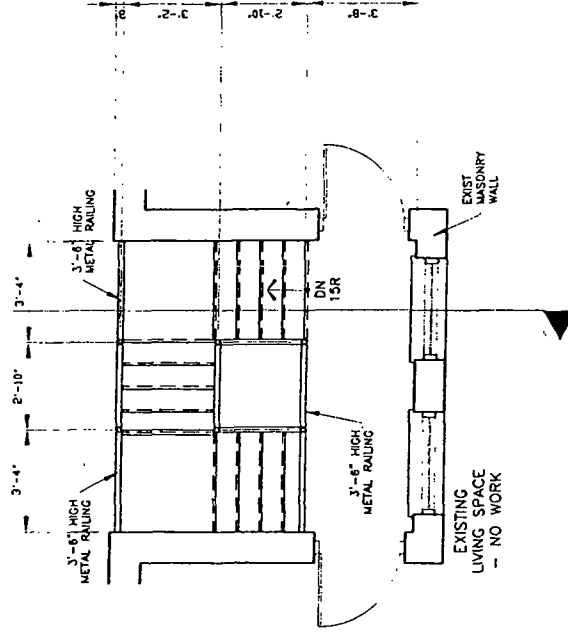
2
(A10)

11 OF 11 A8 SHEET		PROJECT ARCHITECTURE		PLANNING ARCHITECTURAL ENGINEERING		17-09-15 DATE		17-09-15 SCALE		17-09-15 DATE	
529 E Duane Ave Chicago, IL 60622		778 772 2396 Office 778 772 2344 Mob		2748 N AUSTIN AVE CHICAGO IL		REMOVE & REPLACE EXISTING PORCH AND STAIRS		18 AS SHOWN BY DATE BY CHECKED BY APPROVED BY			

FINAL FOR PERMITS



(IN FEET)



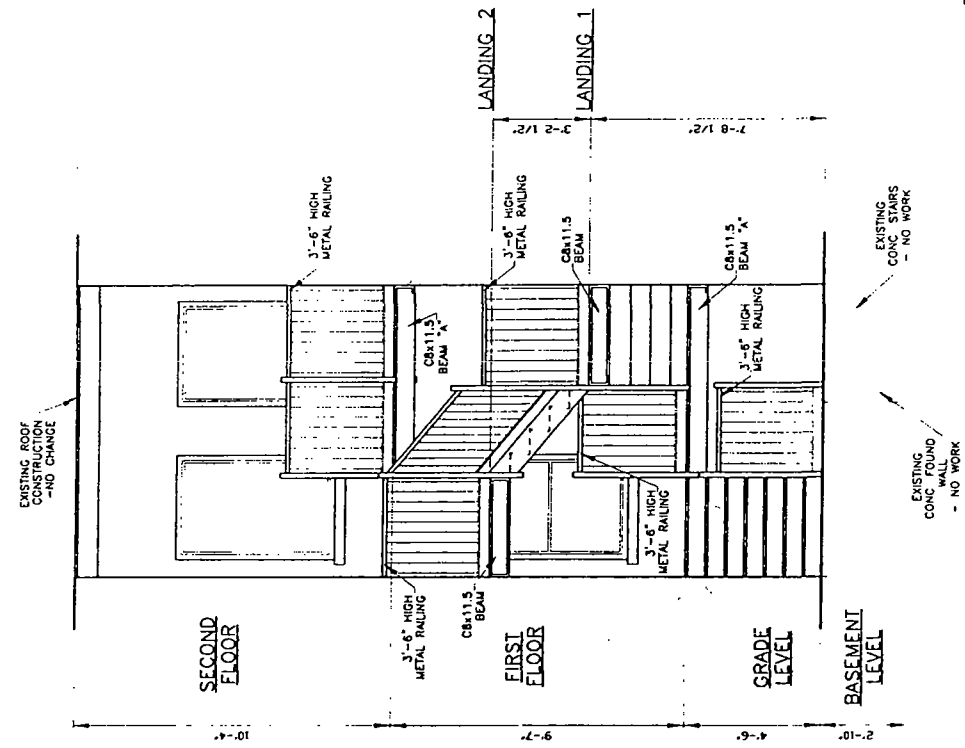
2
A10
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONFORM ALL HANDRAIL & GUARDRAILS TO DETAIL 3

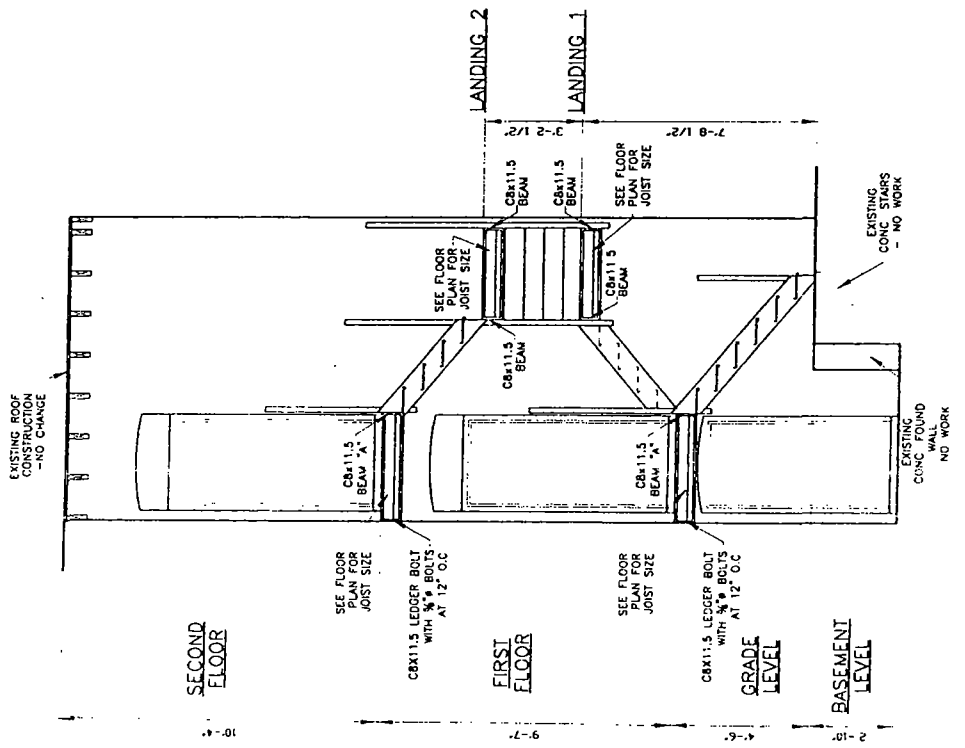
CONFORM ALL CONNECTIONS TO DETAILS

PROJECT A9		ARCHITECT ARCHITECTURAL ENGINEERING		2748 N. AUSTIN AVE. CHICAGO, IL 60622		2748 N. AUSTIN AVE. CHICAGO, IL 60622		REMOVED & REPLACE EXISTING PORCH AND STAIRS		CHECKED BY DESIGNED BY DRAWN BY DATE	
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FINAL FOR PERMITS



PORCH ELEVATION (2)
SCALE: 1/4" = 1'-0"



PORCH SECTION (1)
SCALE: 1/4" = 1'-0"

PROJECT	ARCHITECTURE	PLANNING	ARCHITECTURAL ENGINEERING
SHEET	A10	DATE	12-29-15
SCALE	1" = 1'-0"	DATE	12-29-15
PROJECT	ARCHITECTURE	PLANNING	ARCHITECTURAL ENGINEERING

CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ALL DISCREPANCIES IN ANY CONNECTIONS BEFORE STARTING ANY WORK.

STAIRS:
10" TREAD MIN
6" RISE MAX
1" RISING MAX
3'-6" HIGH GUARDRAIL
6'-8" HEADROOM MIN

CONFORM ALL CONNECTIONS TO DETAILS

REMOVE & REPLACE EXISTING PORCH AND STAIRS

2748 N AUSTIN AVE
CHICAGO, IL

825 N Dearborn Ave
Chicago, IL 60627
312.772.2646
www.2748n.com

REVISIONS:
CHECKED BY: [Signature]
DESIGNED BY: [Signature]
DATE: 12-29-15