



City of Chicago



SO2019-7962

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 10/16/2019

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning Reclassification Map No. 5-N at 6632-6658 W North Ave - App No. 20221T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

Final for Publication

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1, Community Shopping District symbols and indications as shown on Map No. 5-N in an area bound by

North Normandy Avenue; the public alley next north of and parallel to West North Avenue; North Natoma Avenue; And West North Avenue

to those of a B2-3, Neighborhood Mixed-Use District.

SECTION 2. This ordinance takes effect after its passage and due publication.

Common Address of Property: 6632-58 West North Avenue

Final for Publication

Type-1 Zoning Map Amendment: SUBSTITUTE NARRATIVE & PLANS

6632-58 West North Avenue – B3-1 to B2-3

The applicant wishes to rezone the property in order to construct two proposed 4-story residential dwelling unit buildings. Building 1 will have 30 dwelling units, 45 interior parking spaces and 23 interior bicycle parking stalls. Building 2 will have 29 residential units, 45 interior parking stalls and 23 interior bicycle parking stalls. There are no planned commercial spaces at the subject property.

BUILDING 1

FAR	2.79
Lot Area	16,692.06 Square Feet
Building Area	46,500 Square Feet
Lot Area Per Unit	556 Square Feet
Building Height	59 Feet 11 Inches
Front Setback	0 Feet 0 Inches
Rear Setback	17 Feet 0 Inches*
North side Setback	0 Feet 0 Inches
South side Setback	0 Feet 0 Inches
Parking	45 Auto / 23 Bicycle

BUILDING 2

FAR	2.79
Lot Area	16,692.07 Square Feet
Building Area	46,500 Square Feet
Lot Area Per Unit	575 Square Feet
Building Height	59 Feet 11 Inches
Front Setback	0 Feet 0 Inches
Rear Setback	17 Feet 0 Inches
North side Setback	0 Feet 0 Inches
South side Setback	0 Feet 0 Inches
Parking	45 Auto / 23 Bicycle

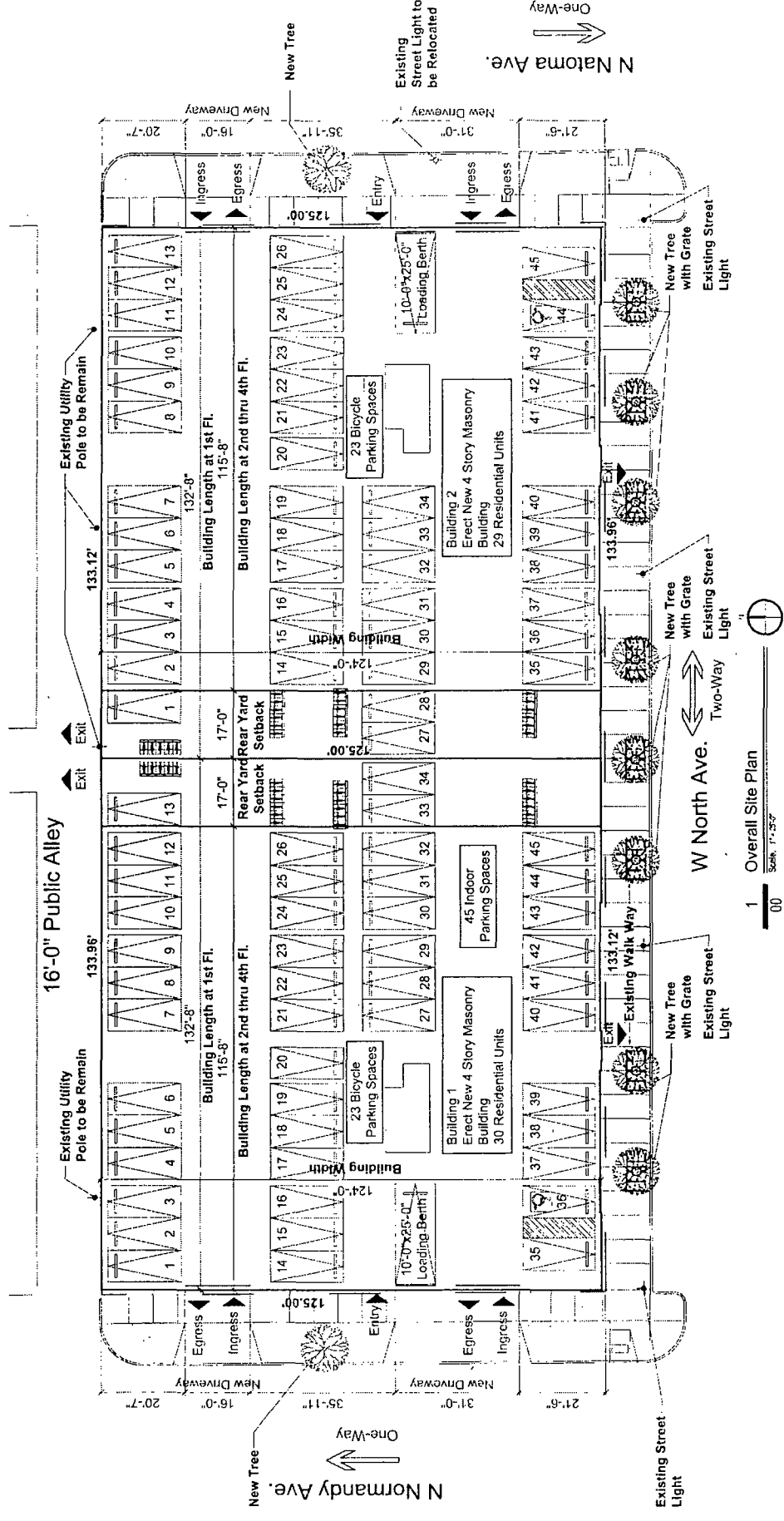
* The applicant will seek relief, as necessary, to accommodate the reduced rear yard setback.

Final for Publication

6650 W North Ave

Illinois

Chicago



1 Overall Site Plan
Scale: 1" = 25'



Y I O S ARCHITECTS AND CONSULTANTS, L.T.D.

300 N. WEST AVE.
SUITE 200
CHICAGO, ILLINOIS 60610
PH. 312.467.2422
FAX. 312.467.2422

6650 W North Ave

Building 1

Illinois

Chicago

ZONING DATA - Building 1	
Address:	6650 W North Ave. - Building 1
Lot Dimensions:	133.86' x 125.00' (see plan)
Lot Area:	16,692.06 Sq. Ft.
Existing Zoning District:	B3-1
Proposed Zoning District:	B2-3
Minimum Lot Area per Dwelling Unit:	400 Sq. Ft. per Dwelling Unit
Maximum Number of Dwelling Units:	16,692.06 / 400 = 41 Dwelling Units ALLOWED
Proposed Number of Dwelling Units:	30 Dwelling Units Proposed
Floor Area Ratio (FAR):	3.0 (Max Ratio)
Maximum Allowable Floor Area:	16,692.06 Sq. Ft. x 3.0 (Max Ratio) = 50,076.18 Sq. Ft.
Maximum Building Height:	60'-0"
Proposed Building Height:	59'-11"
Proposed Floor Area:	
First Floor:	3,000 Sq. Ft.
Second Floor:	14,500 Sq. Ft.
Third Floor:	14,500 Sq. Ft.
Fourth Floor:	14,500 Sq. Ft.
Total:	46,500 Sq. Ft. < 50,076.18 Sq. Ft.
Actual FAR:	46,500 Sq. Ft. / 16,692.06 Sq. Ft. = 2.79 Actual FAR
Required Yards:	
Front Yard Setback:	0'-0"
Side Yard Setback:	0'-0"
Rear Yard Setback:	30'-0"
Proposed Yards:	
Front Yard Setback:	0'-0"
Side Yard Setback:	0'-0"
Rear Yard Setback:	17'-0" @ Floors w/ D.U.'s (Rear Yard Reduction)
Residential Parking:	
Required Parking:	30 Parking Spaces
Provided Parking:	45 Parking Spaces Total
Off Street Loading:	
Required Loading:	(1) 10'-0" x 25'-0" x 14'-0" (ft.) Loading Berth
Proposed Loading:	(1) 10'-0" x 25'-0" x 14'-0" (ft.) Loading Berth
Bicycle Parking:	
Required:	1 per 2 Autos over 8 Units = 73 Bicycle Parking Spaces
Provided:	23 Proposed Bicycle Parking Spaces



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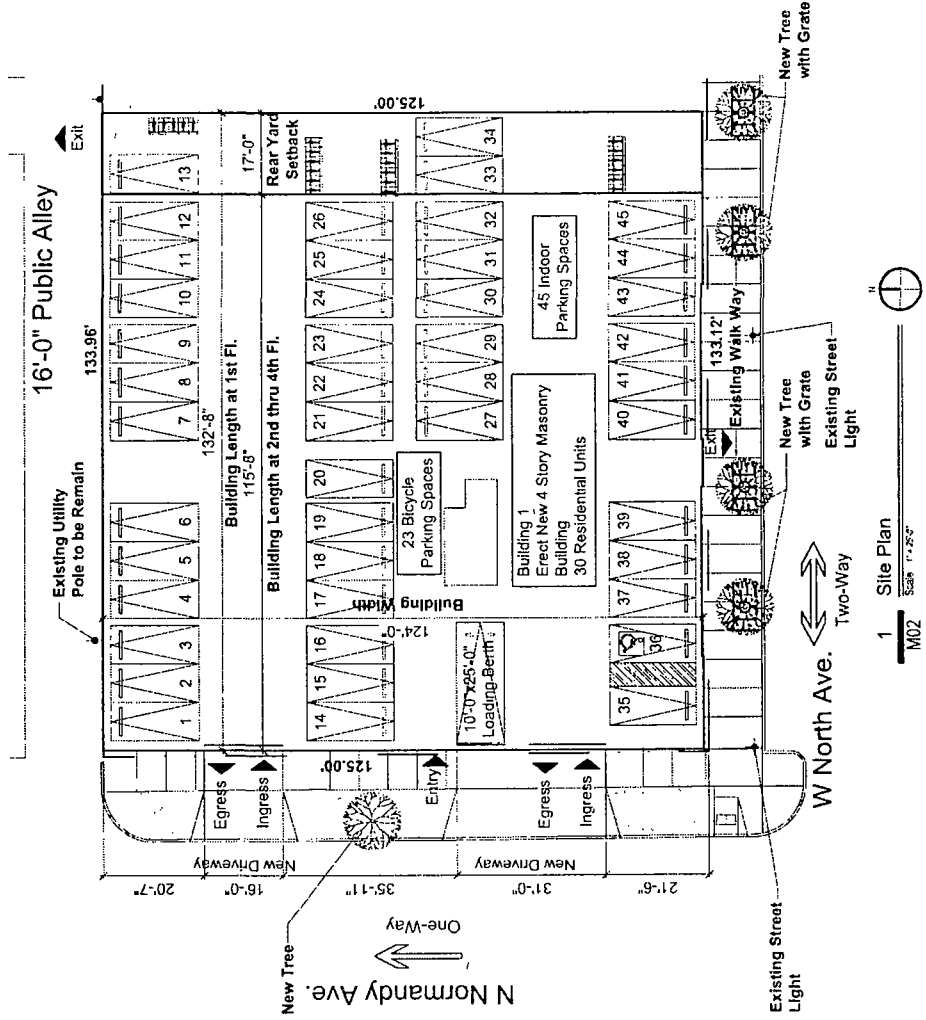
M01

10-0-19

6650 W North Ave
Building 1

Illinois

Chicago



1 Site Plan
Scale 1/8" = 1'-0"



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377-110-1111
377-110-1111
377-110-1111

M02

10-07-19

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6650 W North Ave

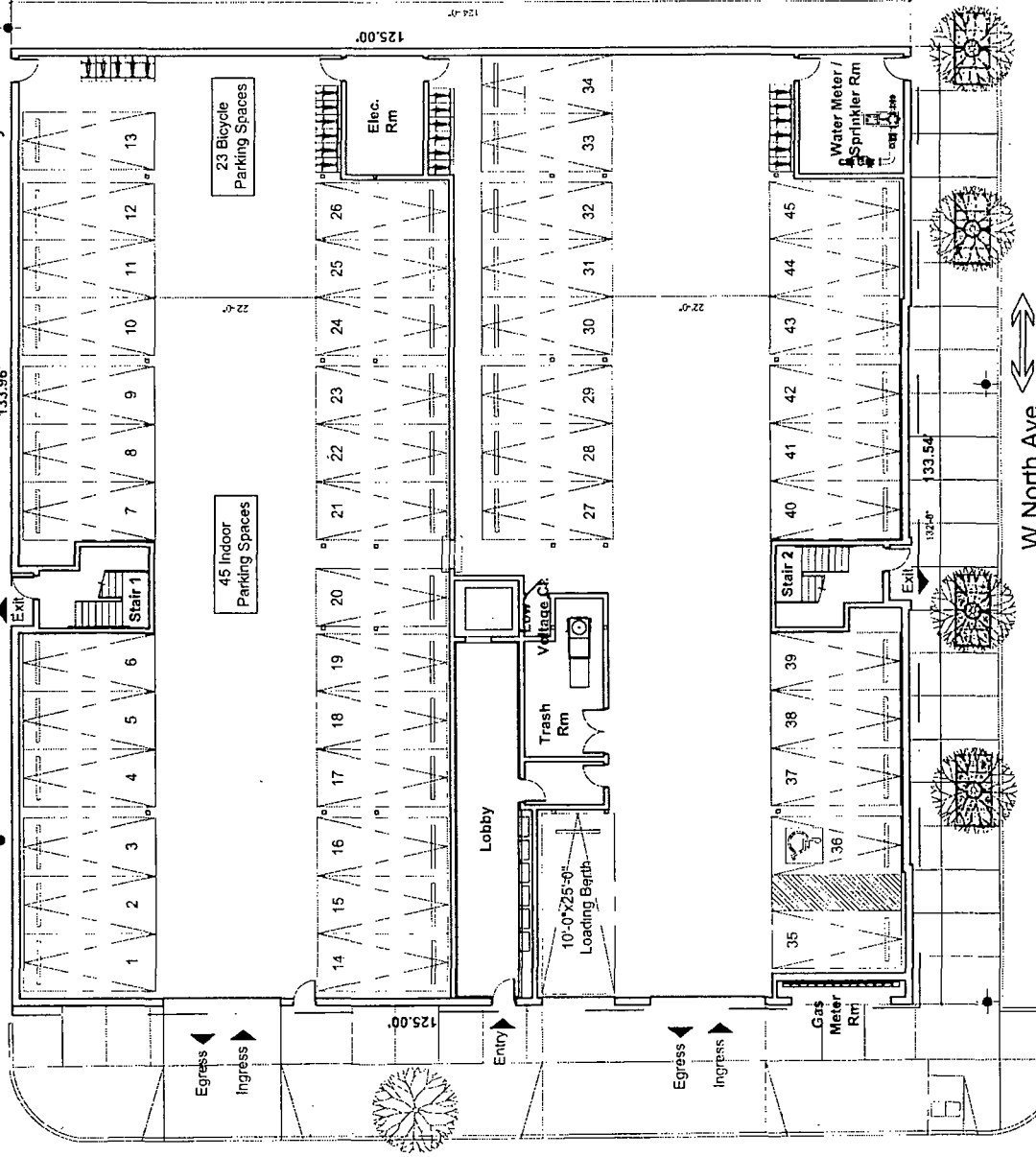
Illinois

Chicago

Building 1

16'-0" Public Alley

Existing Utility Pole to be Remain



1 1st Floor Plan
M03
Scale: 1/8" = 1'-0"



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M03

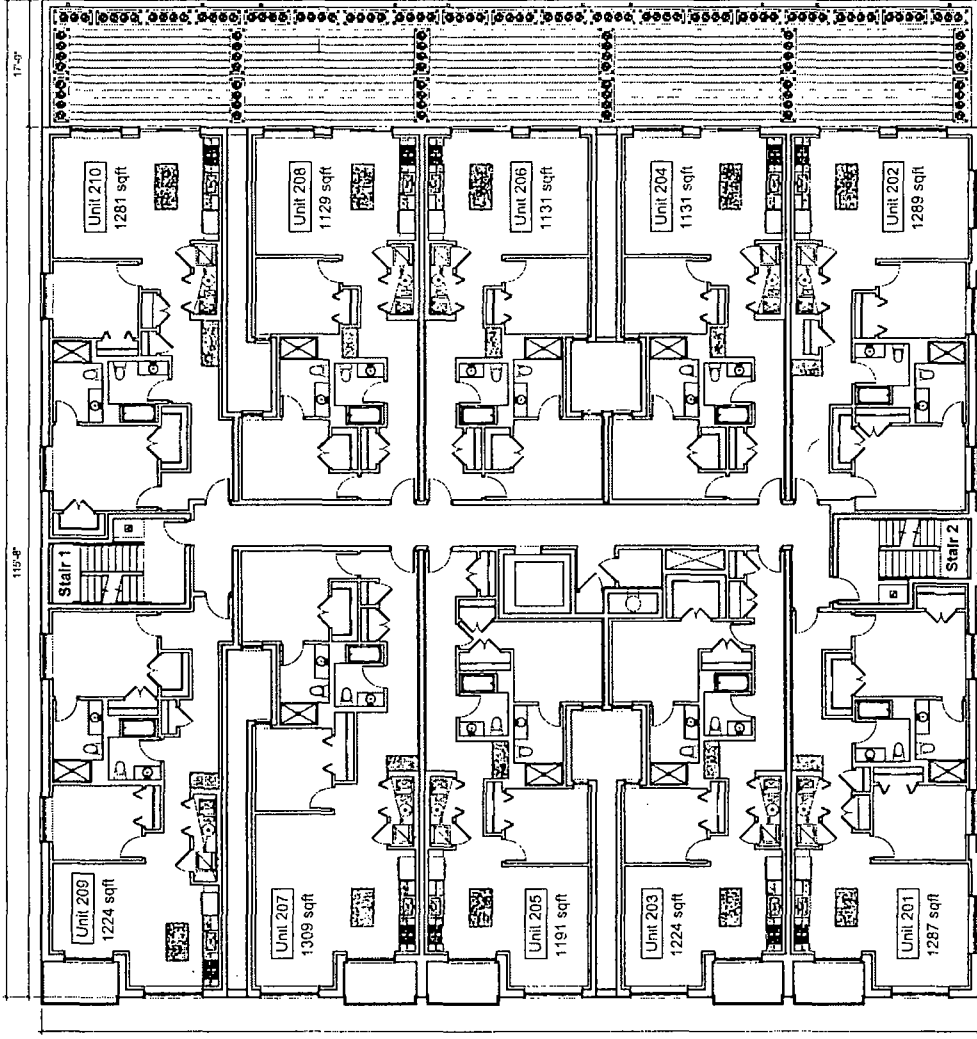
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6650 W North Ave

Building 1

Illinois

Chicago



1 2nd Floor Plan
 M04
 Scale: 1/8" = 1'-0"



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M04

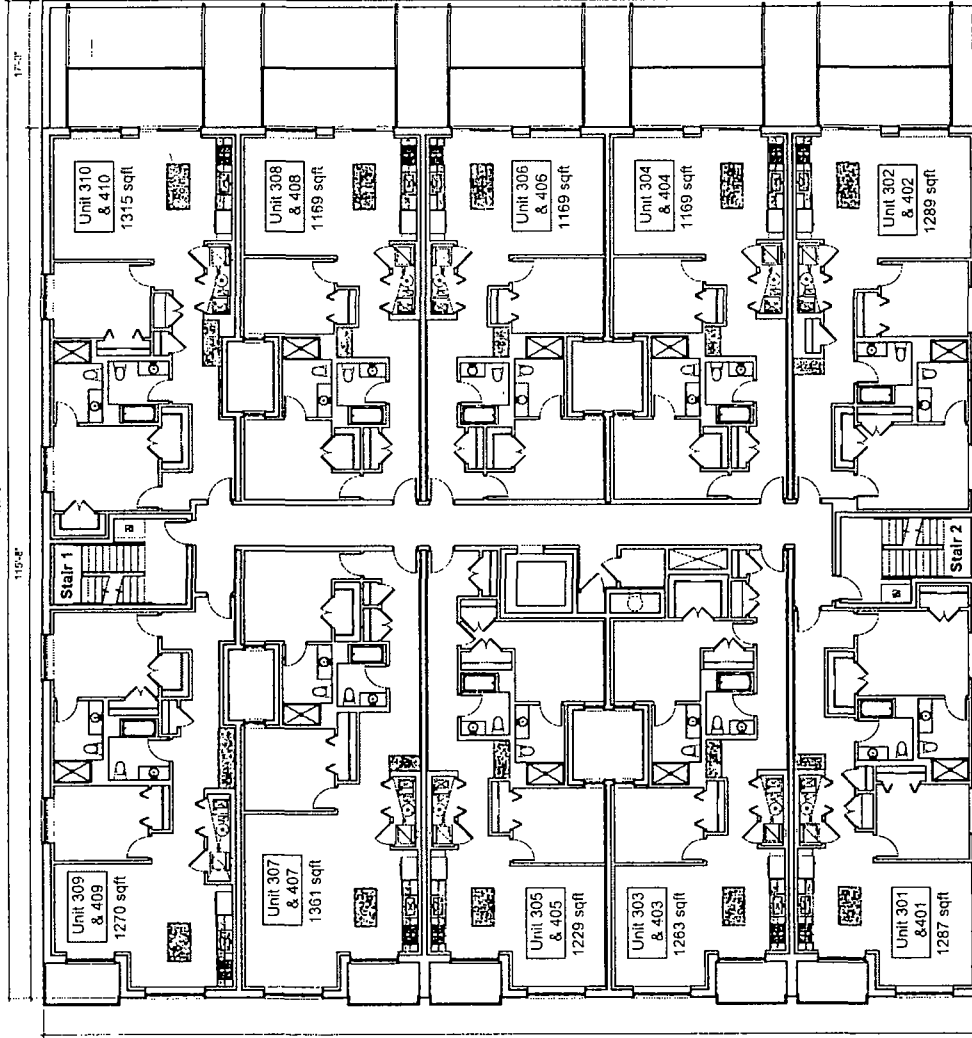
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6650 W North Ave

Building 1

Illinois

Chicago



1 3rd & 4th Floor Plan

Scale: 1/8" = 1'-0"

M05



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M05

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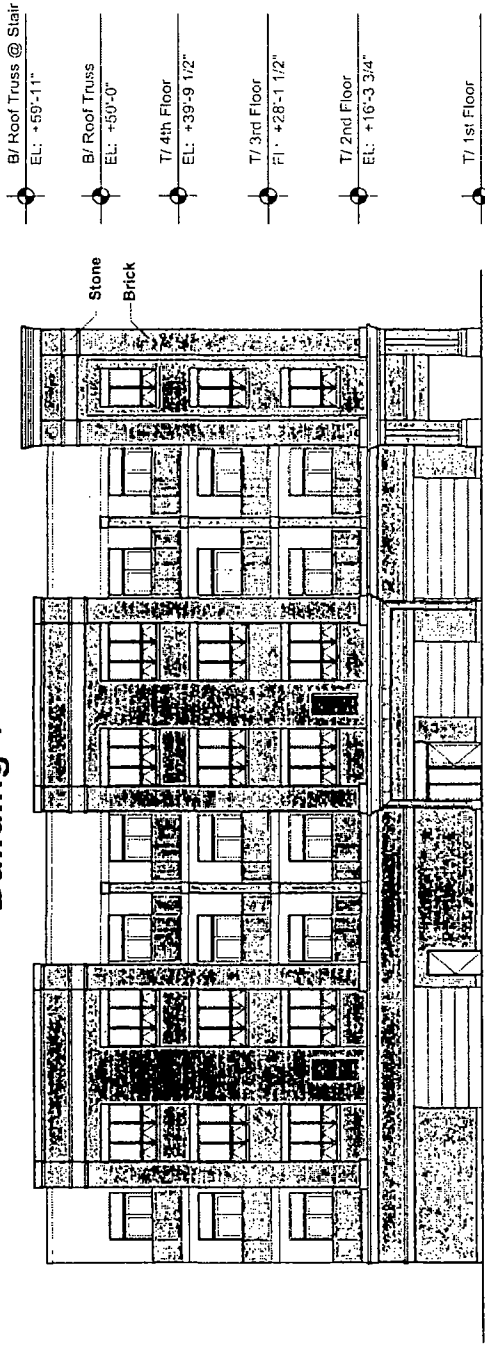
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6650 W North Ave

Building 1

Chicago

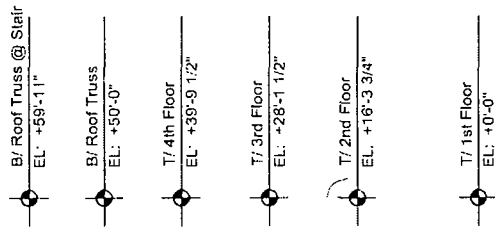
Illinois



1 West Elevation

Scale 3/8"=1'-0"

M06



2 South Elevation

Scale 3/8"=1'-0"

M06



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M06

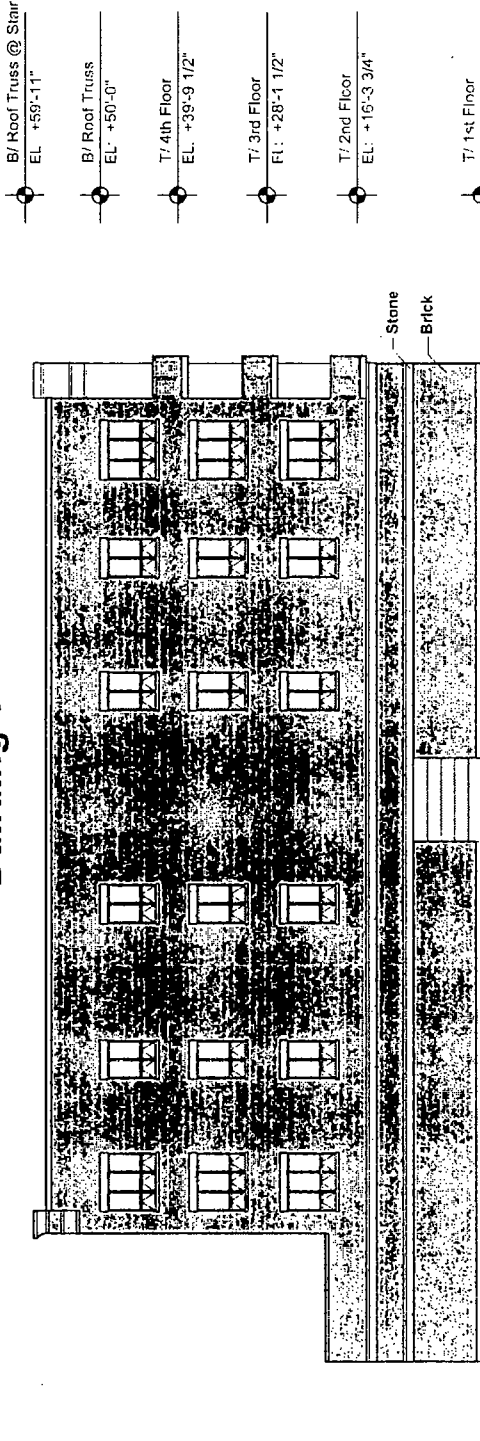
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6650 W North Ave

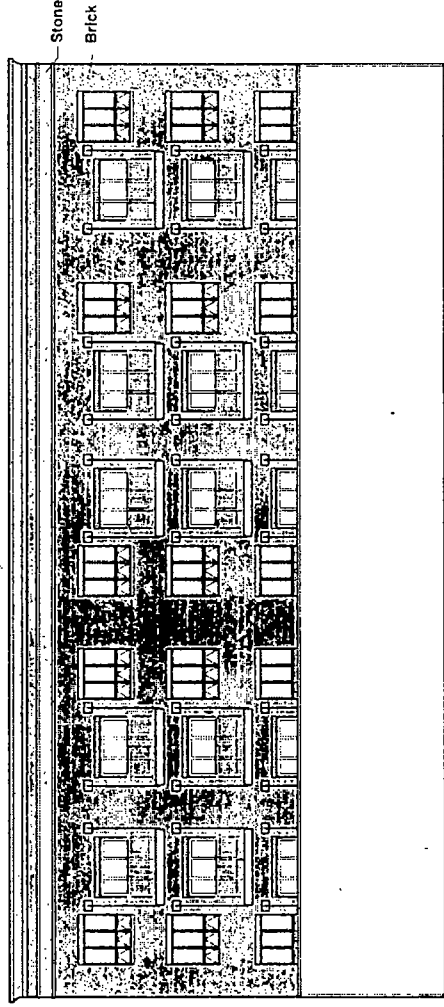
Building 1

Chicago

Illinois



1 North Elevation
Scale 1/8"=1'-0"



2 East Elevation
Scale 1/8"=1'-0"



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M07

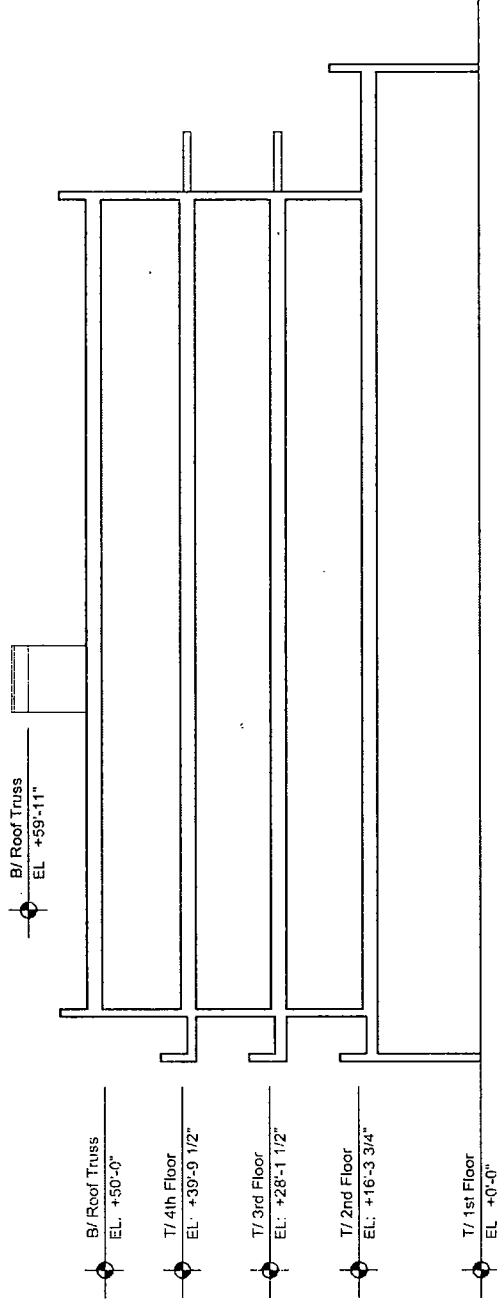
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6650 W North Ave

Building 1

Illinois

Chicago



1 Building Section

M08



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SUITE 200
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FAX: 312.749.5131

M08

10-07-19

6650 W North Ave
Building 2

Illinois

Chicago

ZONING DATA - Building 2	
Address:	6650 W North Ave. - Building 2
Lot Dimensions:	133.98' x 125.00' (see plan)
Lot Area:	16,692.07 Sq Ft.
Existing Zoning District:	B3-1
Proposed Zoning District:	B2-3
Minimum Lot Area per Dwelling Unit:	400 Sq. Ft. per Dwelling Unit
Maximum Number of Dwelling Units:	16,692.07 / 400 = 41 Dwelling Units ALLOWED
Proposed Number of Dwelling Units:	29 Dwelling Units Proposed
Floor Area Ratio (FAR):	3.0 (Max Height)
Maximum Allowable Floor Area:	16,692.07 Sq. Ft. x 3.0 (Max Ratio) = 50,076.21 Sq. Ft.
Maximum Building Height:	60'-0"
Proposed Building Height:	59'-11"
Proposed Floor Area:	
First Floor:	3,000 Sq. Ft.
Second Floor:	14,500 Sq. Ft.
Third Floor:	14,500 Sq. Ft.
Fourth Floor:	14,500 Sq. Ft.
Total:	46,500 Sq. Ft. < 50,076.21 Sq. Ft.
Actual FAR:	46,500 Sq. Ft. / 16,692.07 Sq. Ft. = 2.79 Actual FAR
Required Yards:	
Front Yard Setback:	0'-0"
Side Yard Setback:	0'-0"
Rear Yard Setback:	30'-0"
Proposed Yards:	
Front Yard Setback:	0'-0"
Side Yard Setback:	0'-0"
Rear Yard Setback:	17'-0" @ Floors w/ D.U.'s (Rear Yard Reduction)
Residential Parking:	
Required Parking:	29 Parking Spaces
Provided Parking:	45 Parking Spaces Total
Off Street Loading:	
Required Loading:	(1) 10'-0" x 25'-0" x 14'-0" (ht.) Loading Berth
Proposed Loading:	(1) 10'-0" x 25'-0" x 14'-0" (ht.) Loading Berth
Bicycle Parking:	
Required:	1 per 2 Autos over 2 Units = 23 Bicycle Parking Spaces
Provided:	23 Proposed Bicycle Parking Spaces



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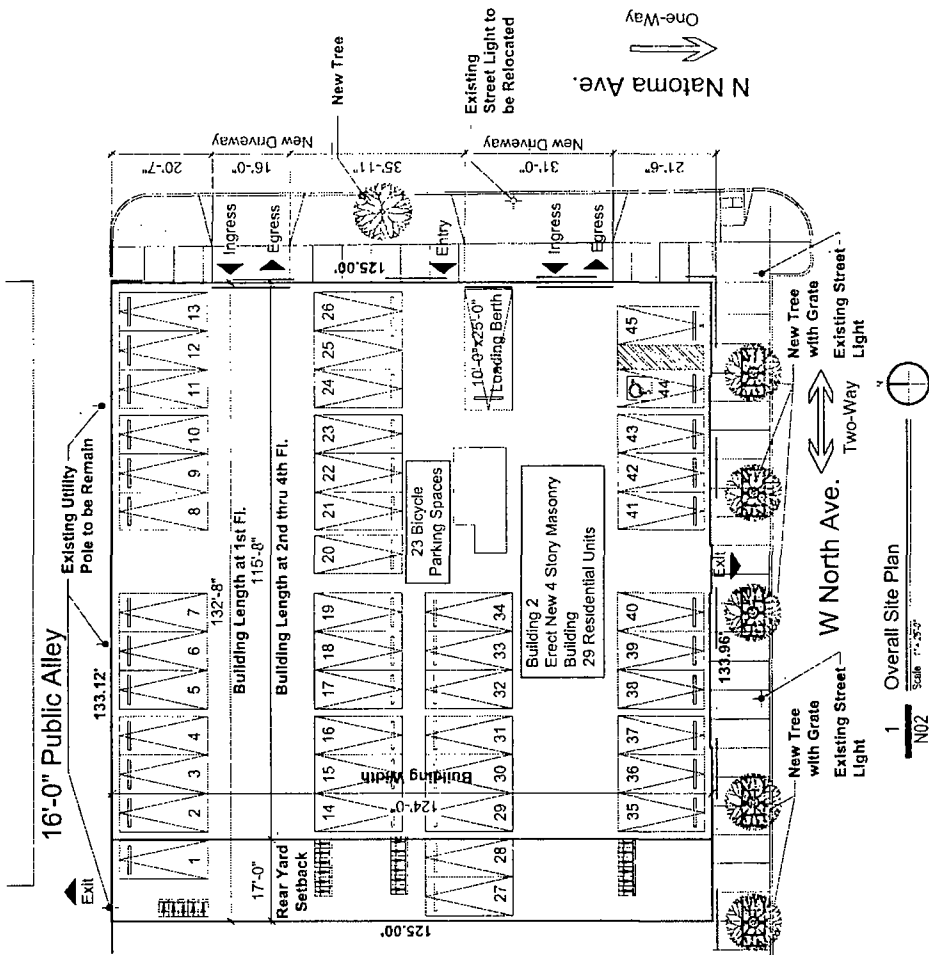
100 N. Dearborn St., Suite 200, Chicago, IL 60610
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6650 W North Ave

Building 2

Chicago

Illinois



1 Overall Site Plan
Scale 1" = 25'-0"



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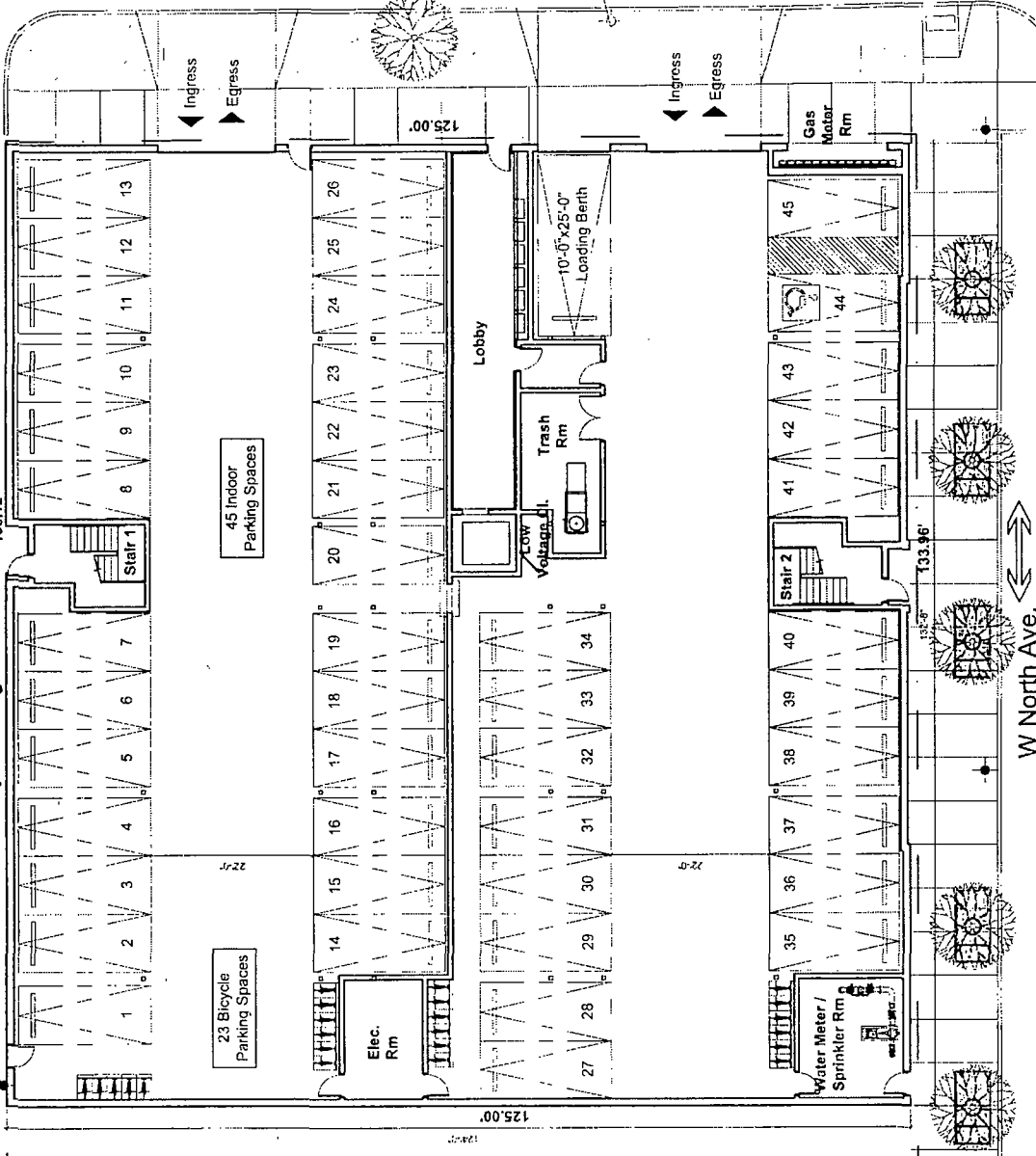
Illinois

Chicago

Building 2

Existing Utility Pole to be Remain
16'-0" Public Alley

Existing Utility Pole to be Remain



N Natoma Ave.
One-Way
Existing Street Light to be Relocated

1 1st Floor Plan
N03 1/8" = 1'-0"



W North Ave.
Two-Way



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N03

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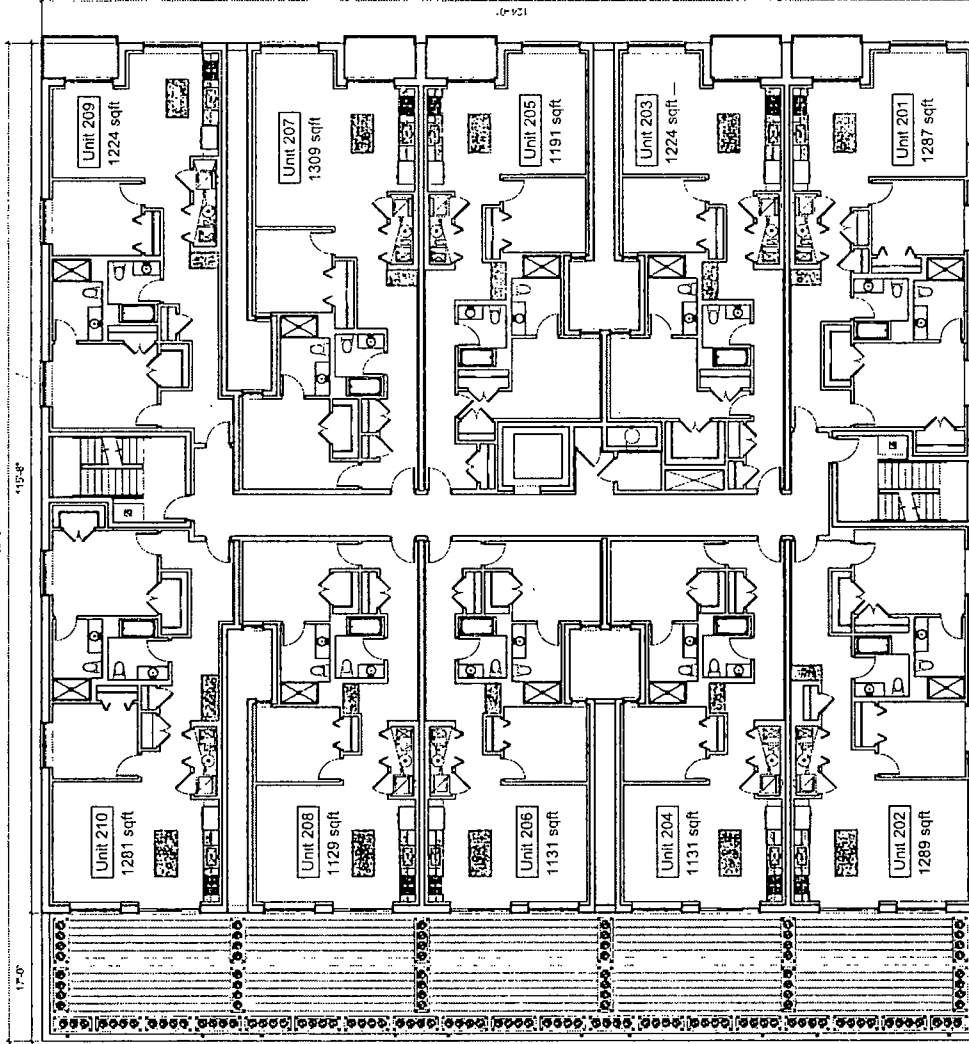
140 N. WELLS
SUIT 200 CHICAGO ILLINOIS 60604
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6650 W North Ave

Building 2

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1 2nd Floor Plan
Scale: 1/8" = 1'-0"

N04

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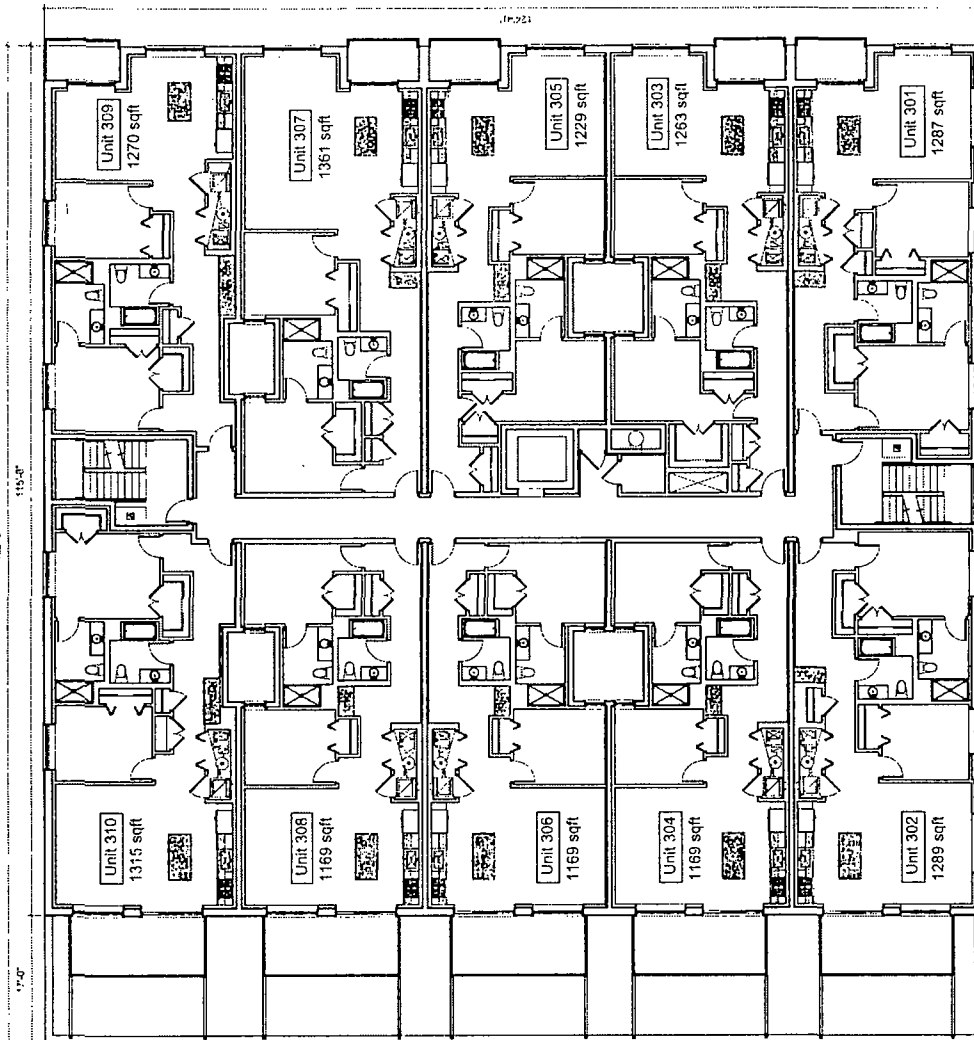
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6650 W North Ave

Building 2

Illinois

Chicago



1 3rd Floor Plan
 N05
 Scale: 1/8" = 1'-0"



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N05

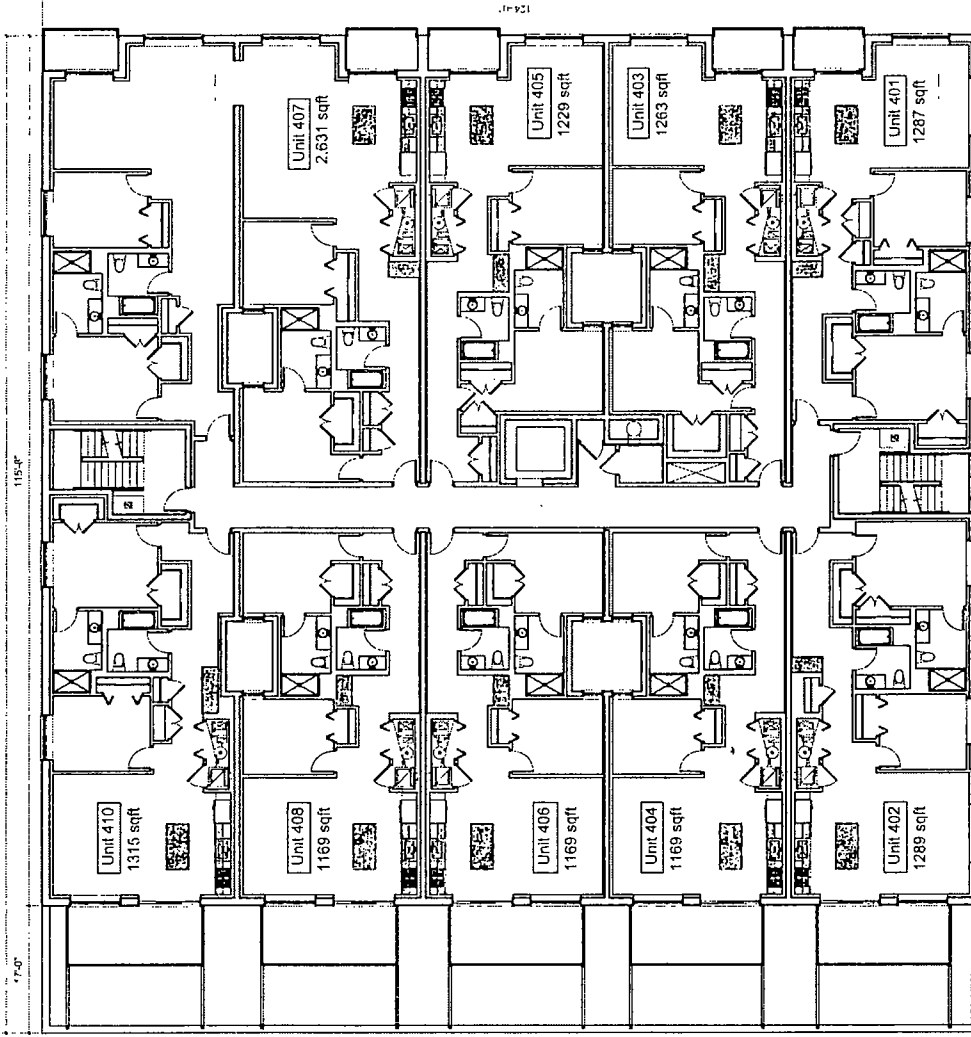
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Building 2

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1 4th Floor Plan
Scale: 1/8" = 1'-0"

N06



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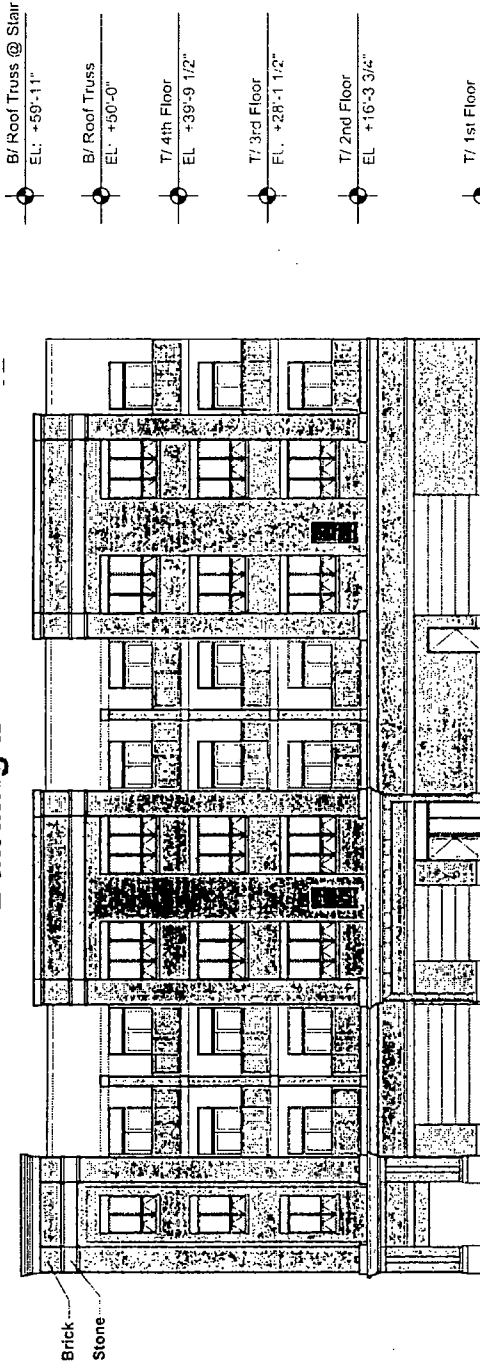
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SCALE: 1/8" = 1'-0"

6650 W North Ave

Building 2

Chicago

Illinois

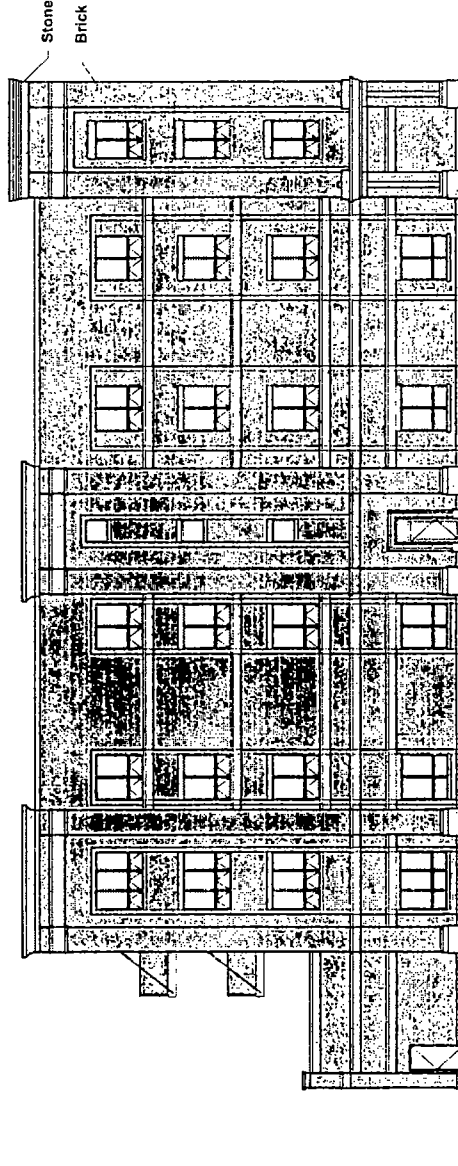


1 East Elevation

N07

Scale: 1/8"=1'-0"

B/ Roof Truss @ Stair	EL: +59'-11"
B/ Roof Truss	EL: +50'-0"
T/ 4th Floor	EL: +39'-9 1/2"
T/ 3rd Floor	EL: +28'-1 1/2"
T/ 2nd Floor	EL: +16'-3 3/4"
T/ 1st Floor	EL: +0'-0"



2 South Elevation

N07

Scale: 1/8"=1'-0"

B/ Roof Truss @ Stair	EL: +59'-11"
B/ Roof Truss	EL: +50'-0"
T/ 4th Floor	EL: +39'-9 1/2"
T/ 3rd Floor	EL: +28'-1 1/2"
T/ 2nd Floor	EL: +16'-3 3/4"
T/ 1st Floor	EL: +0'-0"



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N07

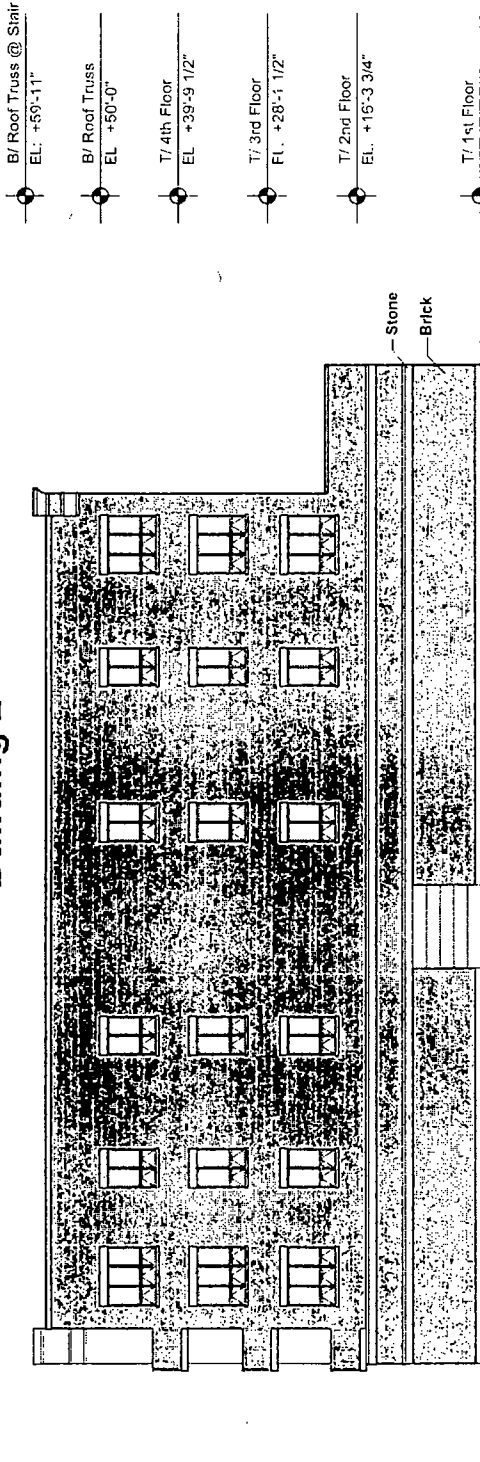
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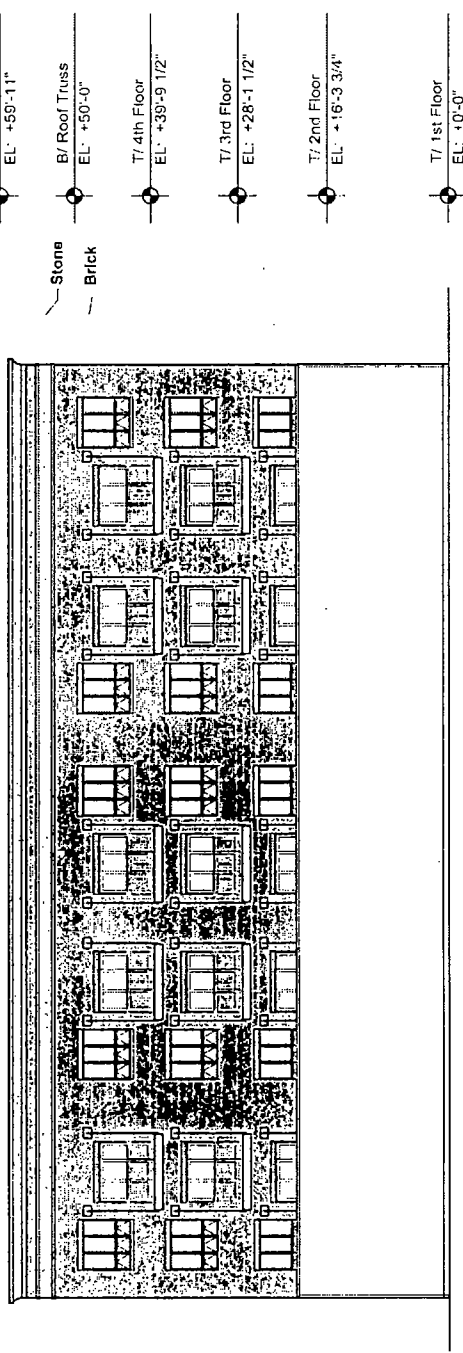
6650 W North Ave Building 2

Chicago

Illinois



1 North Elevation
Scale 1/8"=1'-0"



2 West Elevation
Scale 1/8"=1'-0"



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N08

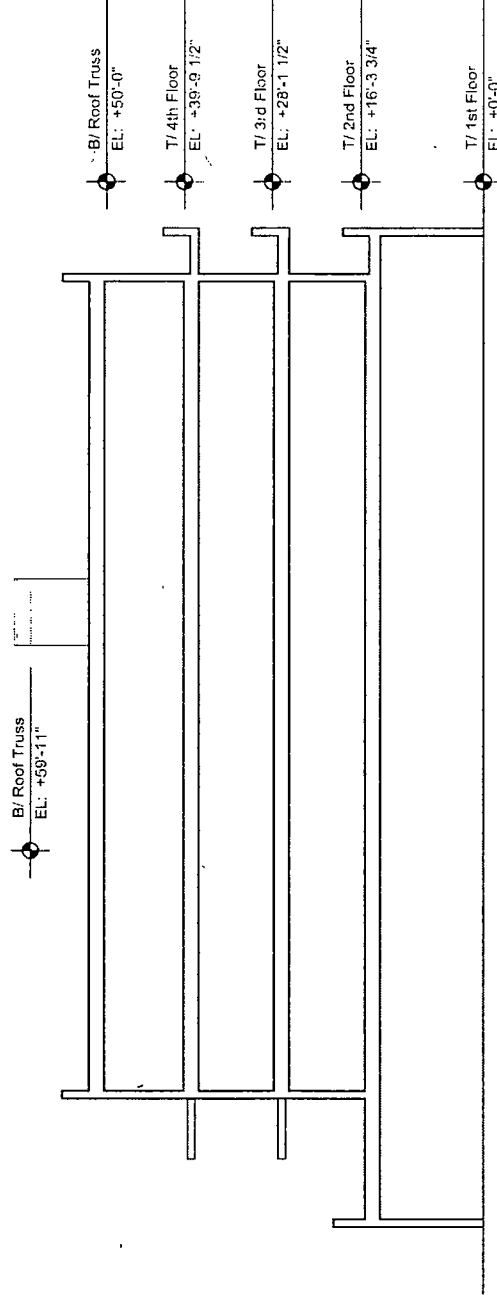
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6650 W North Ave

Building 2

Chicago

Illinois



1 Building Section

N09
Scale 1/8"=1'-0"



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N09

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