



# City of Chicago



O2020-783

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	2/19/2020
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 6-E at 2513-2517 S Wabash Ave - App No. 20346T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

# Final for Publication

## Ordinance

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-3 Limited Manufacturing/Business Park District symbols and indications as shown on Map No. 6-E in the area bounded by

Stevenson Expressway; a line 105.8 feet east of and parallel to South Wabash Avenue; a line 486.54 feet north of and parallel to West 26<sup>th</sup> Street; the alley next east of and parallel to South Wabash Avenue; a line 400.86 feet north of and parallel to West 26<sup>th</sup> Street; and South Wabash Street.

to those of a C1-3 Neighborhood Commercial District.

SECTION 2. This ordinance be in force and effect from and after its passage and due publication.

Common Address of Property: 2513-2517 S. Wabash Avenue, Chicago, Illinois

# Final for Publication

## Type 1 ZONING MAP AMENDMENT: NARRATIVE & PLANS

### 2513-2517 S. Wabash Avenue-M1-3 to C1-3


Applicant seeks to rezone the subject property to allow for the establishment of a Brew Pub and General Restaurant with Event Space in excess of the 4,000 square feet gross floor area that is currently not permitted in an M1-3 Zoning District.

FAR	1.16
Building Area	26,944 square feet
Density	N/A-No dwelling units
Lot Area	23,227 square feet
Building Height	26 feet 9 ¼ inches
Front Setback	0 feet
Rear Setback	0 feet
North Side Setback	0 feet
South Side Setback	0 feet
Parking	No Parking.





Final for Publication




**K2 STUDIO**  
301 W. 11th Street  
Chicago, IL 60608  
E: STUDIO@K2ARCH.COM

**MOODY TONGUE BREWING CO.**  
2515 S. WABASH CHICAGO, IL

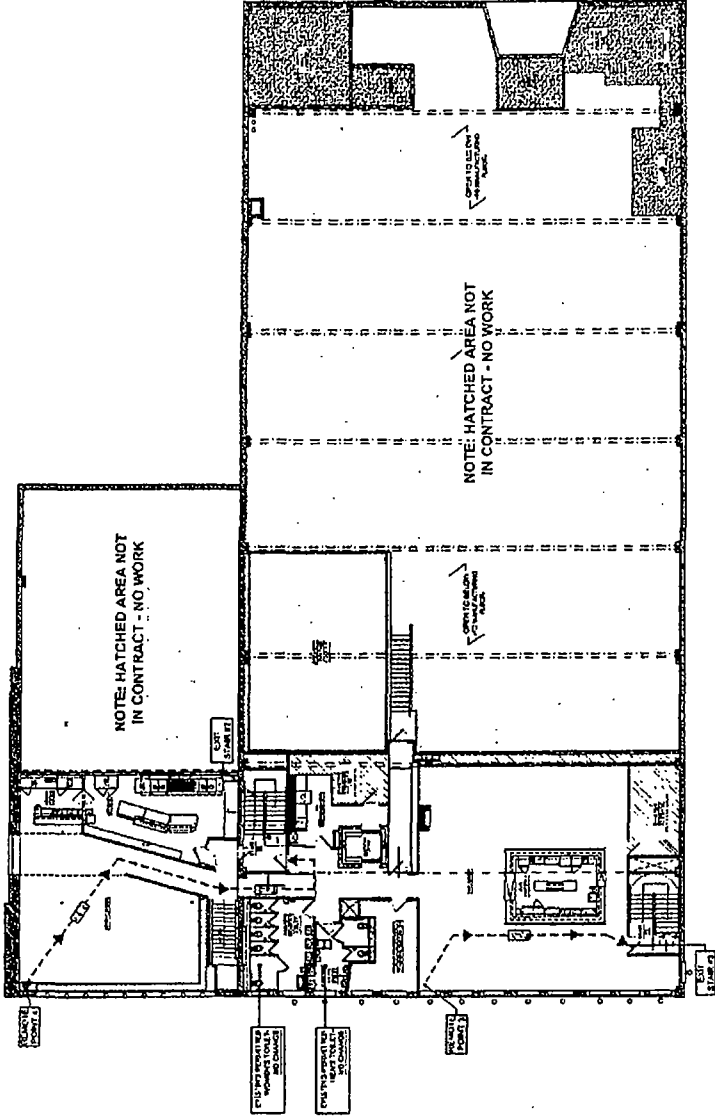
DATE: 01.25.2019

REMARKS:



PHILIP KUBRITZ  
LICENSED PROFESSIONAL ENGINEER  
NOVEMBER 2018  
STATE OF ILLINOIS

SHEET NUMBER: **A012**



**SECOND LEVEL OCCUPANCY PLAN**  
SCALE: 1/8" = 1'-0"

**OCCUPANCY TABLE - MOODY TONGUE BREWERY**  
FIRST FLOOR - 1000 SQ. FT. (APPROXIMATE)

ROOM NO.	ROOM NAME	AREA (SQ. FT.)	USE	ASSEMBLY SEATING	STAIRS	EXIT
101	BREWERY	800	Assembly	100	0	0
102	RESTROOM	50	Restroom	0	0	0
103	STORAGE	150	Storage	0	0	0
104	OFFICE	50	Office	0	0	0
105	STAIRS	50	Stairs	0	0	0
106	STAIRS	50	Stairs	0	0	0
107	STAIRS	50	Stairs	0	0	0
108	STAIRS	50	Stairs	0	0	0
109	STAIRS	50	Stairs	0	0	0
110	STAIRS	50	Stairs	0	0	0
111	STAIRS	50	Stairs	0	0	0
112	STAIRS	50	Stairs	0	0	0
113	STAIRS	50	Stairs	0	0	0
114	STAIRS	50	Stairs	0	0	0
115	STAIRS	50	Stairs	0	0	0
116	STAIRS	50	Stairs	0	0	0
117	STAIRS	50	Stairs	0	0	0
118	STAIRS	50	Stairs	0	0	0
119	STAIRS	50	Stairs	0	0	0
120	STAIRS	50	Stairs	0	0	0

**MEASUREMENT OF TRAVEL DISTANCE: 1013-101-100**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
**MAXIMUM DISTANCE FROM END OF CORRIDOR: 1013-101-101**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.

**DESIGNATED TRAVEL DISTANCE**

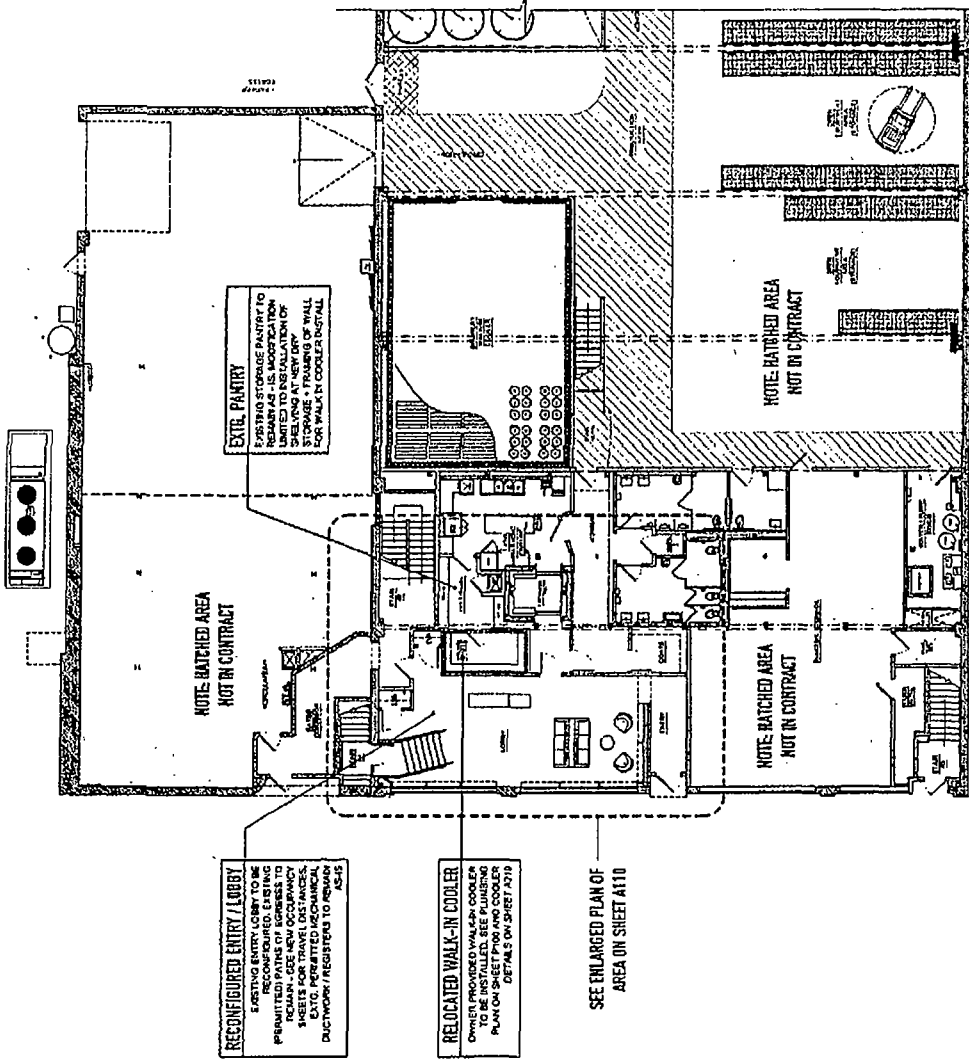
NO.	ROOM NUMBER	ROOM NAME	AREA (SQ. FT.)	USE	ASSEMBLY SEATING	STAIRS	EXIT
101	BREWERY	800	Assembly	100	0	0	0
102	RESTROOM	50	Restroom	0	0	0	0
103	STORAGE	150	Storage	0	0	0	0
104	OFFICE	50	Office	0	0	0	0
105	STAIRS	50	Stairs	0	0	0	0
106	STAIRS	50	Stairs	0	0	0	0
107	STAIRS	50	Stairs	0	0	0	0
108	STAIRS	50	Stairs	0	0	0	0
109	STAIRS	50	Stairs	0	0	0	0
110	STAIRS	50	Stairs	0	0	0	0
111	STAIRS	50	Stairs	0	0	0	0
112	STAIRS	50	Stairs	0	0	0	0
113	STAIRS	50	Stairs	0	0	0	0
114	STAIRS	50	Stairs	0	0	0	0
115	STAIRS	50	Stairs	0	0	0	0
116	STAIRS	50	Stairs	0	0	0	0
117	STAIRS	50	Stairs	0	0	0	0
118	STAIRS	50	Stairs	0	0	0	0
119	STAIRS	50	Stairs	0	0	0	0
120	STAIRS	50	Stairs	0	0	0	0

**EXCESS WIDTH CALCULATIONS - HORIZONTAL - 1ST FLOOR**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
**EXCESS WIDTH CALCULATIONS - HORIZONTAL - 2ND FLOOR**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
**EXCESS WIDTH CALCULATIONS - VERTICAL - 2ND FLOOR**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.


ROOM NO.	ROOM NAME	AREA (SQ. FT.)	USE	ASSEMBLY SEATING	STAIRS	EXIT
201	BREWERY	800	Assembly	100	0	0
202	RESTROOM	50	Restroom	0	0	0
203	STORAGE	150	Storage	0	0	0
204	OFFICE	50	Office	0	0	0
205	STAIRS	50	Stairs	0	0	0
206	STAIRS	50	Stairs	0	0	0
207	STAIRS	50	Stairs	0	0	0
208	STAIRS	50	Stairs	0	0	0
209	STAIRS	50	Stairs	0	0	0
210	STAIRS	50	Stairs	0	0	0
211	STAIRS	50	Stairs	0	0	0
212	STAIRS	50	Stairs	0	0	0
213	STAIRS	50	Stairs	0	0	0
214	STAIRS	50	Stairs	0	0	0
215	STAIRS	50	Stairs	0	0	0
216	STAIRS	50	Stairs	0	0	0
217	STAIRS	50	Stairs	0	0	0
218	STAIRS	50	Stairs	0	0	0
219	STAIRS	50	Stairs	0	0	0
220	STAIRS	50	Stairs	0	0	0

**CAPACITY OF EXITS INCREASE**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
**CAPACITY OF EXITS INCREASE**  
 1. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.  
 2. THE DISTANCE FROM ANY POINT IN THE BREWERY SPACE TO THE NEAREST EXITS IS 100 FEET.

Final for Publication



NEW OVERALL GROUND FL PLAN  
 SCALE: 1/8" = 1'-0"




**KE**  
 KENNEDY ENGINEERING  
 425 S. 10TH STREET  
 SUITE 100  
 MILWAUKEE, WI 53233  
 TEL: 414.224.1111  
 FAX: 414.224.1112  
 E: STUDIO@KEARCH.COM

**MOODY TONGUE**  
 ARCHITECTS  
 2518 S. WALSH AVE. #100  
 MILWAUKEE, WI 53222

#	DATE	REVISIONS	BY	CHK'D BY
1	01.29.2019	PERMIT SET		

PERMIT SET  
 01.29.2019

**A100**  
 SHEET NUMBER

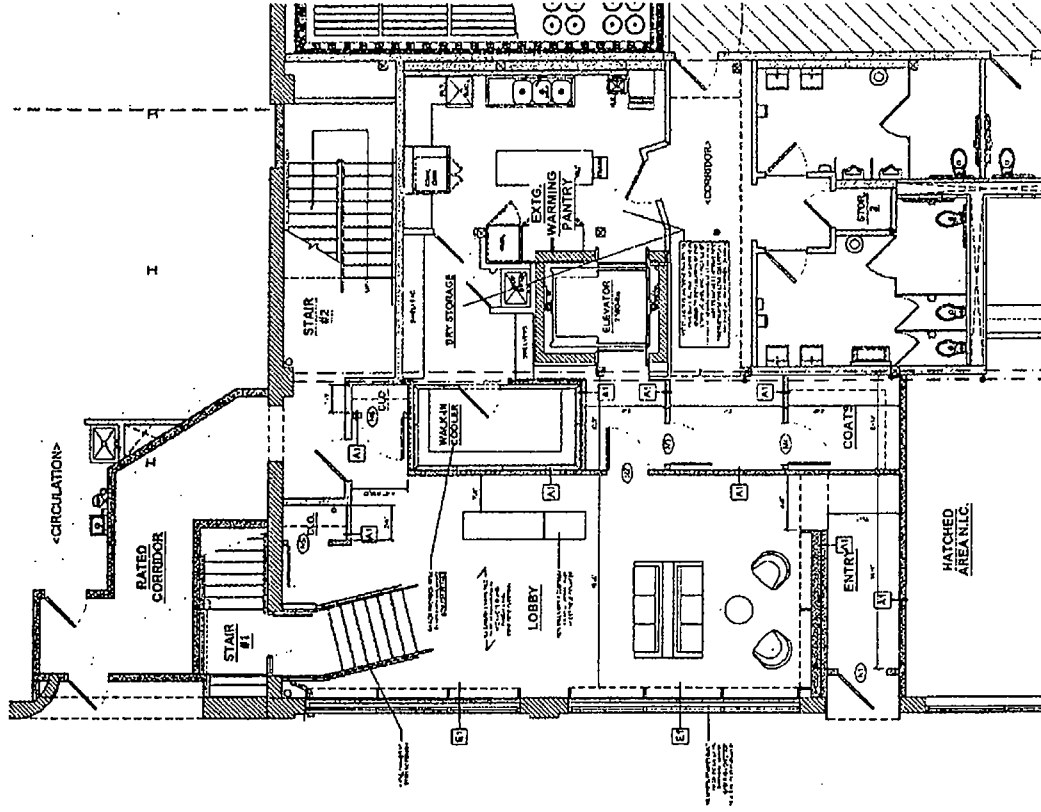


WILLIAM W. PERLITZ  
 LICENSE NO. 101000  
 EXP. 08/01/2025

NOTED: THIS PLAN IS SUBJECT TO ALL CITY, STATE AND FEDERAL REGULATIONS AND PERMITS.

# Final Publication

NO.	DESCRIPTION	UNIT	QTY.	UNIT PRICE	TOTAL PRICE	DATE	BY	REVISION
1	CEILING	100	100	100	100			
2	FLOORING	200	200	200	200			
3	WALLS	300	300	300	300			
4	DOORS	400	400	400	400			
5	WINDOWS	500	500	500	500			
6	STAIRS	600	600	600	600			
7	ELEVATOR	700	700	700	700			
8	MECHANICAL	800	800	800	800			
9	ELECTRICAL	900	900	900	900			
10	PLUMBING	1000	1000	1000	1000			
11	MECHANICAL	1100	1100	1100	1100			
12	ELECTRICAL	1200	1200	1200	1200			
13	PLUMBING	1300	1300	1300	1300			
14	MECHANICAL	1400	1400	1400	1400			
15	ELECTRICAL	1500	1500	1500	1500			
16	PLUMBING	1600	1600	1600	1600			
17	MECHANICAL	1700	1700	1700	1700			
18	ELECTRICAL	1800	1800	1800	1800			
19	PLUMBING	1900	1900	1900	1900			
20	MECHANICAL	2000	2000	2000	2000			
21	ELECTRICAL	2100	2100	2100	2100			
22	PLUMBING	2200	2200	2200	2200			
23	MECHANICAL	2300	2300	2300	2300			
24	ELECTRICAL	2400	2400	2400	2400			
25	PLUMBING	2500	2500	2500	2500			
26	MECHANICAL	2600	2600	2600	2600			
27	ELECTRICAL	2700	2700	2700	2700			
28	PLUMBING	2800	2800	2800	2800			
29	MECHANICAL	2900	2900	2900	2900			
30	ELECTRICAL	3000	3000	3000	3000			
31	PLUMBING	3100	3100	3100	3100			
32	MECHANICAL	3200	3200	3200	3200			
33	ELECTRICAL	3300	3300	3300	3300			
34	PLUMBING	3400	3400	3400	3400			
35	MECHANICAL	3500	3500	3500	3500			
36	ELECTRICAL	3600	3600	3600	3600			
37	PLUMBING	3700	3700	3700	3700			
38	MECHANICAL	3800	3800	3800	3800			
39	ELECTRICAL	3900	3900	3900	3900			
40	PLUMBING	4000	4000	4000	4000			
41	MECHANICAL	4100	4100	4100	4100			
42	ELECTRICAL	4200	4200	4200	4200			
43	PLUMBING	4300	4300	4300	4300			
44	MECHANICAL	4400	4400	4400	4400			
45	ELECTRICAL	4500	4500	4500	4500			
46	PLUMBING	4600	4600	4600	4600			
47	MECHANICAL	4700	4700	4700	4700			
48	ELECTRICAL	4800	4800	4800	4800			
49	PLUMBING	4900	4900	4900	4900			
50	MECHANICAL	5000	5000	5000	5000			



ENLARGED GROUND FLOOR PLAN  
 1/4" = 1'-0"

**K2 STUDIO**  
 318 W. 31st STREET  
 CHICAGO, IL 60616  
 P: 312.775.4800  
 E: STUDIO@K2STUDIO.COM

**MOODY TONGUE**  
 BREWING CO.  
 258 S. WABASH CHICAGO, IL

DATE: 01.25.2019  
 PERMIT SET

REVISIONS:

NO.	DATE	REMARKS
1	01.25.2019	PERMIT SET

**PHILLIP KUNITZ**  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 0437 STATE OF ILLINOIS

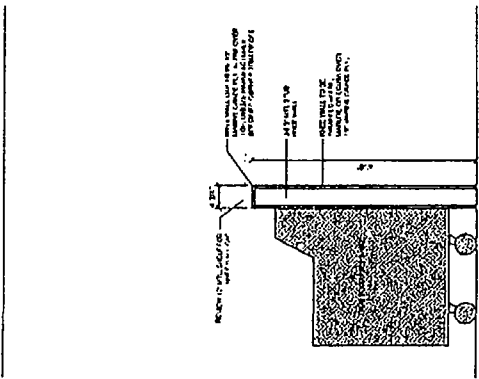
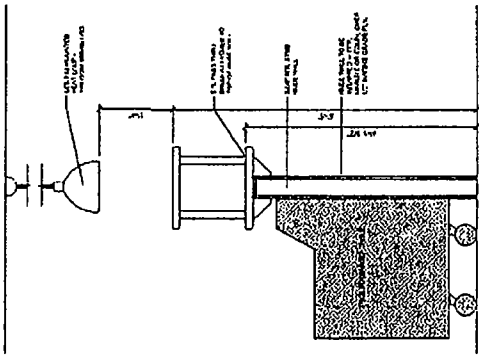
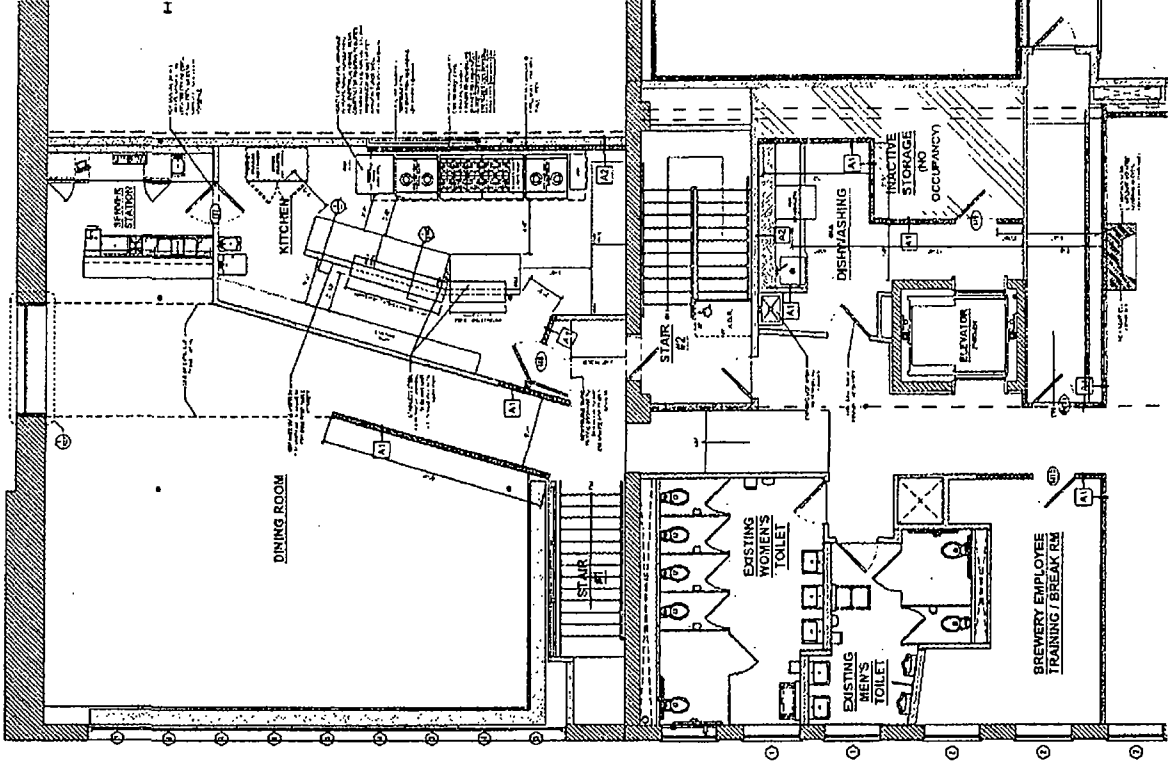
SHEET **A110**  
 NUMBER

CONSTRUCTION OF THIS PLAN IS SUBJECT TO THE APPROVAL OF THE CITY OF CHICAGO





# Final for Publication



NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE	DATE	REVISION	BY	CHECKED	APPROVED
1	CEILING	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
2	FLOOR	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
3	WALL	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
4	DOOR	EA.	10	100.00	1000.00	1/15/18	1	JM	SM	SM
5	WINDOW	EA.	10	100.00	1000.00	1/15/18	1	JM	SM	SM
6	STAIR	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
7	TOILET	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
8	KITCHEN	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
9	DISHWASHING	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
10	STORAGE	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
11	ELEVATOR	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM
12	TRAINING/BREAK ROOM	SQ. FT.	100	10.00	1000.00	1/15/18	1	JM	SM	SM

**K2 STUDIO**  
1225 W. LINN STREET  
CHICAGO, IL 60614  
PH: 312.275.4588  
E: STUDIO@K2ARCH.COM

**MOODY TONGUE**  
BREWING CO.  
2515 S. WABASH CHICAGO, IL

PERMIT SET  
01.25.2019

#	DATE	REMARKS

**A121**  
SHEET NUMBER

ENLARGED SECOND FL PLAN  
1/15/18

DESIGNED BY: K2 ARCHITECTURE INC. 1225 W. LINN STREET, CHICAGO, IL 60614

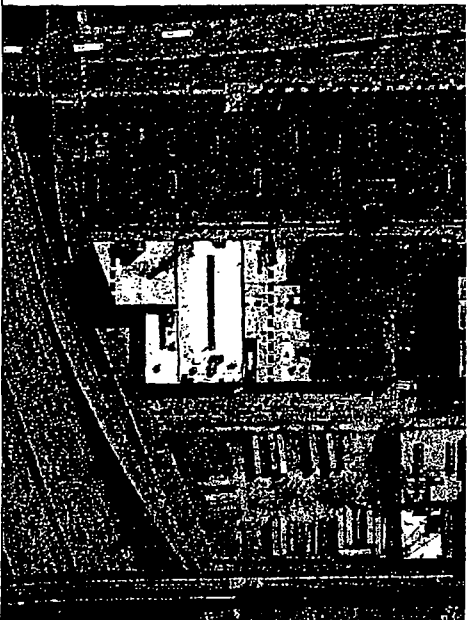
# MOODY TONGUE BREWERY 2515 S. WABASH

## CODE MATRIX

**GENERAL BUILDING REQUIREMENTS:** See Chicago Building Ordinance (CBO) and Chicago Building Code (CBC) for all.

Item	Code	Requirement	Notes
101	101.01	General Building Code	
102	102.01	Fire and Life Safety	
103	103.01	Structural	
104	104.01	Energy Conservation	
105	105.01	Accessibility	
106	106.01	Signage	
107	107.01	Historic Preservation	
108	108.01	Other	

Item	Code	Requirement	Notes
101	101.01	General Building Code	
102	102.01	Fire and Life Safety	
103	103.01	Structural	
104	104.01	Energy Conservation	
105	105.01	Accessibility	
106	106.01	Signage	
107	107.01	Historic Preservation	
108	108.01	Other	



### DRAWING INDEX

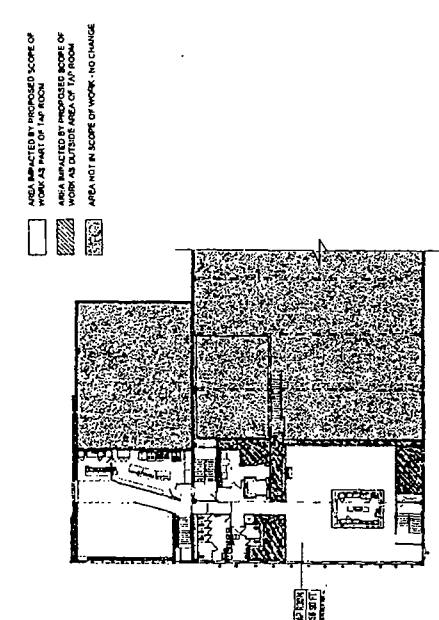
Sheet No.	Description
101	AREA MAP
102	GENERAL BUILDING REQUIREMENTS
103	SCOPE OF WORK - FLOOR PLAN DIAGRAMS
104	ABBREVIATIONS & SYMBOLS
105	ENERGY CERTIFICATION
106	CERTIFICATION

### SCOPE OF WORK

PROPOSED PROJECT IS THE RENOVATION OF AN EXISTING BREWERY TAP ROOM AND THE INSTALLATION OF A NEW COMMERCIAL KITCHEN TO SERVICE DINING ROOM EXISTING MECHANICAL WORK WILL REMAIN AS IS UNLESS NOTED OTHERWISE WITH THE ADDITION OF A NEW ROOFTOP UNIT INSTALLED AT EXISTING FLOOR LEVEL. ADDITIONAL TO EXISTING MECHANICAL WORK, NEW MECHANICAL WORK IS BEING CONTAINED TO AS NOT TO ALTER EXISTING GROUND FLOOR MECHANICAL/ELECTRICAL.

Building Details	Area (SQ FT)
TOTAL BUILDING	24,000 SQ FT
TOTAL SCOPE OF WORK	4,000 SQ FT
TAP ROOM SECOND FLOOR	2,500 SQ FT
TOTAL SCOPE OF WORK	5,500 SQ FT

### SCOPE OF WORK - FLOOR PLAN DIAGRAMS



**K2 STUDIO**  
301 N. STATE ST.  
CHICAGO, IL 60610  
E: STUDIO@K2ARCH.COM

**MOODY TONGUE BREWERY CO.**  
2515 S. WABASH CHICAGO, IL

### ABBREVIATIONS & SYMBOLS

Symbol	Description
(Symbol)	EXISTING WALL
(Symbol)	NEW WALL
(Symbol)	EXISTING DOOR
(Symbol)	NEW DOOR
(Symbol)	EXISTING WINDOW
(Symbol)	NEW WINDOW
(Symbol)	EXISTING FLOOR
(Symbol)	NEW FLOOR
(Symbol)	EXISTING CEILING
(Symbol)	NEW CEILING
(Symbol)	EXISTING ROOF
(Symbol)	NEW ROOF
(Symbol)	EXISTING MECHANICAL
(Symbol)	NEW MECHANICAL
(Symbol)	EXISTING ELECTRICAL
(Symbol)	NEW ELECTRICAL
(Symbol)	EXISTING PLUMBING
(Symbol)	NEW PLUMBING
(Symbol)	EXISTING PAINT
(Symbol)	NEW PAINT
(Symbol)	EXISTING FINISH
(Symbol)	NEW FINISH
(Symbol)	EXISTING STRUCTURE
(Symbol)	NEW STRUCTURE
(Symbol)	EXISTING UTILITIES
(Symbol)	NEW UTILITIES
(Symbol)	EXISTING LANDSCAPE
(Symbol)	NEW LANDSCAPE
(Symbol)	EXISTING SITEWORK
(Symbol)	NEW SITEWORK
(Symbol)	EXISTING CONCRETE
(Symbol)	NEW CONCRETE
(Symbol)	EXISTING MASONRY
(Symbol)	NEW MASONRY
(Symbol)	EXISTING METAL
(Symbol)	NEW METAL
(Symbol)	EXISTING GLASS
(Symbol)	NEW GLASS
(Symbol)	EXISTING WOOD
(Symbol)	NEW WOOD
(Symbol)	EXISTING OTHER
(Symbol)	NEW OTHER

### PERMIT SET

#	DATE	REMARKS
1	01.25.2019	PERMIT SET

PHILLIP KURATZ  
ENGINEER OF RECORD  
NOVEMBER 2018  
STATE OF ILLINOIS  
A000  
SHEET NUMBER

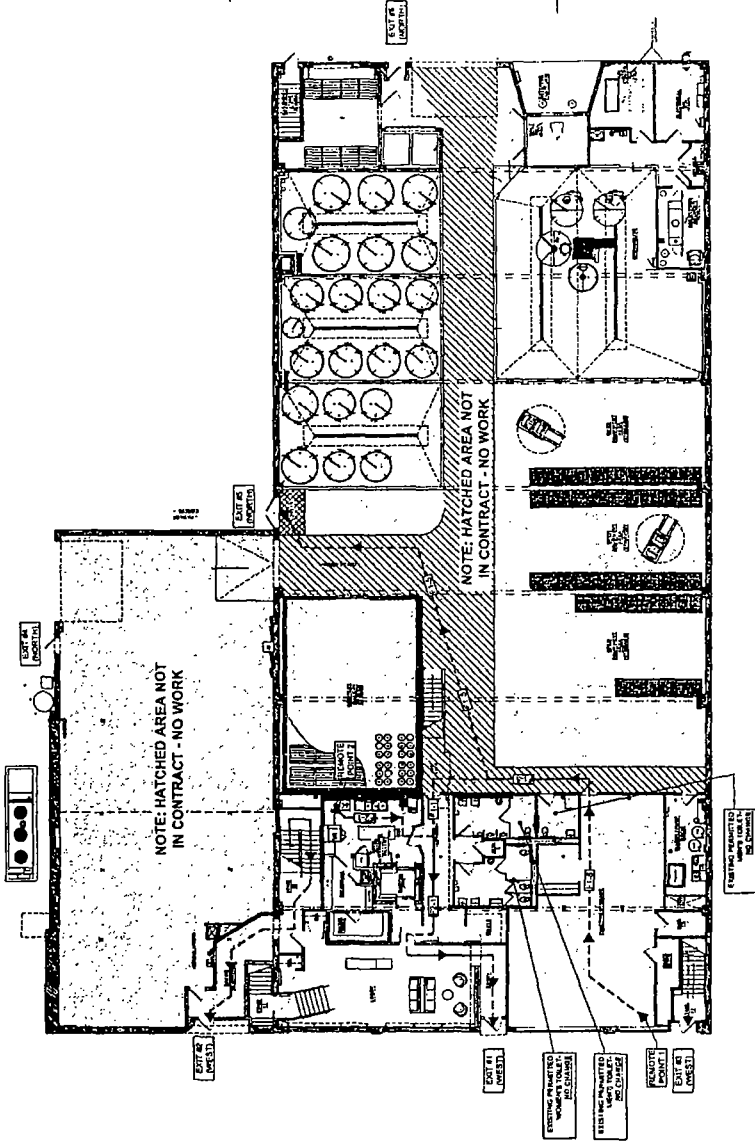
### ENERGY CERTIFICATION

OWNER SHALL REQUIRE ENERGY PROFESSIONAL (EP) AND CERTIFY THAT TO THE BEST OF HIS PROFESSIONAL KNOWLEDGE AND BELIEF THE ENERGY CONSERVATION OF THE SUBJECT PROPERTY COMPLIES WITH THE ENERGY CONSERVATION CODE AS PRESCRIBED BY THE ILLINOIS STATUTES.

DATE OF REPORT: \_\_\_\_\_  
PHILLIP A. KURATZ  
LICENSE NUMBER: 14-023

### CERTIFICATION

PHILLIP A. KURATZ  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
DATE: 01-25-2019



**GROUND LEVEL OCCUPANCY PLAN**

**OCCUPANCY MATRIX - MOODY TONGUE BREWERY**

1. OCCUPANCY MATRIX SHALL BE SUBMITTED TO THE CHICAGO DEPARTMENT OF BUILDING CONTROL (DCBC) FOR REVIEW AND APPROVAL. THE CHICAGO DEPARTMENT OF BUILDING CONTROL (DCBC) SHALL REVIEW THE OCCUPANCY MATRIX FOR COMPLIANCE WITH THE CHICAGO BUILDING CODE (CBC) AND THE CHICAGO FIRE CODE (CFC).

ROOM	AREA	USE	TYPE	AREA (SQ. FT.)	TYPE	TYPE	TYPE	TYPE	TYPE
BAR	BAR	BAR	BAR	1,200	BAR	BAR	BAR	BAR	BAR
BREWERY	BREWERY	BREWERY	BREWERY	1,500	BREWERY	BREWERY	BREWERY	BREWERY	BREWERY
RESTROOM	RESTROOM	RESTROOM	RESTROOM	100	RESTROOM	RESTROOM	RESTROOM	RESTROOM	RESTROOM
STORAGE	STORAGE	STORAGE	STORAGE	500	STORAGE	STORAGE	STORAGE	STORAGE	STORAGE
OFFICE	OFFICE	OFFICE	OFFICE	200	OFFICE	OFFICE	OFFICE	OFFICE	OFFICE
REAR PORCH	REAR PORCH	REAR PORCH	REAR PORCH	100	REAR PORCH	REAR PORCH	REAR PORCH	REAR PORCH	REAR PORCH
REAR TERRACE	REAR TERRACE	REAR TERRACE	REAR TERRACE	100	REAR TERRACE	REAR TERRACE	REAR TERRACE	REAR TERRACE	REAR TERRACE
REAR YARD	REAR YARD	REAR YARD	REAR YARD	100	REAR YARD	REAR YARD	REAR YARD	REAR YARD	REAR YARD

**MEASUREMENT OF TRAVEL DISTANCE - 1013-140-130**

1. MEASUREMENT OF TRAVEL DISTANCE SHALL BE TAKEN FROM THE CENTER OF THE EXIT TO THE CENTER OF THE REMOTE POINT. THE CENTER OF THE EXIT SHALL BE THE CENTER OF THE DOOR OR WINDOW THROUGH WHICH THE EXIT IS MADE. THE CENTER OF THE REMOTE POINT SHALL BE THE CENTER OF THE REMOTE POINT. THE CENTER OF THE REMOTE POINT SHALL BE THE CENTER OF THE REMOTE POINT.

**MAXIMUM DISTANCE FROM END OF CORRIDOR - 1013-140-140**

1. THE MAXIMUM DISTANCE FROM THE END OF A CORRIDOR TO THE CENTER OF THE EXIT SHALL NOT EXCEED 100 FEET. THE MAXIMUM DISTANCE FROM THE END OF A CORRIDOR TO THE CENTER OF THE EXIT SHALL NOT EXCEED 100 FEET.

**TRAVEL DISTANCE**

EXIT	AREA	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE
EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1
EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2
EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3
EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4
EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5

**DESIGNATED TRAVEL DISTANCE**

EXIT	AREA	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE
EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1
EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2
EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3
EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4
EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5

NOTE: TRAVEL DISTANCES FROM ALL REMOTE POINTS IN THE BREWERY SPACE ARE SATISFIED FOR DISTANCE TO FOUR OF TOTAL EXITS LOCATED. ADDITIONAL EXITS ARE LOCATED IN THE REAR PORCH, REAR TERRACE, REAR YARD, AND REAR PORCH. SEE PLAN FOR ADDITIONAL EXITS PROVIDED RETURN CODE REQUIREMENTS.

**EXCESS WIDTH CALCULATIONS - HORIZONTAL - 1ST FLOOR**

EXIT	AREA	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE
EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1
EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2
EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3
EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4
EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5

**EXCESS WIDTH CALCULATIONS - VERTICAL - 2ND FLOOR**

EXIT	AREA	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE	TYPE
EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1	EXIT 1
EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2	EXIT 2
EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3	EXIT 3
EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4	EXIT 4
EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5	EXIT 5

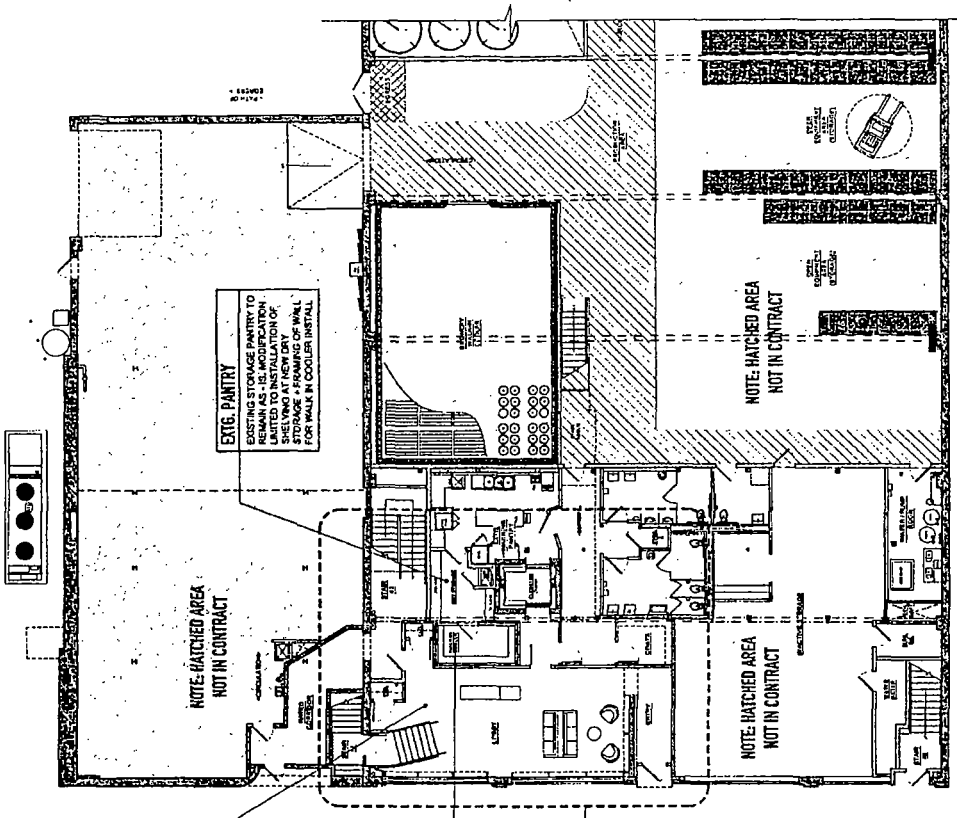
**CAPACITY OF EXITS - 1013-140-210**

1. THE CAPACITY OF EACH EXIT SHALL BE DETERMINED BY THE CHICAGO DEPARTMENT OF BUILDING CONTROL (DCBC) AND THE CHICAGO FIRE CODE (CFC). THE CAPACITY OF EACH EXIT SHALL BE DETERMINED BY THE CHICAGO DEPARTMENT OF BUILDING CONTROL (DCBC) AND THE CHICAGO FIRE CODE (CFC).

**MINIMUM WIDTH OF EXIT - 1013-140-220**

1. THE MINIMUM WIDTH OF EACH EXIT SHALL BE DETERMINED BY THE CHICAGO DEPARTMENT OF BUILDING CONTROL (DCBC) AND THE CHICAGO FIRE CODE (CFC). THE MINIMUM WIDTH OF EACH EXIT SHALL BE DETERMINED BY THE CHICAGO DEPARTMENT OF BUILDING CONTROL (DCBC) AND THE CHICAGO FIRE CODE (CFC).





**RECONFIGURED ENTRY / LOBBY**  
 EXISTING ENTRY LOBBY TO BE RECONFIGURED. SEE PERMITTING REQUIREMENTS FOR TRAVEL DISTANCES, OCCUPANCY, AND SIGNAGE. DUCTWORK/REGISTERS TO REMAIN AS-IS.

**RELOCATED WALK-IN COOLER**  
 OWNER PROVIDED WALK-IN COOLER TO BE INSTALLED. SEE PLUMBING PLAN ON SHEET P100 AND COOLER DETAILS ON SHEET A110.

SEE ENLARGED PLAN OF AREA ON SHEET A110

**EXIST. PANTRY**  
 EXISTING STORAGE PANTRY TO REMAIN AS-IS. MODIFICATION: ADD SHELVING AT NEW DAY STORAGE + FRAMING OF WALL FOR WALK-IN COOLER INSTALL.


NOTE: HATCHED AREA NOT IN CONTRACT

NOTE: HATCHED AREA NOT IN CONTRACT

NOTE: HATCHED AREA NOT IN CONTRACT

REMOVE EXISTING WALLS

NEW OVERALL GROUND FL PLAN  
 WALL 0'-11 1/2"



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**MOODY TONGUE BREWING CO.**  
 2515 S. WALASH CHICAGO, IL

PERMIT SET  
 01.25.2019

#	DATE	REMARKS
1	01/25/2019	ISSUED FOR PERMIT

PHILIP KUPRITZ  
 ARCHITECT OF RECORD  
 LICENSE NO. 04-0048  
 EXP. NOVEMBER 2019


STATE OF ILLINOIS  
 ARCHITECTS BOARD

SHEET NUMBER  
**A100**

nal for Publication

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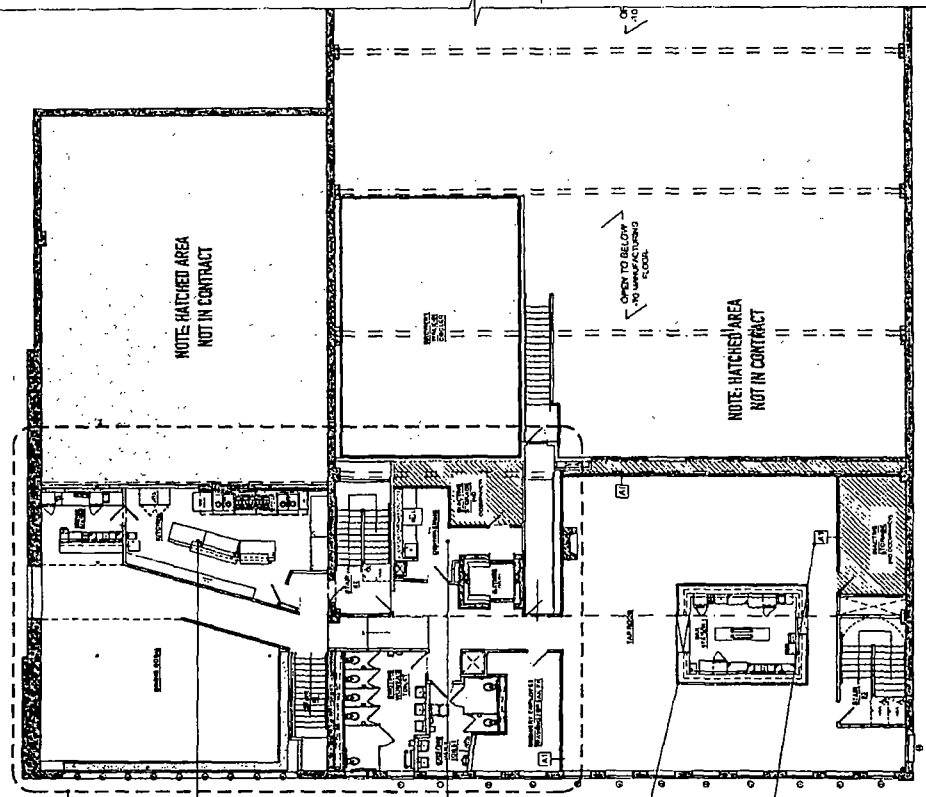
PERMIT SET  
 01 25 2019

#	DATE	REMARKS
1	11-25-2018	PERMITS



PHILIP KUPRITZ  
 ARCHITECT, INC.  
 129 N. LAUREL ST. CHICAGO, IL 60610  
 312.467.1111  
 11/25/2018

**A120**  
 SHEET NUMBER



**NEW OVERALL SECOND FL PLAN**  
 1/2" = 1'-0"

SEE ENLARGED PLAN OF AREA ON SHEET A121

**NEW KITCHEN**  
 NEW KITCHEN w/ NEW EXHAUST HOOD  
 MINOR RECONFIGURATION OF ENTRY  
 DOOR • ADDITION OF NEW DOOR TO  
 ENTRY SERVER STATION

**NEW DISHWASHING AREA**  
 NEW DISHWASHING AREA w/ NEW  
 VENTILESS DISHWASHER • STORAGE  
 SHELVEYS

**EXISTING MAIN BAR**  
 EXIST. BAR TO BE REUSED - EXIST.  
 PLUMBING / ELEC. CONNECTIONS TO  
 REMAIN. INSTALL NEW ICE BIN w/  
 BURNER SEATING

SEE SHEET A101 FOR  
 NEW WALL TYPES

NOTE: HATCHED AREA  
 NOT IN CONTRACT

NOTE: HATCHED AREA  
 NOT IN CONTRACT

CHECK TO BEFORE  
 NO MANUFACTURING  
 FLOOR



