



City of Chicago



SO2023-993

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	2/1/2023
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 9-K at 3254 N Kilbourn Ave - App No. 22099T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map 9-K in the area bounded by:

North Kilbourn Avenue; a line 133.00 feet south of and parallel to West School Street; a line 227.20 feet west of and parallel to North Kilbourn Avenue; and West School Street.

to those of RM-5 Residential Multi-Unit District.

SECTION 2. This Ordinance shall be in force and effect from and after its passage and due publication

Common Address of Property: 3254 North Kilbourn Street, Chicago, Illinois

SUBSTITUTE NARRATIVE AND PLANS
TYPE 1 ZONING MAP AMENDMENT APPLICATION

Applicant: Intrinsic Schools
Property Location: 3254 North Kilbourn
Proposed Zoning: RM-5 Residential Multi-Unit District
Lot Area: 30,216 square feet

Intrinsic Schools is the “Applicant” for a Type 1 Zoning Map Amendment for the subject property located at 3254 North Kilbourn from the M1-1 Limited Manufacturing/Business Park District to the RM-5 Residential Multi-Unit District. The Applicant proposes to redevelop the property for school uses, including by constructing classrooms, a testing center, and staff office space. The redevelopment would accommodate the existing staff and students at Applicant’s 4540 West Belmont campus, who have outgrown their current space.

The site is located on the southwest corner of West School and North Kilbourn. To the north and east of the subject property are properties zoned RS-3. PD 858 (a Residential Planned Development, formerly R-4) is south and west of the subject property.

The subject property consists of approximately 30,216 square feet and is currently occupied by a lighting manufacturing company. The Applicant proposes to redevelop the existing building for school uses. 18 parking spaces would be provided to service 24 staff members and 150 students.

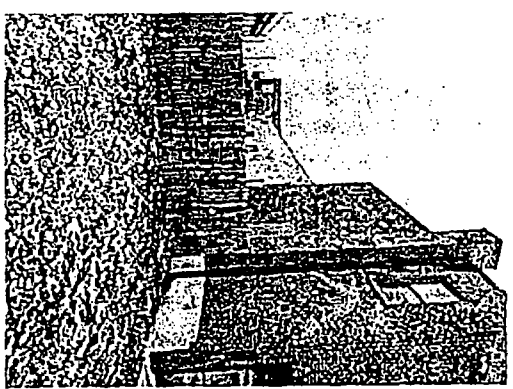
NARRATIVE ZONING ANALYSIS

- (a) Floor Area and Floor Area Ratio:
 - i. Lot area: 30,216 square feet
 - iii. Total proposed building area: 23,233 square feet
 - iv. Proposed FAR: 0.769
- (b) Density (Lot Area Per Dwelling Unit): No dwelling units proposed
- (c) Amount of off-street parking: 18 parking spaces (Note: May be reduced as a transit-served location, as needed to facilitate future CDOT streetscape project)
- (d) Setbacks:
 - i. Front setback: 20.00 feet
 - ii. Side setbacks: 12.00 feet* and 10.00 feet
 - iii. Rear setback: 0 feet*
- (e) Building height: 24.60 feet
- (f) Off-street Loading: 0

* Existing non-conforming elements would not be impacted by the proposed redevelopment.

The applicant will comply with Section 17-2-0301-C Exceptions of the Chicago Air Quality Ordinance should such provisions be determined as applicable.

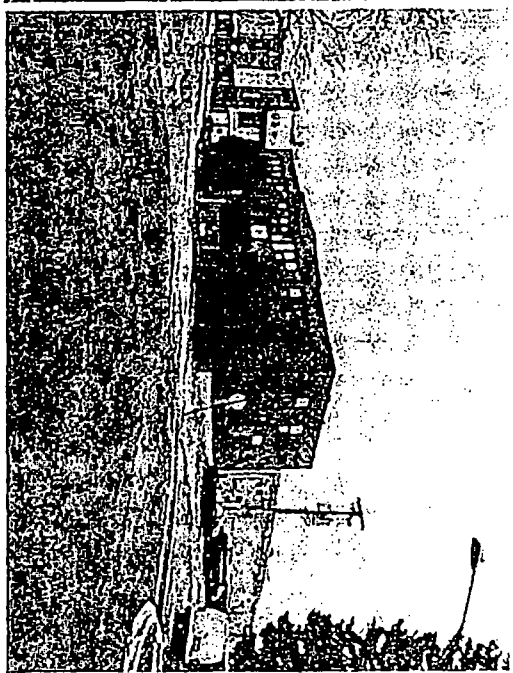
INTRINSIC SCHOOLS AT 3254 N. KILBOURN



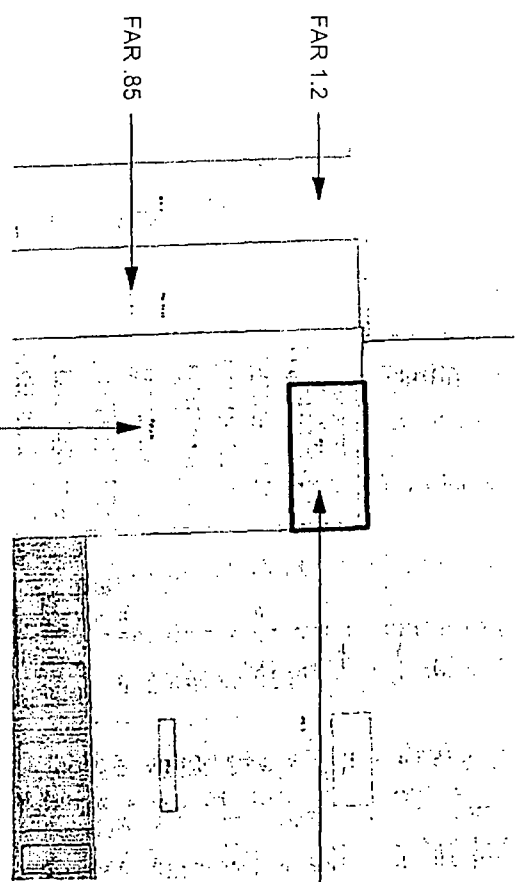
SOUTH VIEW



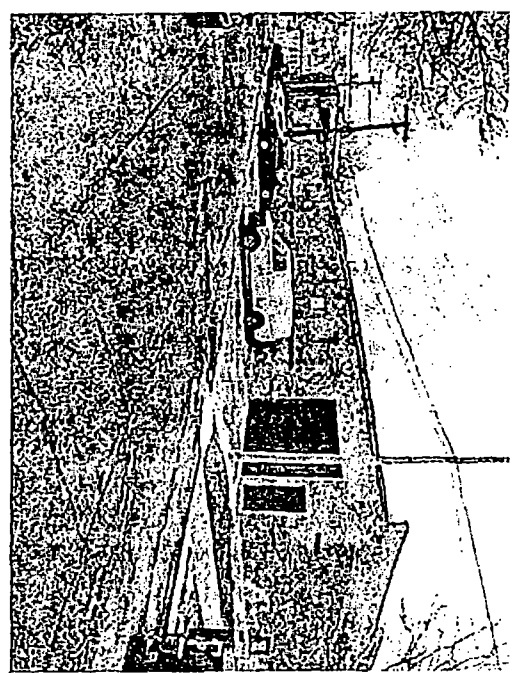
EAST VIEW (KILBOURN)



NE VIEW (INTERSECTION OF KILBOURN AND SCHOOL)



SUBJECT PROPERTY



NW VIEW (ALONG SCHOOL)

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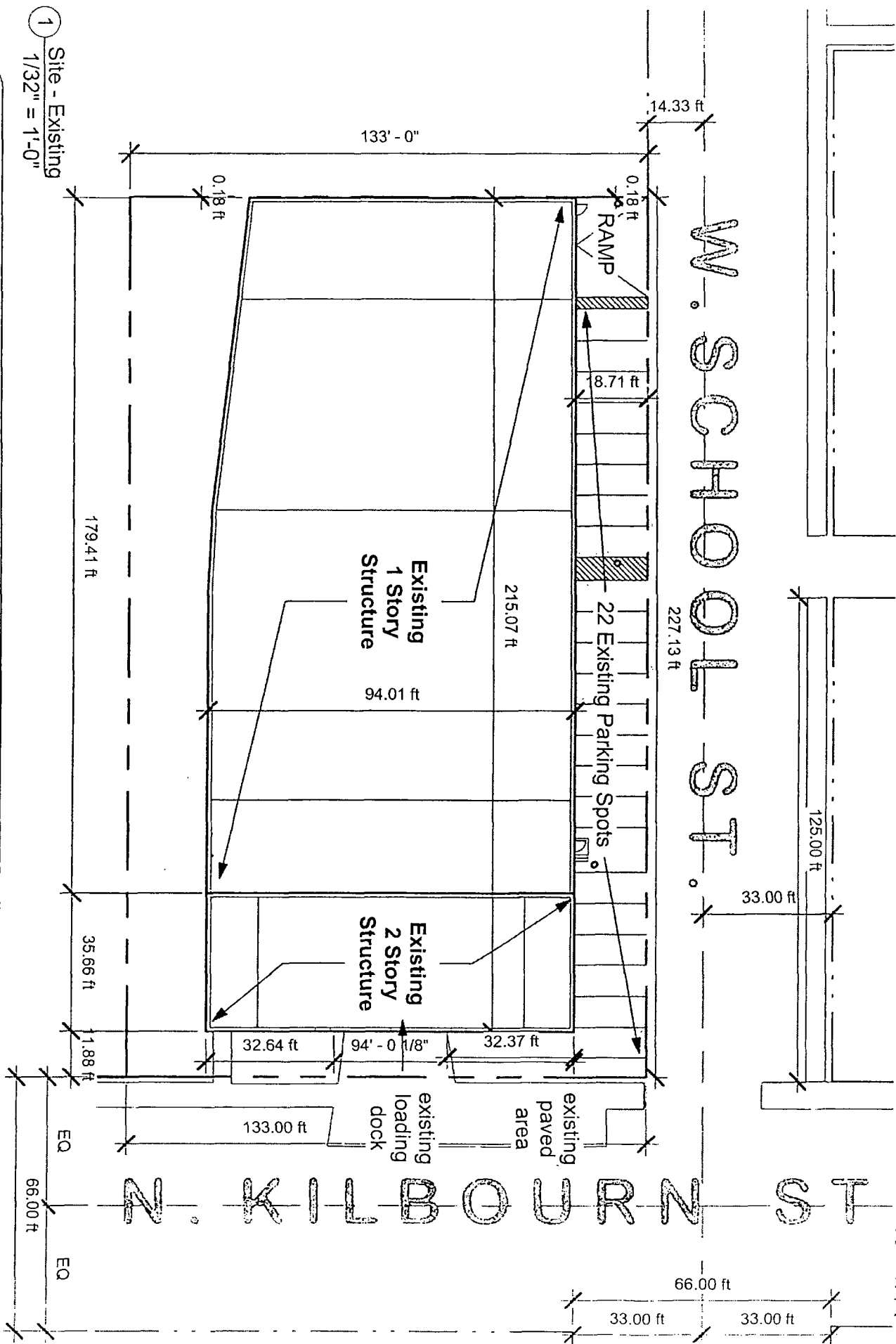
Intrinsic Schools at 3254 N. Kilbourn

Title Page

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Final for Publication

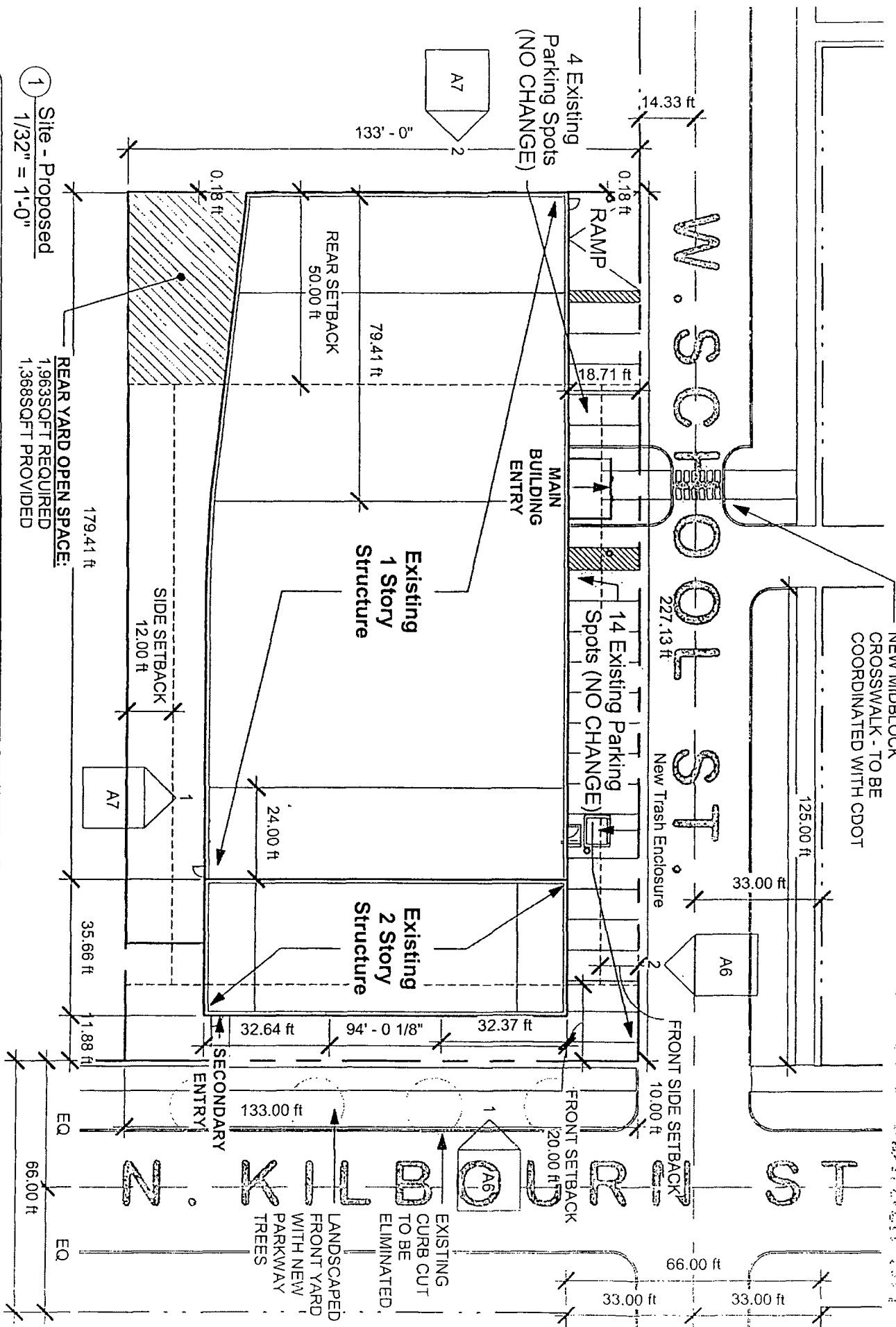


1 Site - Existing
 1/32" = 1'-0"

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Intrinsic Schools at 3254 N. Kilbourn
 Site Plan - Existing

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1 Site - Proposed
1/32" = 1'-0"

REAR YARD OPEN SPACE:
1,963SQFT REQUIRED
1,368SQFT PROVIDED

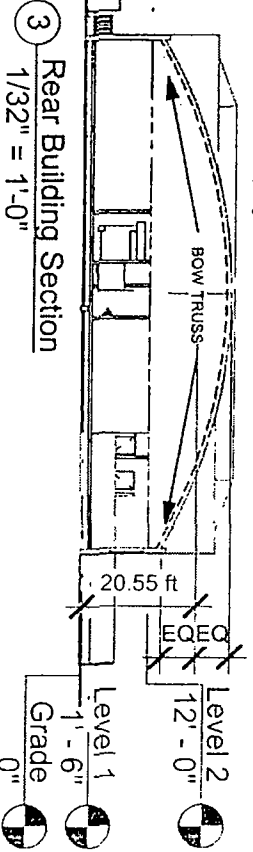
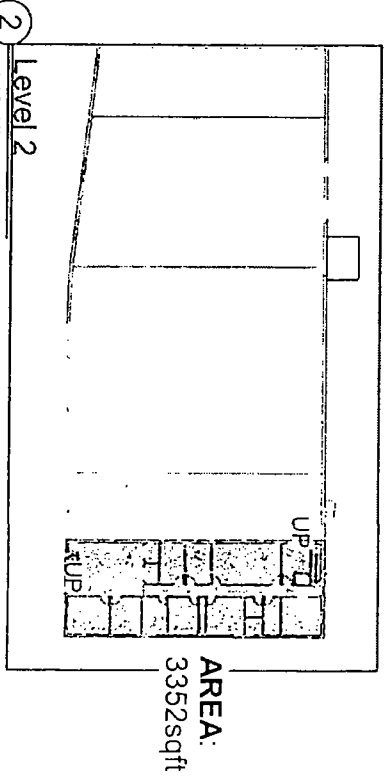
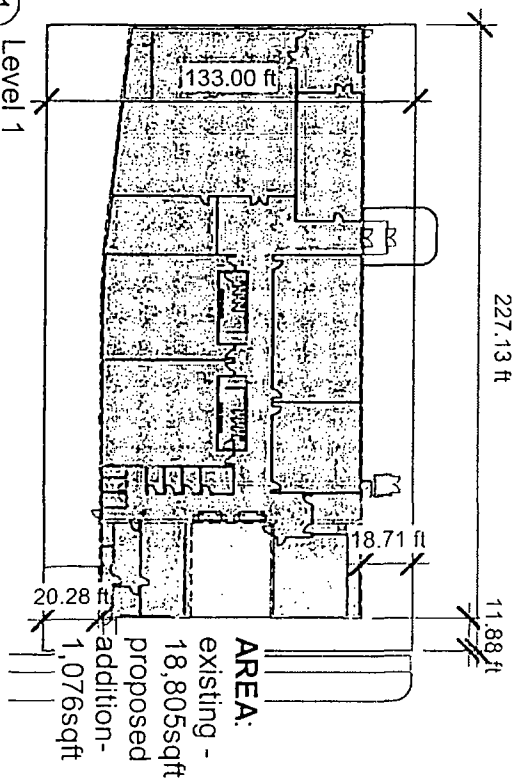
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Intrinsic Schools at 3254 N. Kilbourn
Site Plan - Proposed

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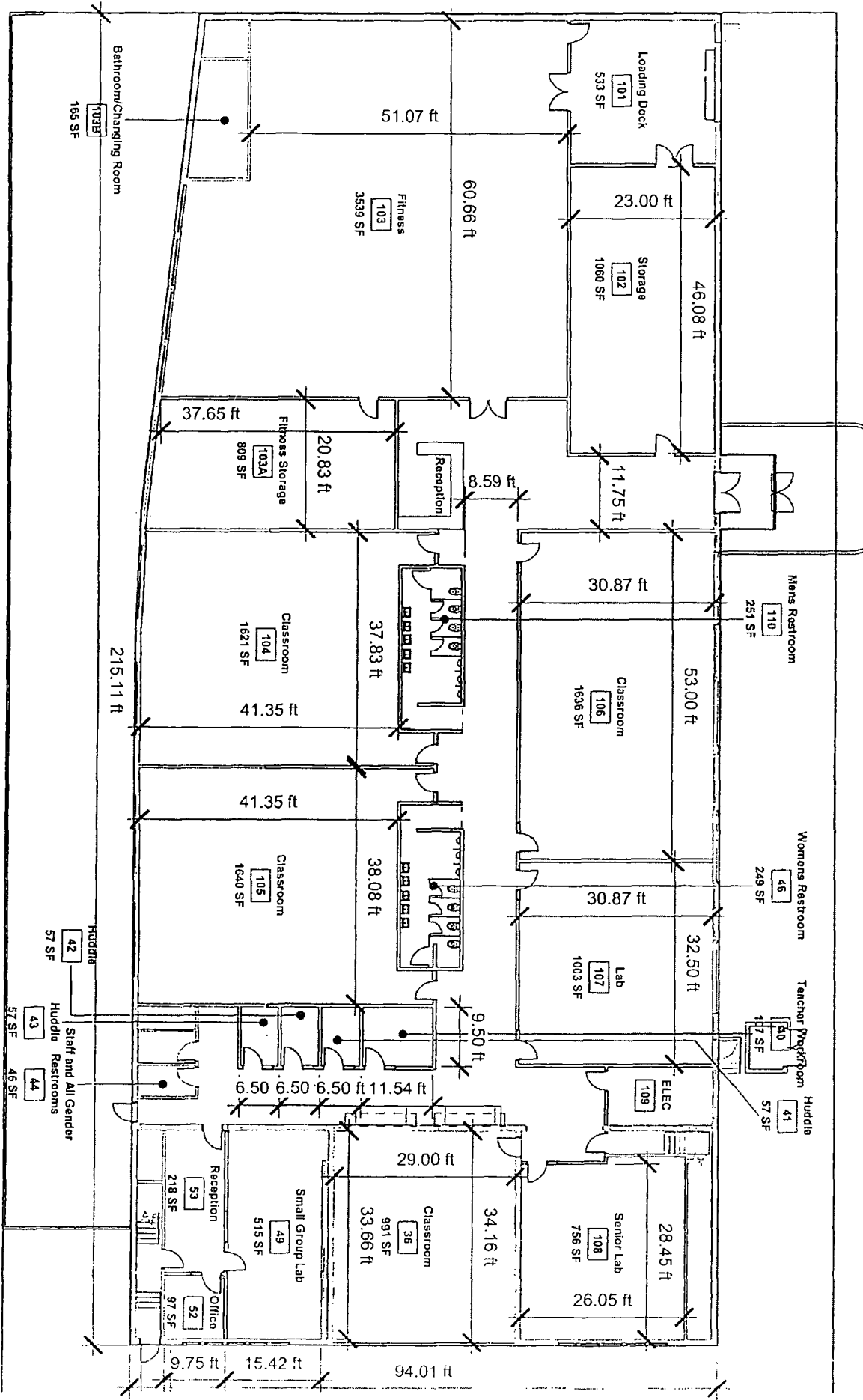
SITE AREA: 30,216sqft
 CURRENT AREA: 22,157sqft

	M1-1 CURRENT	RS-3 PROPOSED
MAX FAR	.733 22,157	.9 27,194.4 MAX 23,233 PROPOSED
FRONT YARD	11.82FT KILBOURN ST	AVERAGE OF NEAREST LOTS - EXISTING FRONT SETBACK NON- CONFORMING. NO CHANGE PROPOSED
REVERSED CORNER LOT FRONT SIDE	18.49FT SCHOOL ST	50% OF FRONT YARD SETBACK OF FRONT YARD SETBACK ON PROPERTY BEHIND(PD) - ASSUME DISTRICT STANDARD 7.5FT
REAR SETBACK	.13FT	MINIMUM SETBACK FOR PRINCIPAL BUILDINGS OTHER THAN HOUSES IS THE LESSOR 30% OF LOT DEPTH OR 50FT.
SIDE SETBACK	20.82FT	12FT
OPEN SPACE	20.82FT WIDE 1,368SQFT POSSIBLE	15FT DIAMETER 1,963SQFT REQUIRED
HEIGHT	FRONT: 24.60FT BACK: 20.55FT	PRINCIPAL NON-RESIDENTIAL BUILDINGS - NONE



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Intrinsic Schools at 3254 N. Kilbourn
 FAR and Site Analysis

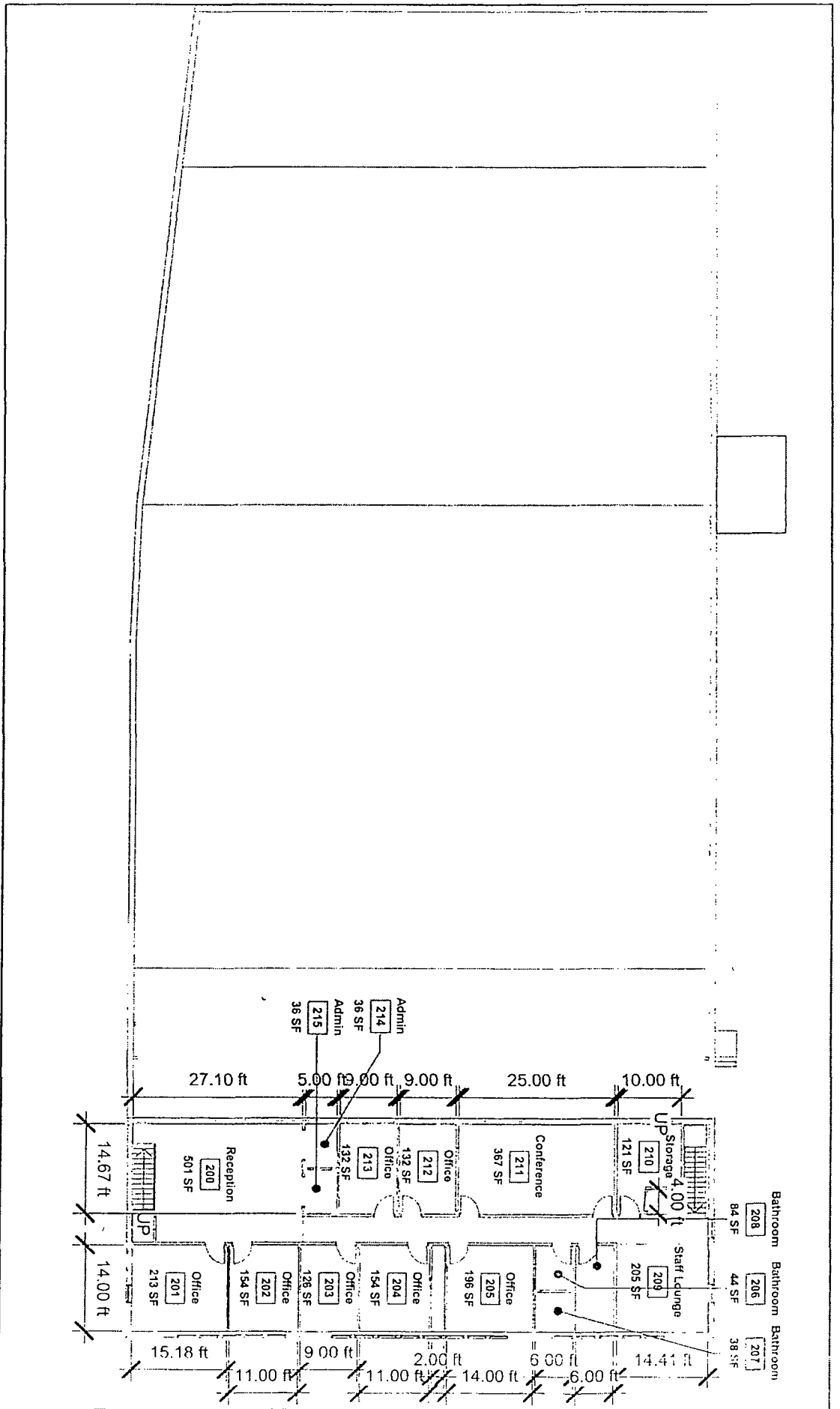


1 Level 1
3/64" = 1'-0"

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Intrinsic Schools at 3254 N. Kilbourn
First Floor Plan

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Intrinsic Schools at 3254 N. Kilbourn
2nd Floor Plan

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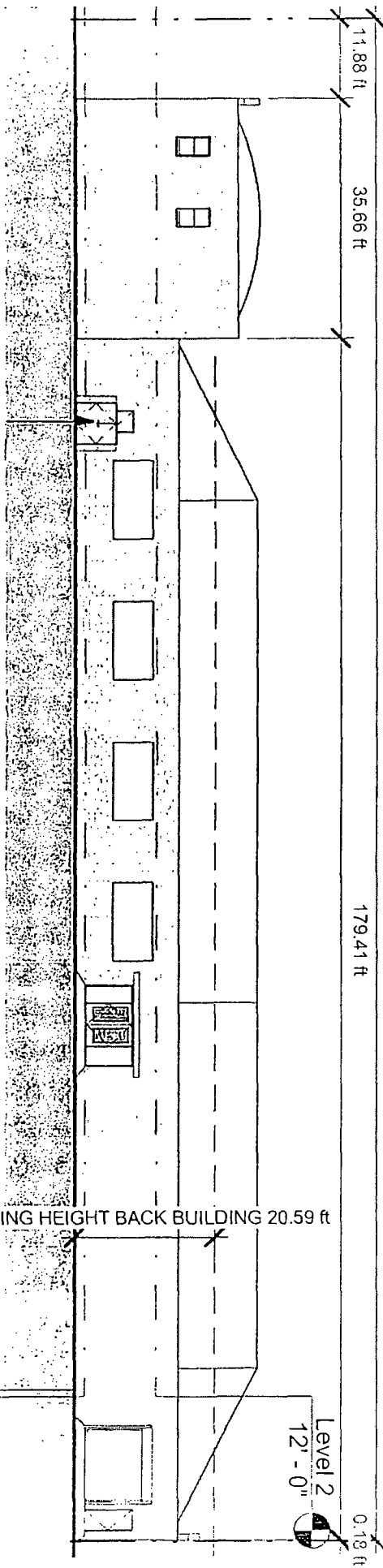
227.13 ft

11.88 ft

35.66 ft

179.41 ft

0.18 ft



② North Elevation
 $3/64" = 1'-0"$

TRASH ENCLOSURE

ZONING HEIGHT BACK BUILDING 20.59 ft

Level 2
 12' - 0"

Level 1
 1' - 6"

Grade
 0"

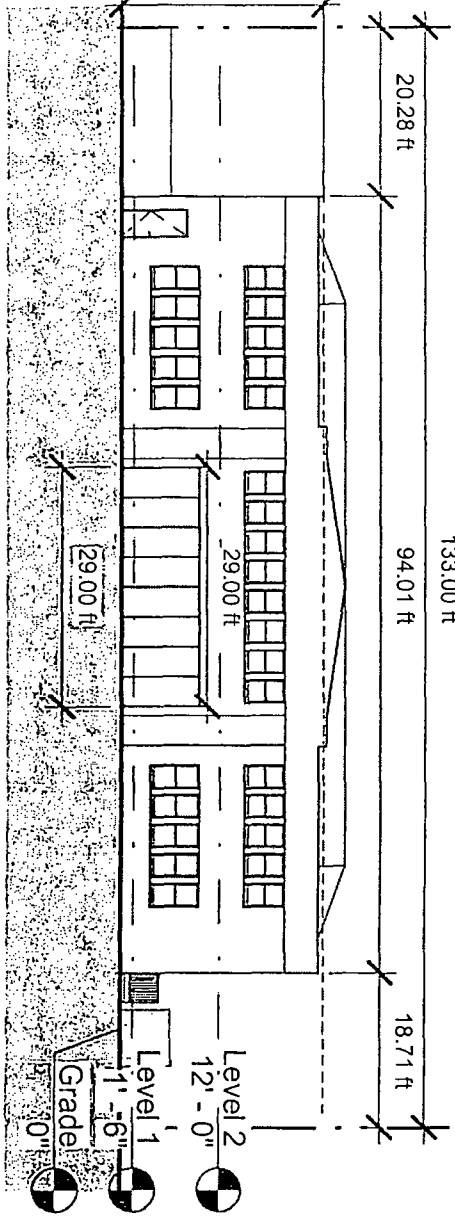
ZONING HEIGHT 24.60 ft

20.28 ft

94.01 ft

18.71 ft

133.00 ft



① East Elevation
 $3/64" = 1'-0"$

Level 2
 12' - 0"

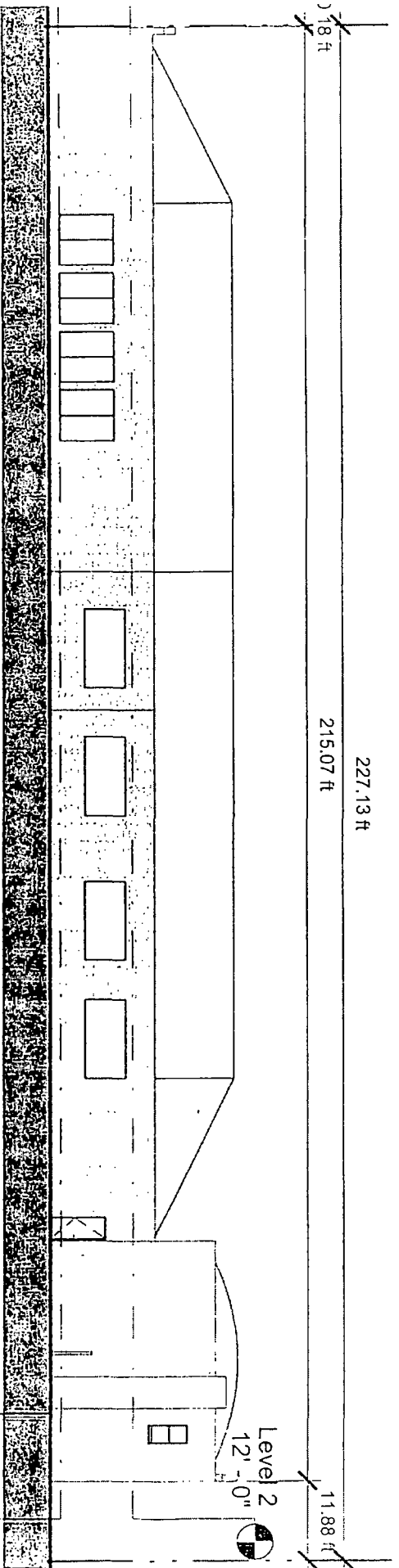
Level 1
 1' - 6"

Grade
 0"

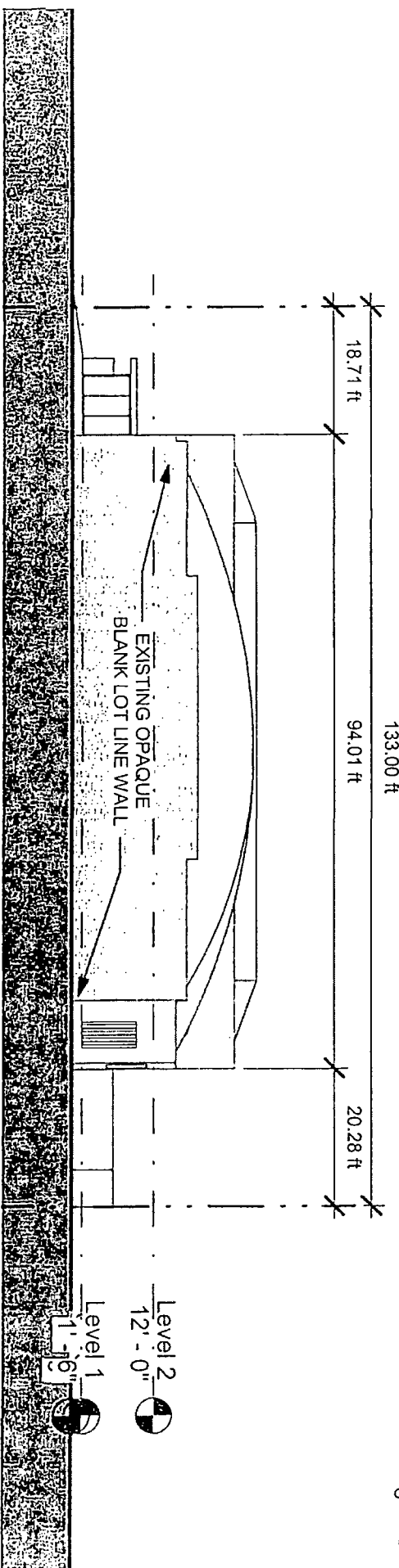
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Intrinsic Schools at 3254 N. Kilbourn
Elevations

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1 South Elevation
3/64" = 1'-0"



2 West Elevation
3/64" = 1'-0"

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Intrinsic Schools at 3254 N. Kilbourn
Elevations

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