



City of Chicago



SO2013-29

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	1/17/2013
Sponsor(s):	City Clerk (transmitted by) (Clerk)
Type:	Ordinance
Title:	Zoning Reclassification App No. 17649 at 2101-2103 N Clalifornia Ave and 84 N Henry Ct
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

17649
SVB.

TYPE I
SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No. 1-G in the area bounded by:

a line 93.80 feet north of North Point Street, as measured along the northwest line of North Henry Court; North Henry Court; North Point Street; and North California Avenue

to those of a C1-3 Neighborhood Commercial District which is hereby established in the area described above.

SECTION 2. This Ordinance shall be in force and effect from and after its passage and due publication.

TYPE I REGULATIONS *as amended*

2101 – 03 N. CALIFORNIA AVE/2778 – 84 N. HENRY CT

The subject property contains approximately 3,200 sq. ft. of land which is improved with two buildings. The southern building is one story and constructed of concrete block. The northern building is two stories and partially constructed of concrete block and partially of frame construction. Both buildings combined have a total of approximately 3,500 sq. ft. and are currently vacant. The Applicant proposes to remodel the two buildings for their use as a Tavern. The property currently has no parking or loading and none is proposed. The bulk regulations for the property are as follows:

FAR: 1.20

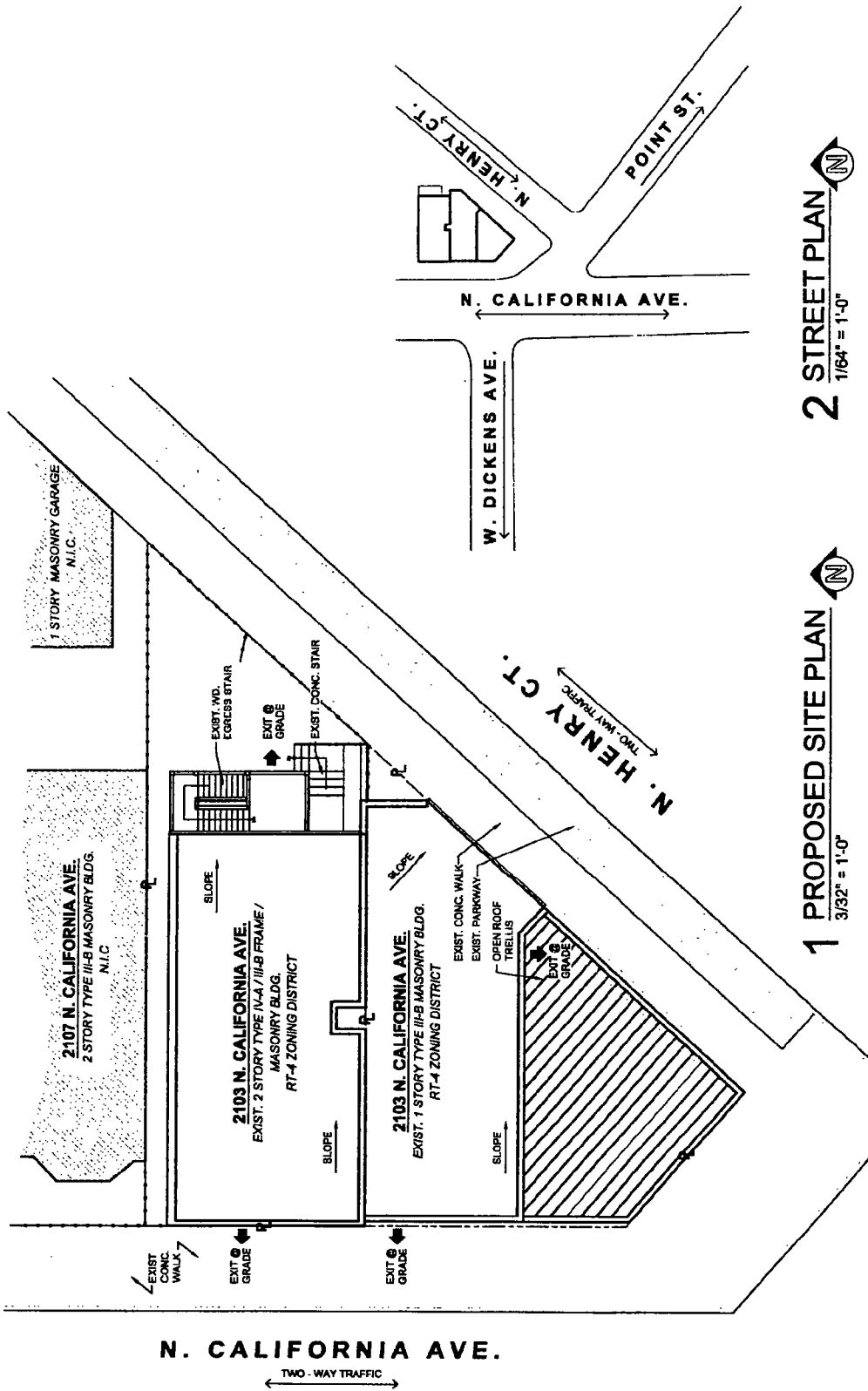
Dwelling Units: None

Setbacks: North: 2.5 ft.
East: None
South: None
West: None

Height: 30 ft.

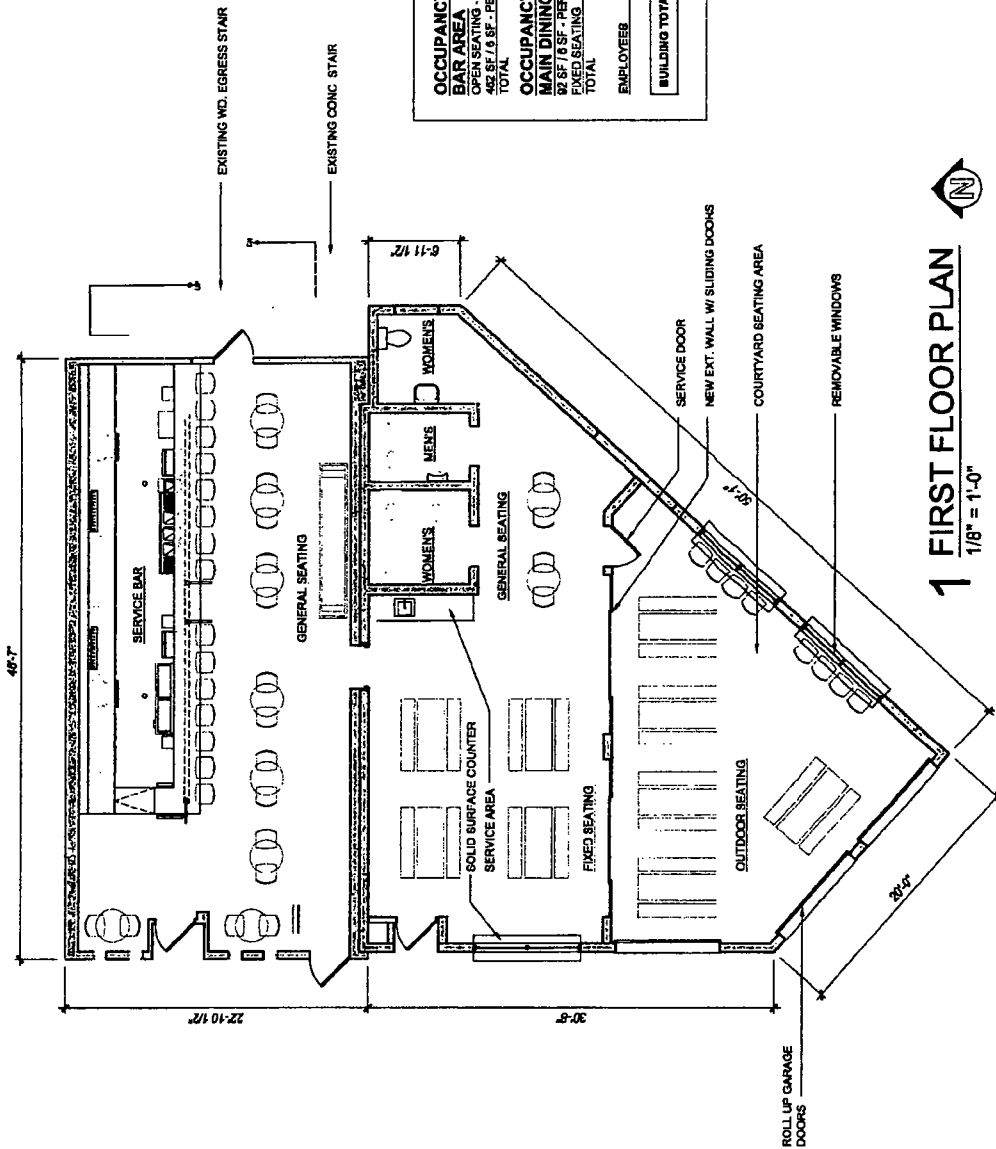
Parking: None

Loading: None



CALIFORNIA POINT RESTAURANT
2103 N CALIFORNIA AVE. CHICAGO, ILLINOIS 60647

VERSION
SPACE
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SK1.0



OCCUPANCY CALCULATIONS -

BAR AREA
 OPEN SEATING = 77 PERSONS
 462 SF / 6 SF - PERSON = 77 PERSONS
 TOTAL = 77 PERSONS

OCCUPANCY CALCULATIONS -

MAIN DINING AREA
 = 15 PERSONS
 92 SF / 6 SF - PERSON = 15 PERSONS
 FIXED SEATING = 24 PERSONS
 = 39 PERSONS
 TOTAL = 39 PERSONS

EMPLOYEE = 4 PERSONS

BUILDING TOTAL = 120 PERSONS

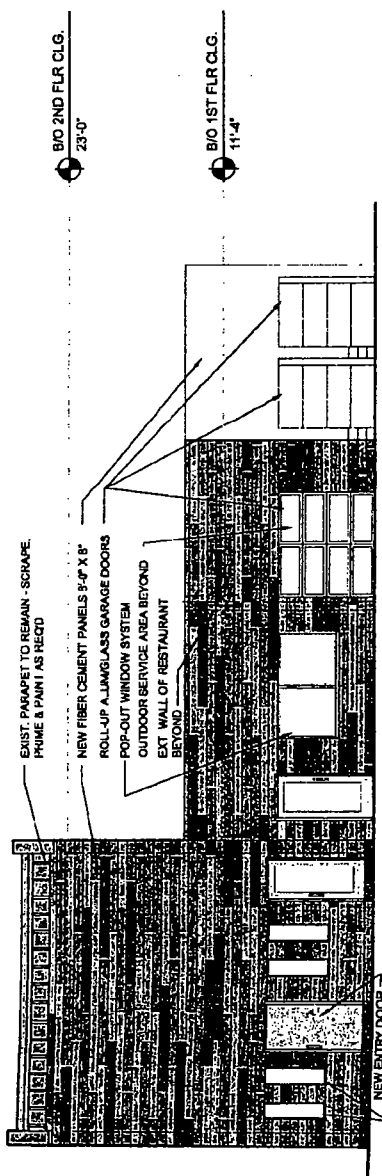


1 FIRST FLOOR PLAN
 1/8" = 1'-0"

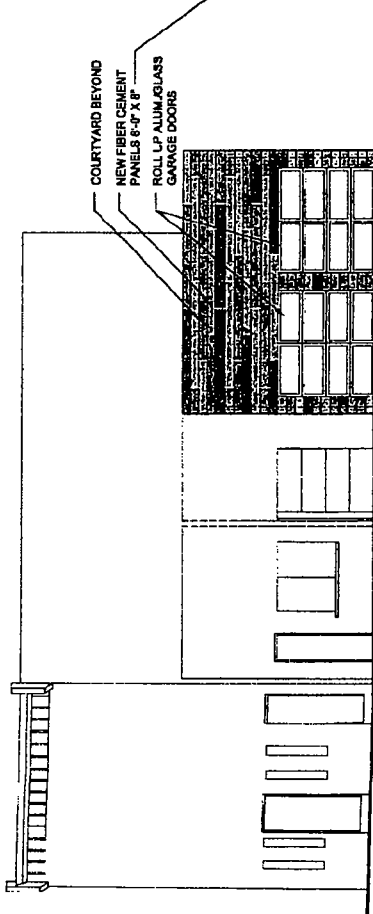
CALIFORNIA POINT RESTAURANT
 2101 N CALIFORNIA AVE. CHICAGO, ILLINOIS 60647

ARCHITECTS - PLANNERS
 201 N. LAUREL STREET, CHICAGO, ILLINOIS 60610
 TEL: 312.467.1100

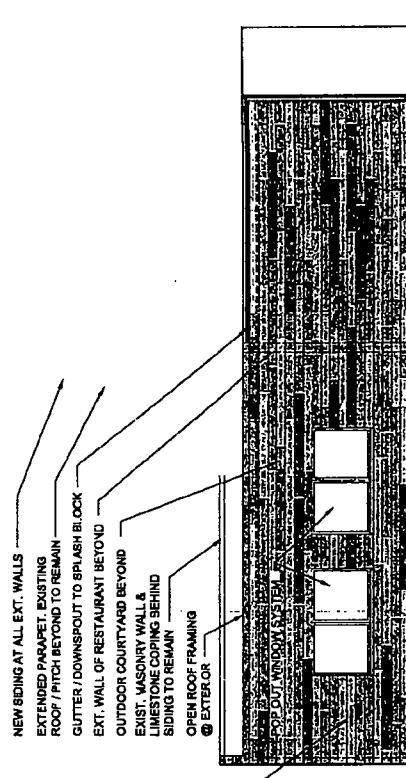
VERSION **SK1.1**



1 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



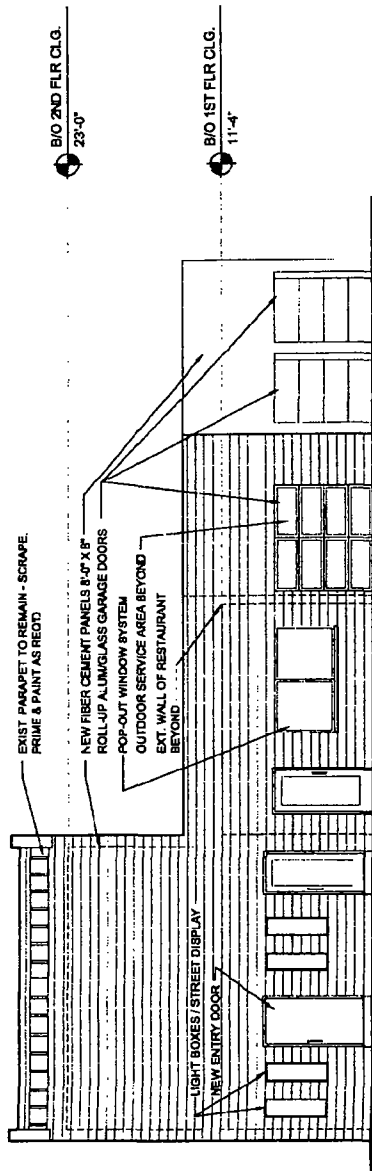
3 PROPOSED NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

B/O 2ND FLR CLG.
29'-0"

B/O 1ST FLR CLG.
11'-4"

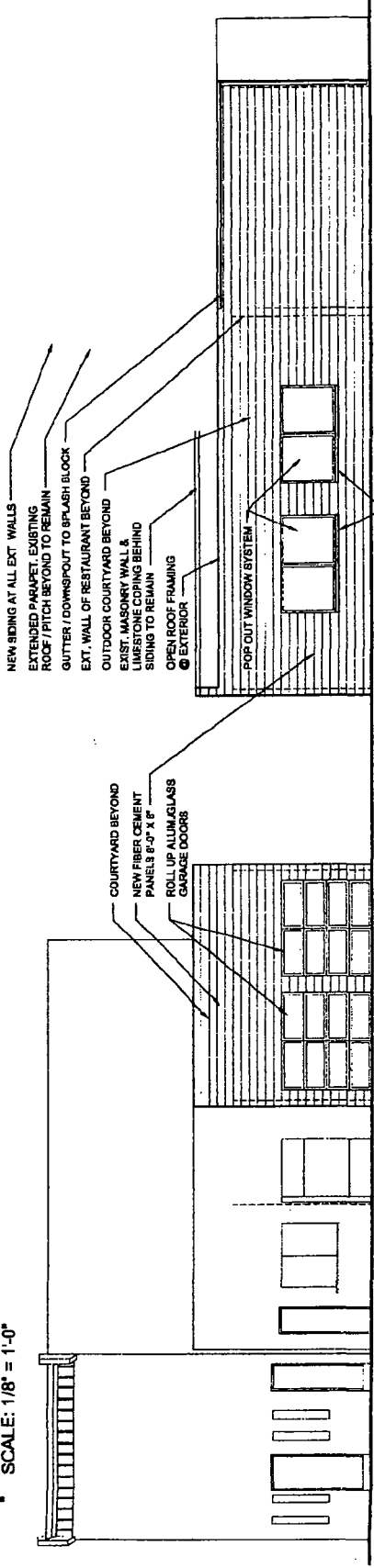
CALIFORNIA POINT RESTAURANT
2101 N CALIFORNIA AVE, CHICAGO, ILLINOIS 60647

VERSION
SPACE
SK2.0



1 PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"



3 PROPOSED NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"

2 PROPOSED NORTHEAST ELEVATION

SCALE: 1/8" = 1'-0"

CALIFORNIA POINT RESTAURANT
2101 N CALIFORNIA AVE CHICAGO, ILLINOIS 60647

VERSION
SPACE
ARCHITECTS + PLANNERS
SK2.0