



# City of Chicago



SO2018-3629

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	4/18/2018
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 11-J at 3215 W Lawrence Ave and 4743 N Sawyer Ave - App No. 19638T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards



**17-13-0303-C (1) Substitute Narrative and Plans Zoning Analysis**

3215 West Lawrence Avenue and 4743 North Sawyer Avenue, Chicago, Illinois

Proposed Zoning: B3-5 Community Shopping District (TOD)

Lot Area: Total: 10,009.9 square feet (3215 West Lawrence and 4743 North Sawyer)  
Lot 1: 6,250 square feet (3215 West Lawrence)  
Lot 2: 3,759.9 square feet (4743 North Sawyer)

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the preservation, renovation and reuse of the existing six-story (with basement) storage building, at the subject site (3215 West Lawrence). The newly renovated building will contain commercial/retail space- at grade level, and twenty-seven (27) dwelling units – above (2<sup>nd</sup> thru 6<sup>th</sup> Floors). There will be a Community Room located in the basement, as well as residential amenity space located in the basement and on the 1<sup>st</sup> Floor. The renovation plan also calls for the erection of an outdoor amenity space ('roof deck'), for residential tenants, above the 6<sup>th</sup> Floor. The subject property is located on a Pedestrian Street, less than 2,640 linear feet from the entrance to the Kimball CTA Station, and –therefore, the Applicant is seeking to permit the building pursuant to the Transit Oriented Development (TOD) Ordinance. As such, the Applicant is seeking a reduction in the required parking by 55% - from twenty-seven (27) to twelve (12) vehicular parking spaces. Those twelve (12) proposed vehicular parking spaces will be located on the presently vacant lot (4743 North Sawyer). The newly renovated building will be masonry in construction, with glass and metal/iron accents, and measure 68 feet-2 inches in height.

(A) The Project's Floor Area Ratio

Lot 1 - 3215 West Lawrence: 35,868 square feet (5.7 FAR)

*\*The Applicant will be seeking a Variation, in order to increase the maximum allowable Floor Area Ratio (FAR) by not more than 15%, for an existing non-conforming building.*

Lot 2 – 4743 North Sawyer: 0 square feet (0.00 FAR)

*\*No proposed or existing structures or buildings*

(B) The Project's Density (Lot Area Per Dwelling Unit)

Lot 1 – 3215 West Lawrence: 27 dwelling units (231.5 square feet)

Lot 2 – 4743 North Sawyer: NO dwelling units proposed or intended

- (C) The amount of off-street parking: 12 vehicular parking spaces  
27 bicycle parking spaces
- \*The subject site is located on a Pedestrian Street, within 2,640 linear feet of the entrance to the Kimball CTA Station, and – therefore, the Applicant is seeking a 55% reduction in the required onsite parking – from 27 to 12 parking spaces, pursuant to the Transit Oriented Development (TOD) Ordinance.*
- \*The Applicant will seek a Special Use to permit the location of the accessory parking for the newly renovated and converted mixed-use building (3215 West Lawrence), to be located off-site – on the presently vacant lot (4743 North Sawyer)*

(D) Setbacks

Lot 1 – 3215 West Lawrence:

- a. Front Setback: 0 feet-0 inches
- b. Rear Setback: 0 feet-0 inches  
*\*The Applicant will seek a Variation, in order to reduce the required rear setback - for the residential floors.*
- c. Side Setbacks:  
East: 0 feet-0 inches  
West: 0 feet-0 inches

Lot 2 – 4743 North Sawyer:

- a. Front Setback: 0 feet-0 inches
- b. Rear Setback: 0 feet-0 inches
- c. Side Setbacks:  
East: 0 feet-0 inches  
West: 0 feet-0 inches

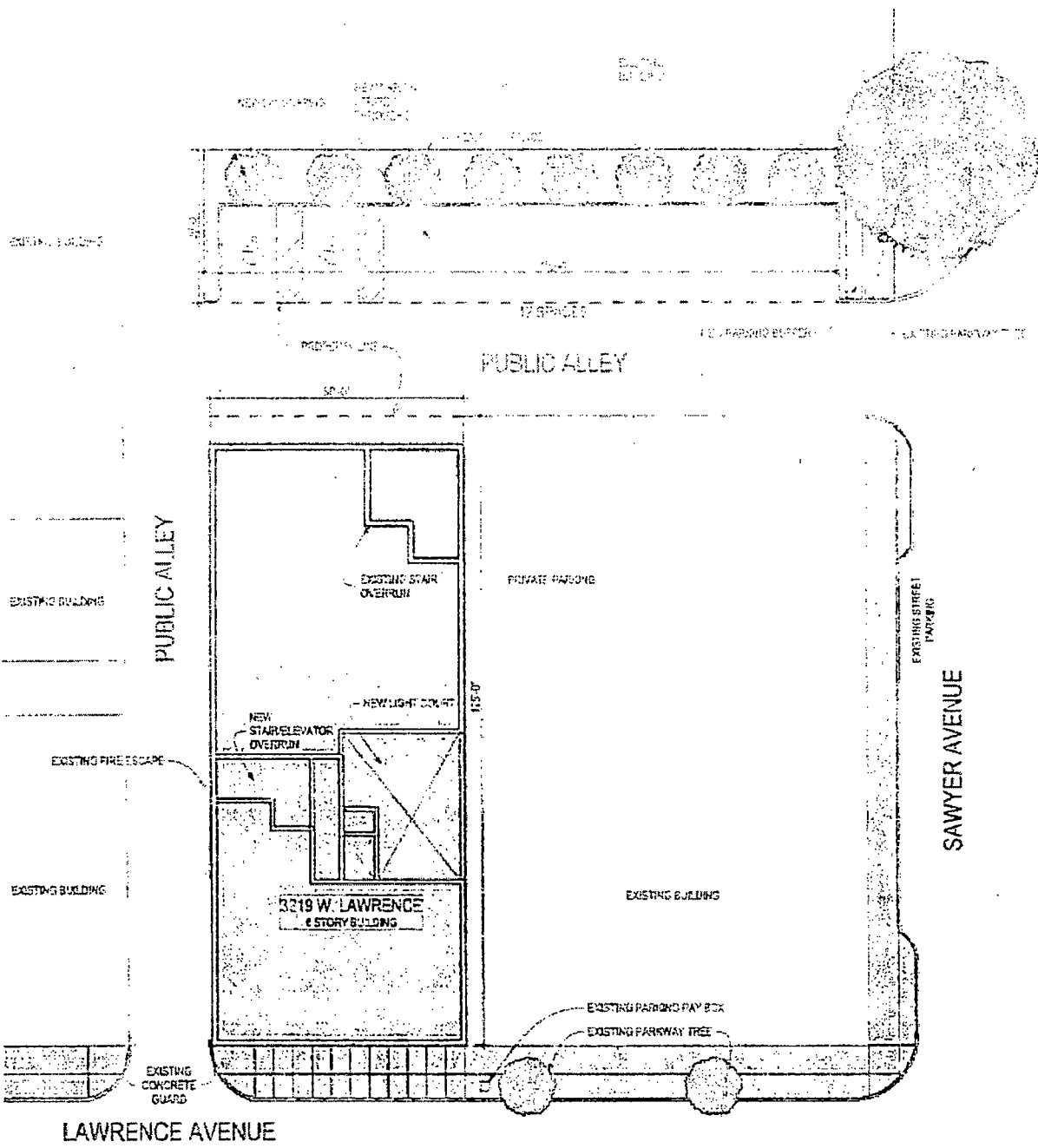
*\*The Applicant will seek Variations for any appropriate reductions to the required setbacks, should such be deemed necessary.*

(E) Building Height:

Lot 1 – 3215 West Lawrence: 68 feet-2 inches (existing)

Lot 2 – 4743 North Sawyer: NO building proposed or intended

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01 Site Plan  
SCALE 1" = 20'



3215 W LAWRENCE AVENUE

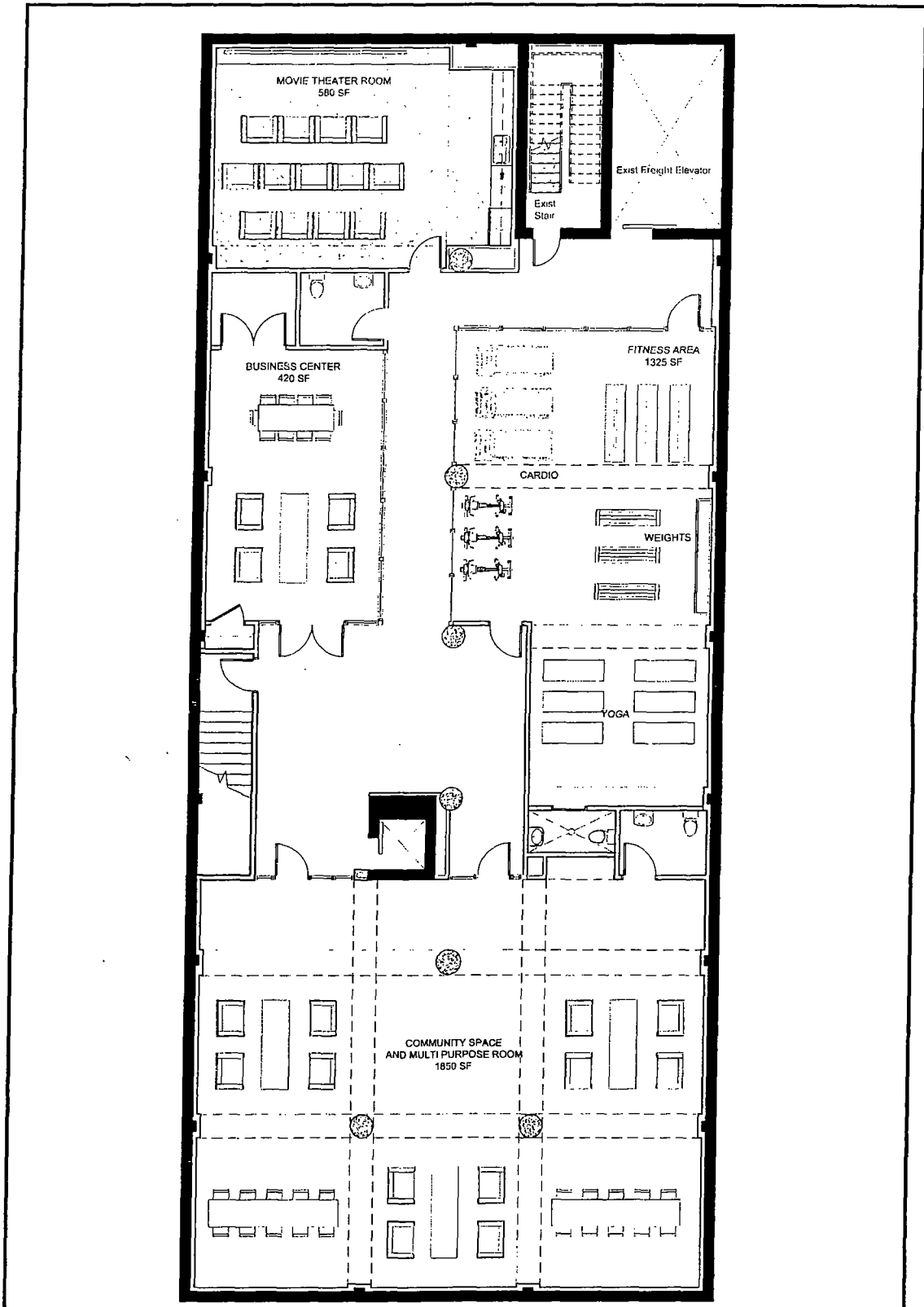
6/21/2016

LEVEL	TOTAL	UNITS				GSF	
		EH	1BR	2BR	3BR	Existing	Prop.
Roof						479	956
6th Floor	6	2	2	1	1	5978	5360
5th Floor	6	1	4	1		5978	5360
4th Floor	6	2	2	1	1	5978	5360
3rd Floor	6	2	2	1	1	5978	5360
2nd Floor	3	1			1	5978	5360
1st Floor	3	3				5978	5360
Basement						5978	5978
<b>TOTAL</b>	<b>30</b>	<b>11</b>	<b>11</b>	<b>4</b>	<b>4</b>	<b>42325</b>	<b>39266</b>

Site Plan

3215-3219 W. Lawrence  
Chicago Metropolitan Housing Development Corporation  
6/21/2016

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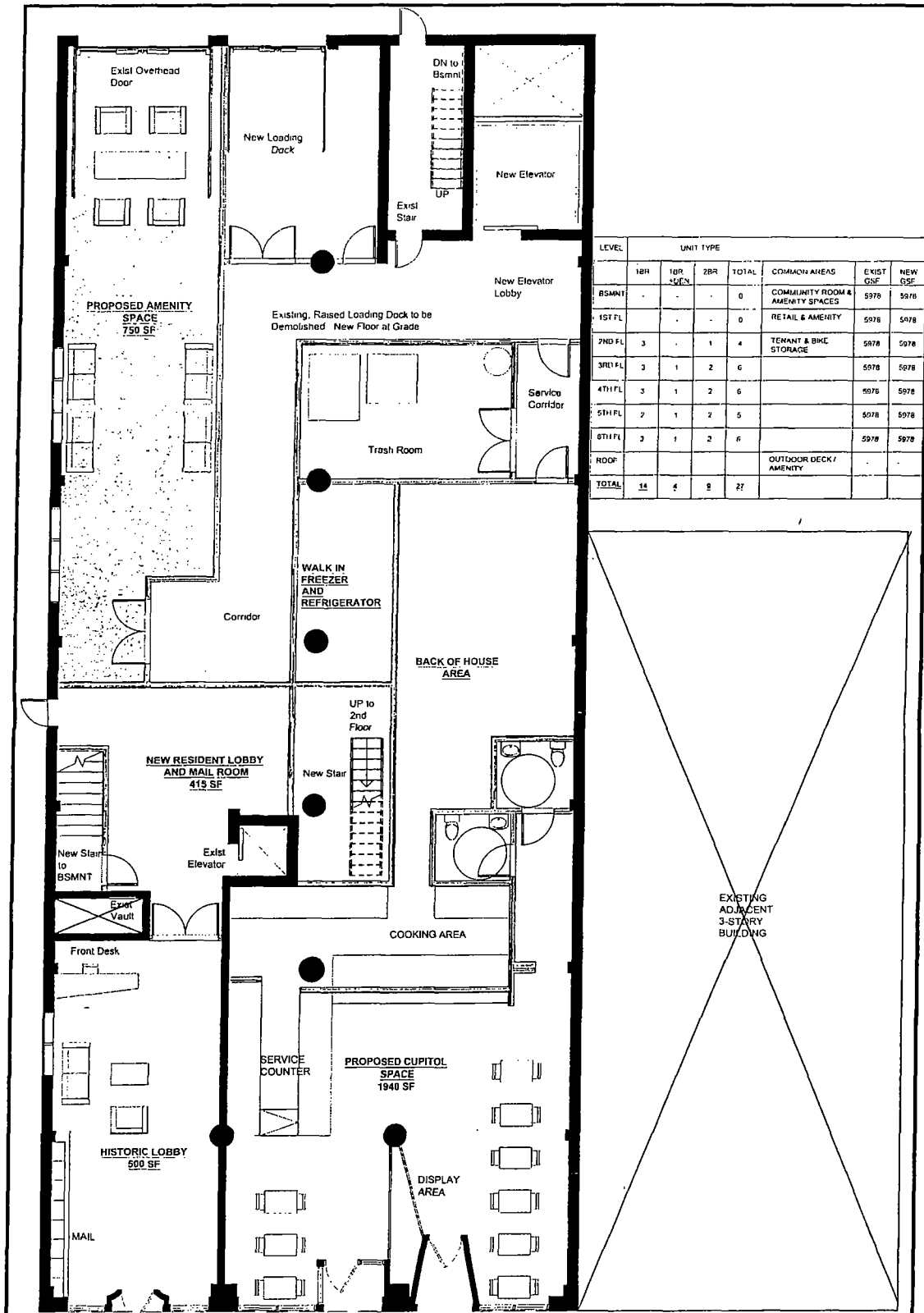
ARCHITECT  
**kolbrook design**  
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 SUITE 300  
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 PH 847 452 1992  
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PROJECT  
 3215 W Lawrence Apt. Preliminary Study - OPTION 01  
 3215 W Lawrence Ave  
 Chicago, IL

SCALE: 1/8" = 1'-0"      PROPOSED BASEMENT PLAN

Job No  
 1518.001  
 Issue Date  
 01.02.2016  
 Project Area

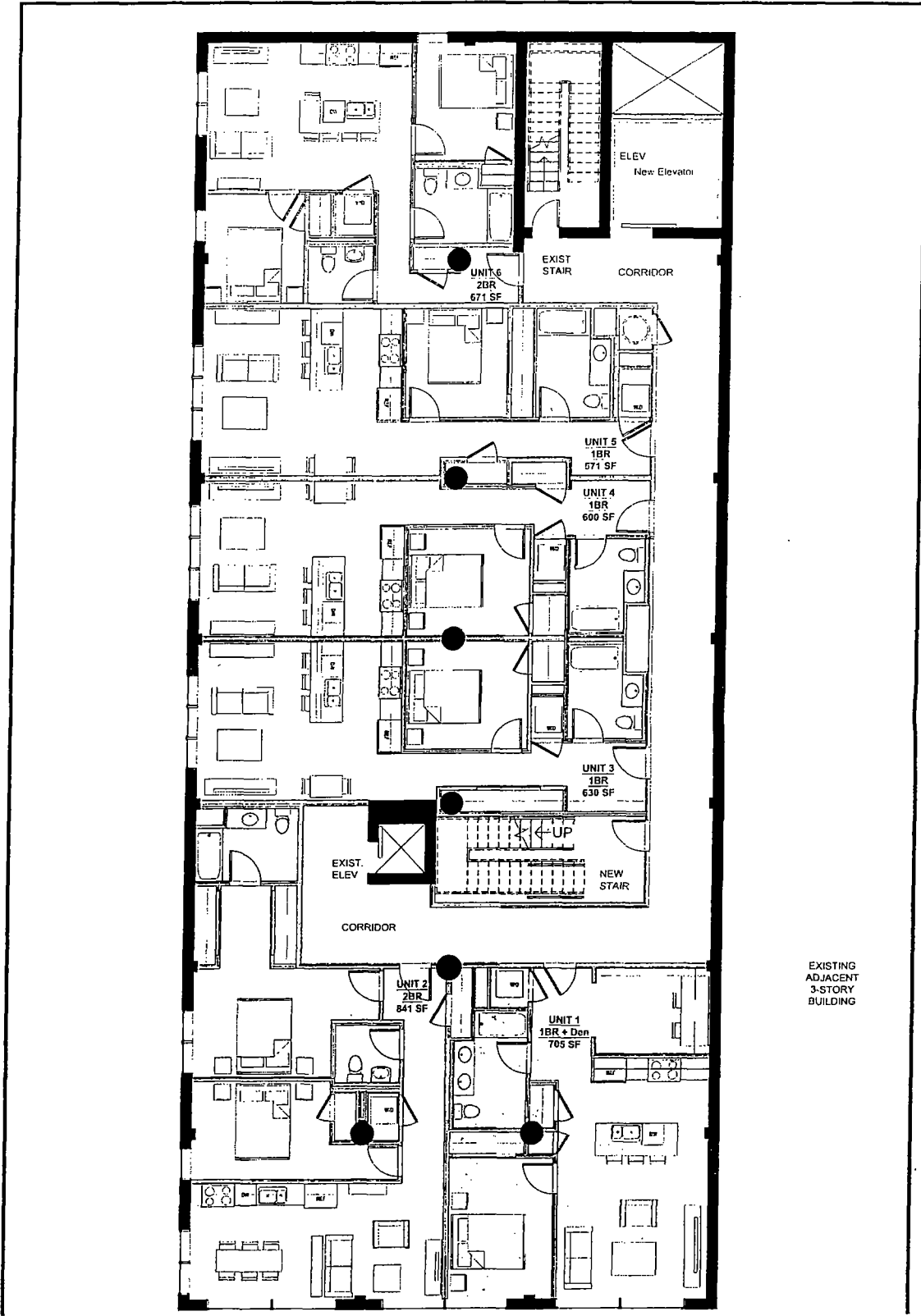
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LEVEL	UNIT TYPE				TOTAL	COMMON AREAS	EXIST GSF	NEW GSF
	1BR	1BR + 5/25	2BR					
BSMNT	-	-	-	0		5978	5978	
1ST FL	-	-	-	0	COMMUNITY ROOM & AMENITY SPACES	5978	5978	
2ND FL	3	-	1	4	RETAIL & AMENITY	5978	5978	
3RD FL	3	1	2	6	TENANT & BKE STORAGE	5978	5978	
4TH FL	3	1	2	6		5978	5978	
5TH FL	2	1	2	5		5978	5978	
6TH FL	3	1	2	6		5978	5978	
ROOF					OUTDOOR DECK / AMENITY			
TOTAL	14	4	8	27				

<b>ARCHITECT.</b>  838 DAVIS STREET SUITE 300 EVANSTON, IL 60201 PH 847 462 1992	<b>PROJECT</b> 3215 W Lawrence Apt. Preliminary Study - 3215 W Lawrence Ave Chicago IL	Job No 1539 001
	<b>SCALE:</b> 1/8" = 1'-0"	<b>PROPOSED GROUND FLOOR PLAN</b>
Copyright © 2014 Kilbrook Design Inc		Project Area

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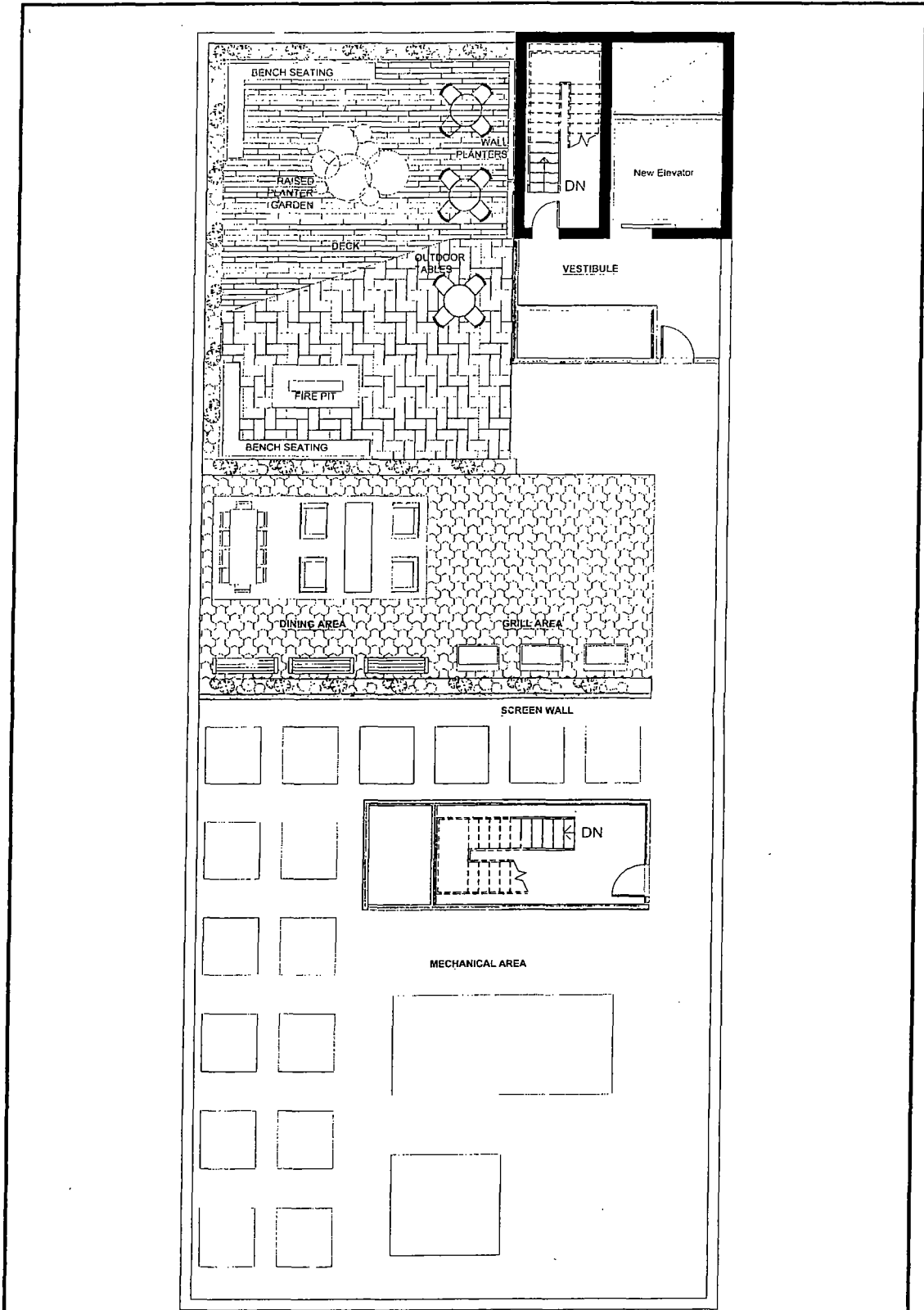


<p>ARCHITECT</p> <p><b>kolbrook design</b></p> <p>820 DAVIS STREET SUITE 300 EVANSTON, IL 60201 PH 847 492 1962</p>	<p>PROJECT</p> <p>3215 W Lawrence Apt. Preliminary Study - 3215 W Lawrence Ave Chicago IL</p>	<p>Job No 1538 001</p> <p>Issue Date 01 02 2018</p> <p>Project Area</p>
<p>SCALE: 1/8" = 1'-0"</p>		<p>PROPOSED TYPICAL FLOOR PLAN</p>

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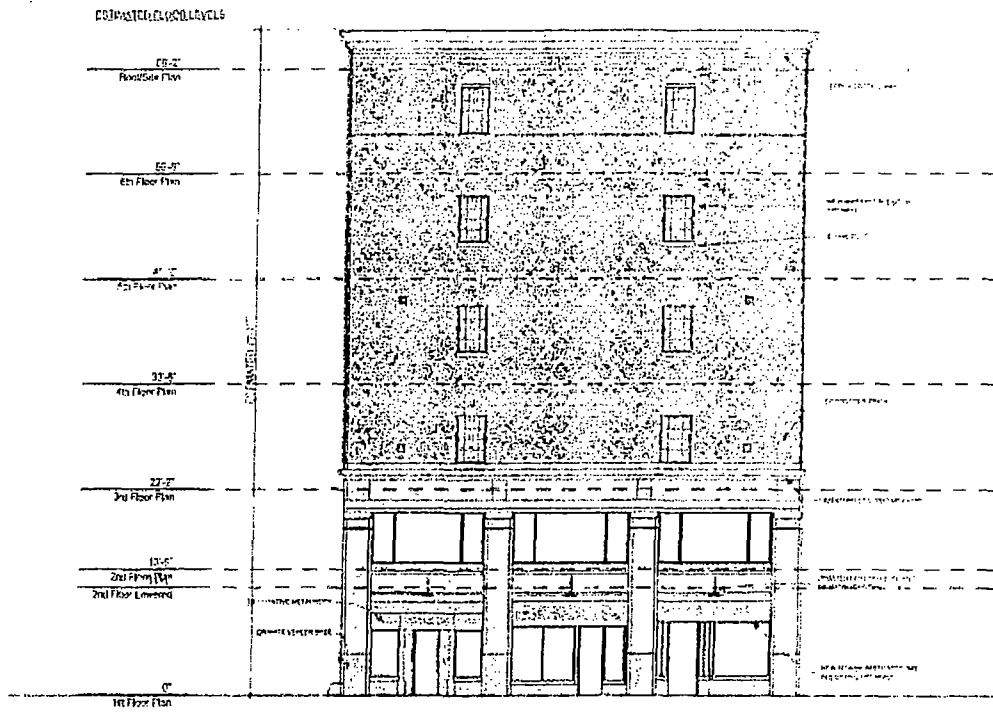
ARCHITECT  
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PROJECT:  
 3215 W Lawrence Apt Preliminary Study-  
 3215 W Lawrence Ave  
 Chicago, IL

SCALE: 1/8" = 1'-0"      PROPOSED ROOF PLAN

Job No	1536 001
Issue Date	01 02 2015
Project Area	

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01 Proposed North Elevation

SCALE: 3/32" = 1'-0"



North Elevation

3715-3215 W. Lawrence  
Chicago Metropolitan Landmark Development Corporation  
12/17/2010

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