



City of Chicago



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2014-2018

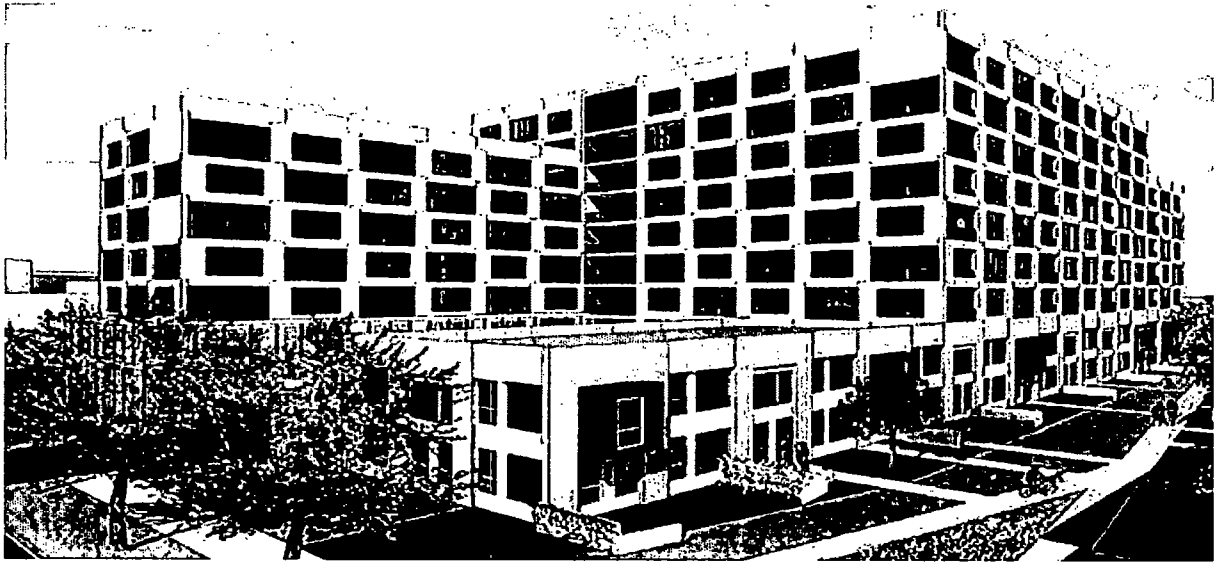
Chicago Five-Year Housing Plan

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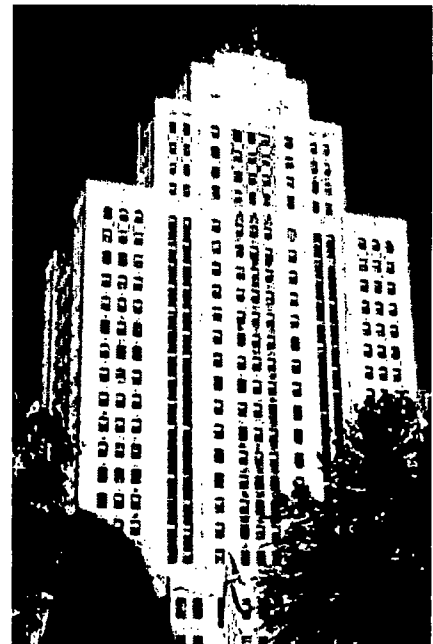
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Strengthening Neighborhoods – Increasing Affordability.



2014 Second Quarter Progress Report April-June



City of Chicago



Rahm Emanuel, Mayor

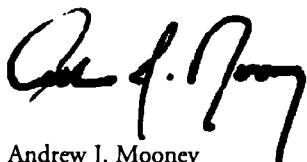
LETTER FROM THE COMMISSIONER

We are pleased to submit the 2014 Second Quarter Progress Report, which presents the Department of Planning and Development's progress on the goals set forth in *Bouncing Back*, the City's fifth Five-Year Housing Plan covering the years 2014-2018.

The Department of Planning and Development (DPD) is the lead agency for the City's affordable housing, housing preservation and homebuyer assistance programs. In the first two quarters of 2014 the Department committed over \$110 million to support 4,635 units of affordable housing. This represents 42% of our annual resource allocation goal and 56% of our units assisted goal.

During the second quarter the Department approved financing for two multi-family development projects; scheduled two informational workshops for community organizations on the receivership process for vacant and abandoned buildings; and cosponsored a Housing Resource Fair for property owners, renters and prospective homebuyers on the Northwest Side.

Once again, we would like to thank our many partners for their continued support and participation. We at DPD could not succeed in our work without the ongoing support and cooperation of these valued partners—neighborhood and business groups, elected officials, state and federal agencies, and other community stakeholders. Through our combined efforts, we will continue to move forward in creating, preserving and supporting affordable housing for the people of Chicago.



Andrew J. Mooney
Commissioner
Department of Planning and Development



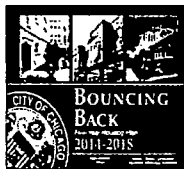


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REFERENCE

1. Chicago Metropolitan Area Median Incomes
2. City of Chicago Maximum Affordable Monthly Rents





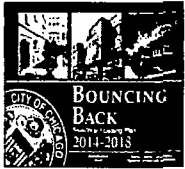
INTRODUCTION

This document is the 2014 Second Quarter Progress Report on the Chicago Department of Planning and Development's housing plan, *Bouncing Back: Five-Year Housing Plan 2014-2018*.

For 2014, DPD has projected commitments of more than \$265 million to assist nearly 8,300 units of housing.

Through the second quarter of 2014, the Department has committed over \$110 million in funds to support more than 4,600 units, which represents 42% of the 2014 unit goal and 56% of the resource allocation goal.





CREATION AND PRESERVATION OF AFFORDABLE RENTAL UNITS

In 2014, the Department of Planning and Development expects to commit almost \$210 million to support more than 5,600 units of affordable rental housing using loans for new construction or rehab along with rental subsidies.

Through the second quarter, DPD has committed over \$90 million in resources to support more than 3,600 units. These numbers represent 43% of the annual multifamily resource allocation goal and 64% of the annual unit goal.

Multi-Family Rehab and New Construction

Parkside of Old Town–Phase IIB

A total of 106 mixed-income rental units will be added to a Near North Side housing development through a financial assistance package approved on May 28 by the City Council.

Phase IIB of **Parkside of Old Town** will contain 36 units of replacement housing for former CHA residents, along with 27 affordable units and 43 market-rate apartments. The Parkside development is being constructed on the site of the former Cabrini-Green public housing complex in the 27th Ward. Part of the CHA's Plan for Transformation, the new units will be developed by Parkside Phase IIB LP on a site at the southeast corner of Division and Cleveland Streets.

The \$41 million Phase IIB will consist of a nine-story, 94-unit high-rise and a three-story, 12-unit walk-up. City assistance will include \$27 million in bonds, \$10 million in Tax Increment Financing (TIF) assistance, a \$1.9 million loan, and a total of \$12.3 million in tax credit equity. In addition, the Chicago Housing Authority is providing a \$12.4 million loan utilizing federal HOPE VI funds.



One hundred and six mixed-income apartments will be added to the 207 condominiums, 56 townhomes and 223 rental units already completed in the multi-phase redevelopment of the CHA's former Cabrini-Green housing complex.





Lawson House

On June 21 the City approved \$2.3 million in Donations Tax Credits for the preservation of a 583-unit SRO building on the Near North Side. Currently owned by the YMCA of Chicago, the 22-story **Lawson House** will be sold to Holsten Human Capital Development NFP for \$1 plus assumed debt. In return Holsten will take steps to maintain Lawson House, located at 30 W. Chicago Avenue in the 42nd Ward, as affordable housing for another thirty years.

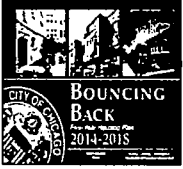
The City has agreed to forgive the remaining \$1.1 million of a 1996 loan, and will also provide \$2.3 million in tax credits, generating \$1.9 million in private equity that Holsten will use to support operations at Lawson House while it works on a permanent financing package.

The long-term plan for the property is a comprehensive rehabilitation of the building supported by Low Income Housing Tax Credits and other financing, and will involve the replacement of all major building systems and upgrading of the SRO units to self-contained studio apartments. We will report again on this project when financing is approved for these upgrades; at that time we will include the rehabbed units in our Commitments and Production tables.



The City is providing \$2.3 million in tax credits to enable the preservation of the largest SRO supportive housing facility in the Midwest while permanent financing is being arranged.





PROMOTION AND SUPPORT OF HOMEOWNERSHIP

In 2014, the Department of Planning and Development expects to commit over \$41 million to help more than 650 households achieve or sustain homeownership.

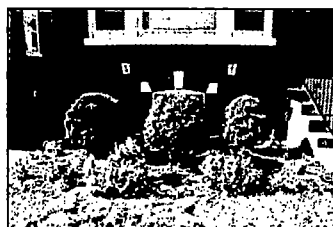
Through the second quarter, DPD has committed almost \$13 million to support 175 units. These numbers represent 32% of the annual homeownership resource allocation goal and 27% of the annual unit goal.

Ald. Suarez, DPD and Bungalow Association Co-host Housing Resource Fair

Workshops and affordable housing resources were offered to homebuyers, property owners and renters at a free Housing Resource Fair held on Saturday, May 17 at the Falconer School in the 31st Ward.

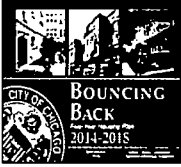
Co-sponsored by Ald. Ray Suarez (31st), the Historic Chicago Bungalow Association and the Department of Planning and Development, the one-day event featured more than twenty exhibitors, including lenders, housing counselors, government agencies and neighborhood organizations offering a variety of housing programs and services.

Exhibitors provided information on homebuyer programs, home financing options, foreclosure prevention and landlord/tenant law, along with workshops on rain barrels and composting. Attendees also were able to enter free raffles to win an Energy Star refrigerator, a \$700 room makeover, \$300 in new landscaping or a rain barrel.



One lucky attendee at the May 17 Housing Resource Fair hosted by Ald. Suarez won \$300 in new landscaping by Home Depot for their home.





IMPROVEMENT AND PRESERVATION OF HOMES

In 2014, the Department of Planning and Development expects to commit nearly \$15 million to assist more than 2,000 households repair, modify or improve their homes.

Through the second quarter, DPD has committed more than \$7.1 million to support 840 units. These numbers represent 48% of the annual improvement and preservation resource allocation goal and 42% of the annual unit goal.

New September 4 Start Date Announced For Roof and Porch Repair Program

The Department of Planning and Development has announced a new, earlier starting date of September 4, 2014 for homeowners to apply for assistance under the 2015 **Roof and Porch Repair Program**. Open enrollment by phone will begin at 9 a.m. on September 4 over the City's 311 service line and continue until program capacity is reached. Applications will be accepted in the order they are received on a first-come, first-served basis. Not all callers will qualify to participate in the program.

The earlier start to the application process will enable construction work to begin sooner in the spring. As a result of this change, calls will no longer be accepted on the first business day of the new year as in prior years.

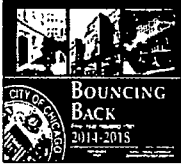
The Roof and Porch Repair Program, formerly known as EHAP, provides grants to income-qualified homeowners for the repair or replacement of roof and porches. To qualify for assistance, properties must be habitable, owner-occupied and not at risk of foreclosure. No changes other than the new starting time are being made to the program.

Repair Grants Approved For West Englewood Homeowners

The City of Chicago's **Neighborhood Improvement Program** (NIP) will be expanded to a portion of West Englewood under a plan approved on May 28 by the City Council.

NIP provides grants to help owners of one- to four-unit properties in targeted areas make exterior repairs and limited interior improvements. Through the West Englewood program more than \$970,000 will be made available in designated parts of the 15th and 16th Wards, using a special fund established in 1998 by CSX Intermodal as part of a rail-yard expansion project.





Qualifying homeowners can apply for one-time grants of \$10,000 to cover repair work involving roofs, gutters, windows, entryways, porches and masonry. Up to 30 percent of each grant may be used for interior health and safety needs.

The West Englewood NIP eligibility area is bounded generally by Hamilton Avenue, Garfield Boulevard, Damen Avenue and 64th Street. Neighborhood Housing Services of Chicago will administer the program.

CCLT Room Makeover Contest Gives South Lawndale Home Fashionable Facelift

The winner of the Chicago Community Land Trust's (CCLT) second annual "Extreme Room Makeover" contest was unveiled on June 18 in a modernized South Lawndale family room. The unveiling took place at an open house in the home on the 3000 block of West Cullerton Avenue, which was attended by CCLT homeowners who learned about budget-friendly decorating techniques they could apply in their own homes.

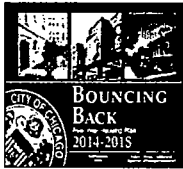
CCLT helps to maintain the long-term affordability of private homes that have been developed using City of Chicago subsidies.

The contest offered \$500 in improvements to a CCLT property owner with the most compelling reason for a room makeover. In her winning entry, Andrea Collins-Edwards requested assistance in transforming her family room into an inviting space where her family could relax with friends and entertain guests. Collins-Edwards's entry was selected by a panel of ten judges, including Ald. Walter Burnett (27th) and Scott and Kim Vargo from the popular home-design blog *yellowbrickhome.com*.

The makeover, created by fellow CCLT homeowner Ray Trujillo of Ray Trujillo Design, updated the layout, introduced a mandarin-based color scheme and added new accessories that he designed and produced himself. Total cost: \$499.75.

There was a second unexpected winner as well: the runner-up homeowner, who had lost both legs due to illness and wanted better use of his balcony, received a donation of balcony furniture from retailer CB2, who donated the furniture after learning about the homeowner.





POLICY, LEGISLATIVE AFFAIRS AND OTHER ISSUES

Troubled Buildings Initiative Update

The Troubled Buildings Initiative was established by the City in collaboration with the non-profit Community Investment Corp. (CIC) in 2003 to compel landlords to maintain safe and drug-free environments for their tenants. Based on the early success of that program ("TBI I"), the City joined with Neighborhood Housing Services of Chicago (NHS) in 2005 to expand TBI to single-family (1- to 4-unit) properties ("TBI II"). The goals of both TBI programs are fundamentally the same: to preserve Chicago's existing affordable residential buildings and ensure that responsible owners and managers are in place to take care of these properties.

Troubled buildings—whether vacant or occupied—damage neighborhoods, depress property values and harbor crime, putting tenants and neighbors at risk. Left unchecked, they can trigger a cycle of neighborhood disinvestment and deterioration. Yet these same buildings, if turned around, can have a revitalizing effect on the surrounding community.



The crumbling facade on this apartment building at 4343 S. Michigan Avenue was restored to its original state through the Troubled Buildings Initiative.

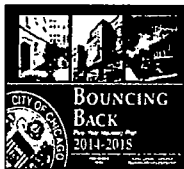
Key to TBI's success is the close coordination of the resources of multiple City agencies and non-profit partners. These agencies include the Departments of Planning and Development, Law, Buildings, Police, Water Management, Streets and Sanitation, and Family Support Services, along with non-profit partners Community Initiatives, Inc. (a CIC affiliate) and NHS Redevelopment Corporation, enabling a multi-faceted approach.

For troubled rental properties, TBI steps in when the owner of a property in housing court is unwilling or unable to complete necessary repairs. The Court can then appoint a Receiver to make the required repairs to stabilize the property. Receivership is always the last resort

in the effort to keep the building occupied or to avoid unnecessary demolition. A Receiver enables tenants to live in a safe and habitable building and eliminates the need to vacate the building and displace the tenants.

For vacant and abandoned single-family homes, TBI works with qualified developers to rehab the building and rent or sell it to an income-eligible household.

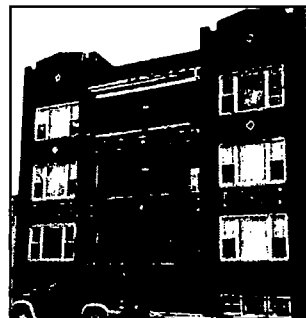




More recently, a third component has been added to the TBI toolbox in order to identify fraudulently converted condominiums and turn them into affordable rental housing. Originally funded through the American Recovery and Reinvestment Act of 2009, the TBI Condo program takes advantage of a State law that enables a judge to void a condominium declaration and issue a judicial deed for the entire building. After all of a building's condo units are acquired and deconverted, the property is sold to a private developer who rehabs the building to provide affordable rental housing.

This year DPD joined with the Department of Law and Ald. Dowell and Ald. Ervin to offer two workshops on opportunities to become engaged in the receivership process for vacant and abandoned buildings. The workshops, which were held on July 9 and 14, were targeted at community organizations, tradespeople and property preservation companies. Over fifty companies and individuals attended each event. Topics included an overview of the housing court process, the role and responsibilities of a court appointed receiver and ways for companies to get involved either as a receiver or as a vendor for existing receivers. Additional resources were provided for participants by the Chicago Community Loan Fund, Sunshine Gospel Ministries and Chicago Neighborhood Initiatives Micro Finance Group.

TBI has proved to be a potent strategy to address abandoned buildings and enable the preservation of affordable multi-family rental buildings and single-family homes. As a result, these efforts collectively have preserved more than 15,000 units of housing since 2003. This total includes 13,735 multi-family units in 760 buildings, 1,059 single-family units in 547 buildings and 805 condo units in 72 buildings.



Neighborhood Stabilization Program Update

In March 2014 the City of Chicago achieved full compliance with all HUD deadlines for utilization of a total of \$169 million in NSP grants awarded since the program began in 2009. The City will continue to invest in NSP targeted areas by using the income generated through sales of NSP properties to fund the acquisition and rehabilitation of additional buildings.

Through the second quarter of 2014, a total of 856 units in 191 properties have been acquired using funds from Chicago's three NSP grants. Construction has started on 802 units in 165 properties; 720 units (148 properties) have been finished or are nearing completion. One hundred thirty-nine units (98 properties) have been sold to qualified homebuyers, and 25 multi-family properties containing 339 units have been fully rented out. A list of all properties that have been assisted through NSP can be found in the Appendix. An updated version of this list is available at <http://www.chicagonsp.org/index.html>.



APPENDICES

Department of Planning and Development
2014 ESTIMATES OF PRODUCTION BY INCOME LEVEL

HOUSING PRODUCTION INITIATIVES		TOTAL FUNDS ANTICIPATED	UNITS BY INCOME LEVEL							TOTAL UNITS	
			0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101 + %		
TO CREATE AND PRESERVE AFFORDABLE RENTAL UNITS											
MULTI-FAMILY REHAB & NEW CONSTRUCTION											
Low-Income Housing Tax Credit Equity		\$ 66,900,000									
Mortgage Revenue Bonds		\$ 60,000,000									
Multi-family Loans		\$ 40,000,000									
Illinois Affordable Housing Tax Credit (value of donations/equity)		\$ 3,800,000									
City Land		\$ 6,000,000									
MAUI Capital Funds		\$ 1,090,000									
Subtotal, Multi-family Rehab and New Construction		\$ 177,790,000	23	116	358	462	34	25	42	1,060	
RENTAL ASSISTANCE											
Chicago Low-Income Housing Trust Fund Rental Subsidy Program		\$ 15,050,000	1,924	1,036	-	-	-	-	-	2,960	
MAUI Operating Funds (Affordable Housing Opportunity Fund)		\$ 1,090,000	26	14	-	-	-	-	-	40	
Subtotal, Rental Assistance		\$ 16,140,000	1,950	1,050	-	-	-	-	-	3,000	
OTHER MULTI-FAMILY INITIATIVES											
Affordable Requirements Ordinance (Rental Units)		\$ 3,000,000	-	-	-	60	-	-	-	60	
Heat Receiver		\$ 1,000,000	60	146	292	68	34	-	-	600	
Troubled Buildings Initiative -- Multi-family		\$ 2,700,000	-	44	131	75	438	62	-	750	
TIF Purchase+ Rehab -- Multi-family		\$ 7,000,000	-	-	70	-	35	35	-	140	
Neighborhood Stabilization Program (NSP3) -- Multi-family		\$ 1,791,492	-	-	7	-	-	-	8	15	
Subtotal, Other Multi-family Initiatives		\$ 15,491,492	60	191	500	203	507	97	8	1,565	
TOTAL, AFFORDABLE RENTAL PROGRAMS		\$ 209,421,492	2,033	1,356	858	665	541	122	50	5,625	
Income distribution (by % of units)			36%	24%	15%	12%	10%	2%	1%		

Department of Planning and Development
2014 ESTIMATES OF PRODUCTION BY INCOME LEVEL

HOUSING PRODUCTION INITIATIVES	TOTAL FUNDS ANTICIPATED	UNITS BY INCOME LEVEL							TOTAL UNITS
		0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101 + %	
TO PROMOTE AND SUPPORT HOMEOWNERSHIP									
Affordable Requirements Ordinance / Chicago Community Land Trust	\$ 500,000	-	-	-	-	-	10	-	10
Home Purchase Assistance Program	-	-	-	-	-	-	-	-	-
Troubled Buildings Initiative -- Single-family	\$ 2,000,000	-	-	-	110	-	-	-	110
Troubled Buildings Initiative -- Condo	\$ 500,000	-	-	-	30	-	-	-	30
Neighborhood Stabilization Program -- Single-family	\$ 1,194,328	-	-	-	-	-	-	24	24
TIF Purchase+Rehab -- Single-family	\$ 334,000	-	-	-	-	-	-	7	7
TaxSmart	\$ 26,000,000	-	4	7	11	37	42	99	200
Neighborhood Lending Program -- Purchase / Purchase+Rehab Loans	\$ 9,500,000	-	-	4	30	60	53	53	200
Neighborhood Lending Program -- MMRP Home Purchase Grants	\$ 500,000	-	-	-	3	12	-	-	15
TOTAL, HOMEOWNERSHIP PROGRAMS	\$ 40,528,328	-	4	11	184	109	105	183	596
Income distribution (by % of units)		0%	1%	2%	31%	18%	18%	31%	
TO IMPROVE AND PRESERVE HOMES									
Roof and Porch Repairs (formerly EHAP)	\$ 5,000,000	7	72	216	63	42	-	-	400
Emergency Heating Repairs (formerly EHAP)	\$ 500,000	2	18	54	16	10	-	-	100
SARFS (Small Accessible Repairs for Seniors)	\$ 1,700,000	59	219	176	41	30	-	-	525
TIF-NIP -- Single-family	\$ 2,500,000	8	38	49	25	45	32	3	200
Neighborhood Lending Program -- Home Improvement Loans	\$ 650,000	-	-	-	-	14	18	18	50
Neighborhood Lending Program -- Foreclosure Prevention Loans	\$ 2,700,000	-	-	2	3	5	5	5	20
Neighborhood Lending Program -- MMRP Home Improvement Grants	\$ 500,000	-	-	-	4	16	-	-	20
Historic Bungalow Initiative	\$ 1,212,500	-	-	104	118	262	172	44	700
TOTAL, HOME PRESERVATION PROGRAMS	\$ 14,762,500	76	347	601	270	424	227	70	2,015
Income distribution (by % of units)		4%	17%	30%	13%	21%	11%	3%	
GRAND TOTAL, ALL PRODUCTION INITIATIVES									
\$ 264,712,320	2,109	1,707	1,470	1,119	1,074	454	303	8,236	
Income distribution (by % of units)		26%	21%	18%	14%	13%	6%	4%	

DELEGATE AGENCY INITIATIVES	TOTAL FUNDS ANTICIPATED	TOTAL HOUSEHOLDS
Technical Assistance Centers (Citywide)	\$ 900,000	25,000
Community Resource Centers	\$ 760,000	18,000
Foreclosure Prevention Housing Counseling Centers	\$ 940,000	7,500
Neighborhood Lending Program -- Counseling	\$ 300,000	2,500
CHDO Operating Assistance	\$ 376,000	
TOTAL, DELEGATE AGENCY INITIATIVES	\$ 3,276,000	53,000

Department of Planning and Development

* Does not include Lawson House units (see p. 3 of text)

Department of Planning and Development
COMMITMENTS AND PRODUCTION COMPARISON TO PLAN
January 1 - June 30, 2014

HOUSING PRODUCTION INITIATIVES	TOTAL FUNDS ANTICIPATED	Total Funds Anticipated	2014 COMMITMENTS			PROJECTED UNITS	2014 UNITS SERVED				
			First Quarter	Second Quarter	Year To Date		% of Goal	First Quarter	Second Quarter	Year To Date	% of Goal
TO PROMOTE AND SUPPORT HOMEOWNERSHIP											
Affordable Requirements Ordinance / Chicago Community Land Trust	\$ 500,000	\$ 2,500,000	\$ -	\$ 917,385	\$ 917,385	10	-	25	25	250.0%	
City Lots for City Living	\$ -	\$ -	\$ 316,000	\$ -	\$ 316,000	-	6	-	6	-	
Home Purchase Assistance Program	\$ -	\$ 5,000,000	\$ -	\$ -	\$ -	-	-	-	-	-	
Troubled Buildings Initiative -- Single-family	\$ 2,000,000	\$ 10,000,000	\$ 414,540	\$ 261,338	\$ 675,878	110	26	41	67	60.9%	
Troubled Buildings Initiative -- Condo	\$ 500,000	\$ 2,500,000	\$ 50,000	\$ 50,000	\$ 100,000	30	-	-	-	0.0%	
Neighborhood Stabilization Program -- Single-family	\$ 1,194,328	\$ 5,971,442	\$ 4,494,392	\$ 33,623	\$ 4,528,015	24	13	-	13	54.2%	
TIF Purchase-Rehab -- Single-family	\$ 334,000	\$ 1,670,000	\$ -	\$ -	\$ -	7	-	-	-	0.0%	
TaxSmart	\$ 26,000,000	\$ 130,000,000	\$ 1,867,371	\$ 2,293,571	\$ 4,160,942	204	12	15	27	13.2%	
Neighborhood Lending Program -- Purchase / Purchase-Rehab Loans	\$ 9,500,000	\$ 47,500,000	\$ 479,613	\$ 1,633,300	\$ 2,112,913	200	17	20	37	18.5%	
Neighborhood Lending Program -- MMRP Home Purchase Grants	\$ 500,000	\$ 2,500,000	\$ -	\$ -	\$ -	15	-	-	-	0.0%	
TOTAL, HOMEOWNERSHIP PROGRAMS	\$ 40,528,328	\$ 207,641,642	\$ 7,621,916	\$ 5,189,217	\$ 12,811,133	656	74	101	175	26.7%	
TO IMPROVE AND PRESERVE HOMES											
Roof and Porch Repairs (formerly EHAP)	\$ 5,000,000	\$ 25,000,000	\$ 372,310	\$ 1,758,485	\$ 2,130,995	400	23	163	186	46.5%	
Emergency Heating Repairs (formerly EHAP)	\$ 500,000	\$ 2,500,000	\$ 481,583	\$ 171,280	\$ 652,863	100	73	44	117	117.0%	
SARFIS (Small Accessible Repairs for Seniors)	\$ 2,101,455	\$ 8,500,000	\$ 69,561	\$ 182,176	\$ 251,737	525	9	97	106	20.2%	
TIF-NIP -- Single-family	\$ 2,500,000	\$ 12,500,000	\$ 216,385	\$ 414,364	\$ 630,749	200	20	39	59	29.5%	
Neighborhood Lending Program -- Home Improvement Loans	\$ 650,000	\$ 3,250,000	\$ 103,258	\$ 195,541	\$ 298,799	50	4	12	16	32.0%	
Neighborhood Lending Program -- Foreclosure Prevention Loans	\$ 2,700,000	\$ 13,500,000	\$ 1,868,800	\$ 150,900	\$ 2,019,700	20	15	1	16	80.0%	
Neighborhood Lending Program -- MMRP Home Improvement Grants	\$ 500,000	\$ 2,500,000	\$ 248,315	\$ 287,190	\$ 535,505	20	28	36	64	320.0%	
Historic Bungalow Initiative	\$ 1,212,500	\$ 6,062,500	\$ 355,045	\$ 264,219	\$ 619,264	700	150	126	276	39.4%	
TOTAL, HOME PRESERVATION PROGRAMS	\$ 14,762,500	\$ 73,812,500	\$ 3,715,257	\$ 3,424,355	\$ 7,139,612	2,015	322	518	840	41.7%	
GRAND TOTAL, ALL INITIATIVES	\$ 264,712,320	\$ 1,328,561,604	\$ 44,885,708	\$ 65,393,092	\$ 110,278,799	8,296	3,708	927	4,635	55.9%	

Department of Housing and Economic Development

PRODUCTION BY INCOME LEVEL

January 1 - June 30, 2014

HOUSING PRODUCTION INITIATIVES		UNITS BY INCOME LEVEL							TOTAL UNITS
		0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101 + %	
TO CREATE AND PRESERVE AFFORDABLE RENTAL UNITS									
MULTI-FAMILY REHAB & NEW CONSTRUCTION									
Low-Income Housing Tax Credit Equity									
Mortgage Revenue Bonds									
Multi-family Loans									
Illinois Affordable Housing Tax Credit (value of donations/equity)									
City Land									
MAUI Capital Funds									
Subtotal, Multi-family Rehab and New Construction									
	-	-	26	102	-	-	43	171	
RENTAL ASSISTANCE									
Chicago Low-Income Housing Trust Fund Rental Subsidy Program									
	1,669	1,126	-	-	-	-	-	2,795	
MAUI Operating Funds (Affordable Housing Opportunity Fund)									
	-	-	-	-	-	-	-	-	
Subtotal, Rental Assistance									
	1,669	1,126	-	-	-	-	-	2,795	
OTHER MULTI-FAMILY INITIATIVES									
Affordable Requirements Ordinance (ARO Rental Units)									
	-	32	-	49	-	-	-	81	
Heat Receiver									
	28	68	136	31	15	-	-	278	
Troubled Buildings Initiative -- Multi-family									
	-	18	51	29	173	24	-	295	
TIF Purchase + Rehab -- Multi-family									
	-	-	-	-	-	-	-	-	
Neighborhood Stabilization Program (NSP3) -- Multi-family									
	-	-	-	-	-	-	-	-	
Subtotal, Other Multi-family Initiatives									
	28	118	187	109	188	24	-	654	
TOTAL, AFFORDABLE RENTAL PROGRAMS									
	1,697	1,244	213	211	188	24	43	3,620	
Income distribution (bv % of units)									
	47%	34%	6%	6%	5%	1%	1%		

Department of Housing and Economic Development

PRODUCTION BY INCOME LEVEL

January 1 - June 30, 2014

HOUSING PRODUCTION INITIATIVES		UNITS BY INCOME LEVEL							TOTAL UNITS
		0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101+ %	
TO PROMOTE AND SUPPORT HOMEOWNERSHIP									
Affordable Requirements Ordinance / Chicago Community Land Trust		-	-	-	25	-	-	-	25
City Lots for City Living		-	-	-	-	-	-	6	6
Home Purchase Assistance Program		-	-	-	-	-	-	-	-
Troubled Buildings Initiative -- Single-family		-	-	-	67	-	-	-	67
Troubled Buildings Initiative -- Condo		-	-	-	-	-	-	-	-
Neighborhood Stabilization Program -- Single-family		-	-	-	-	-	-	13	13
TIF Purchase+Rehab -- Single-family		-	-	-	-	-	-	-	-
TaxSmart		-	-	1	3	4	3	16	27
Neighborhood Lending Program -- Purchase / Purchase+Rehab Loans		2	-	2	2	10	11	10	37
Neighborhood Lending Program -- MMRP Home Purchase Grants		-	-	-	-	-	-	-	-
TOTAL, HOMEOWNERSHIP PROGRAMS		2	-	3	97	14	14	45	175
Income distribution (by % of units)		1%	0%	2%	55%	8%	8%	26%	
TO IMPROVE AND PRESERVE HOMES									
Roof and Porch Repairs (formerly EHAP)		2	33	86	21	44	-	-	186
Emergency Heating Repairs (formerly EHAP)		4	18	49	16	30	-	-	117
SARFS (Small Accessible Repairs for Seniors)		-	-	-	106	-	-	-	106
TIF-NIP -- Single-family		-	9	11	11	19	3	6	59
Neighborhood Lending Program -- Home Improvement Loans		-	3	-	2	4	2	5	16
Neighborhood Lending Program -- Foreclosure Prevention Loans		-	-	-	-	2	2	12	16
Neighborhood Lending Program -- MMRP Home Improvement Grants		-	7	16	8	9	13	11	64
Historic Bungalow Initiative		14	46	91	44	81	-	-	276
TOTAL, HOME PRESERVATION PROGRAMS		20	116	253	208	189	20	34	840
Income distribution (by % of units)		2%	14%	30%	25%	23%	2%	4%	
GRAND TOTAL, ALL INITIATIVES									
		1,719	1,360	469	516	391	58	122	4,635
Income distribution (by % of units)		37%	29%	10%	11%	8%	1%	3%	

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**City of Chicago
Department of Planning and Development
Summaries of Approved Multifamily Developments
Second Quarter 2014**

Parkside of Old Town—Phase IIB
Parkside Phase IIB, LP
459 W. Division Street
1151 N. Cleveland Street

**City of Chicago Department of Planning and Development
Second Quarter 2014**

**Project Summary:
Parkside of Old Town–Phase IIB**

<u>BORROWER/DEVELOPER:</u>	Parkside Phase IIB, LP
<u>FOR PROFIT/NOT-FOR-PROFIT:</u>	For-Profit
<u>PROJECT NAME AND ADDRESS:</u>	Parkside of Old Town–Phase IIB 459 W. Division Street 1151 N. Cleveland Street
<u>WARD AND ALDERMAN:</u>	27th Ward Alderman Walter Burnett
<u>COMMUNITY AREA:</u>	Near North Side
<u>CITY COUNCIL APPROVAL:</u>	May 28, 2014
<u>PROJECT DESCRIPTION:</u>	Construction of 106 mixed-income units in two buildings on the southeast corner of Division and Cleveland Streets. The project will contain 36 units of replacement housing for former CHA residents, along with 27 affordable units and 43 market-rate apartments. Part of the redevelopment of the former Cabrini-Green public housing complex, the new units will be located in a nine-story, 94-unit high-rise and a three-story, 12-unit walk-up.
<u>Tax-Exempt Bonds:</u>	\$27,000,000
<u>TIF Funds:</u>	\$10,000,000
<u>MF Loan:</u>	\$1,900,000
<u>LIHTCs:</u>	4% credits generating \$8,734,843 in equity
<u>Donation Tax Credits:</u>	\$4,000,000 in credits generating \$3,590,000 in equity

Project Summary: Parkside of Old Town–Phase IIB
Page 2

UNIT MIX / RENTS

Type	Number	Rent*	Income Levels Served
1 bed/1 bath	21	\$425	CHA Replacement
1 bed/1 bath	1	\$312	30% AMI
1 bed/1 bath	1	\$484	40% AMI
1 bed/1 bath	4	\$615	50% AMI
1 bed/1 bath	5	\$746	60% AMI
1 bed/1 bath	19	\$1,350	Market Rate
2 bed/1 bath	2	\$376	30% AMI
2 bed/1 bath	2	\$534	40% AMI
2 bed/1 bath	3	\$736	50% AMI
2 bed/1 bath	4	\$894	60% AMI
2 bed/1 bath	13	\$1,550	Market Rate
2 bed/2 bath	7	\$425	CHA Replacement
2 bed/2 bath	11	\$1,600	Market Rate
3 bed/2 bath	7	\$425	CHA Replacement
3 bed/2 bath	1	\$618	40% AMI
3 bed/2 bath	2	\$849	50% AMI
3 bed/2 bath	2	\$1,032	60% AMI
4 bed/2 bath	1	\$425	CHA Replacement
TOTAL	106		

*Utilities included: heating, cooling and hot water

PROJECT COSTS

Category	Amount	Per Unit	% of Project
Construction	\$32,287,500	\$ 304,599	78.8%
Soft Costs	\$ 6,664,029	\$ 62,868	16.3%
Developer Fee	\$ 2,000,000	\$ 18,868	4.9%
TOTAL	\$40,951,529	\$ 386,335	100%

PROJECT FINANCING

Source	Amount	Rate	Per Unit	% of Project
1st Mortgage	\$ 3,774,267		\$ 35,606	9.2%
CHA/HOPE VI Funds	\$12,442,319		\$ 117,380	30.3%
TIF Funds	\$10,000,000		\$ 94,340	24.4%
CDBG Multi-family Loan	\$ 1,900,000	1%	\$ 17,925	4.6%
LIHTC Equity	\$ 8,734,843		\$ 82,404	21.3%
Donation Tax Credit Equity	\$ 3,590,000		\$ 33,868	8.8%
Other	\$ 510,100		\$ 4,812	1.2%
TOTAL	\$40,951,529		\$ 386,335	100%

Department of Planning and Development
MULTI-FAMILY DEVELOPMENT CLOSINGS
 January 1 – June 30, 2014

Development	Ward	Units	City Council Approval Date	Closing Date	Status/Comments
Legends Phase C-3	3	71	11/13/2013	1/29/2014	Under construction
Parkside of Old Town-Phase IIB	27	106	5/28/2014	6/25/2014	Groundbreaking 8/5/2014

Department of Planning and Development
MULTI-FAMILY LOAN COMMITMENTS
January 1 - June 30, 2014

Quarter Approved	Development Name	Developer	Primary Project Address	Ward	Loan Amount	Total Units	Units by Income Level						
							0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101+ %
1st	Woodlawn Park Senior Apartments	Preservation of Affordable Housing, Inc.	6116-44 S. Cottage Grove	20	\$ 2,800,000	65			26	39			
2nd	Parkside of Old Town—Phase IIB	Parkside Phase IIB, LP	459 W. Division 1151 N. Cleveland	27	\$ 1,900,000	106				63			43
TOTAL					\$ 4,700,000	171	-	-	26	102	-	-	43

Department of Planning and Development
TAX INCREMENT FINANCING (TIF) MULTI-FAMILY COMMITMENTS
 January 1 - June 30, 2014

Quarter Approved	Development Name	Developer	Project Address	Ward	City Commitment	Total Units	Units by Income Level						
							0-15%	16- 30%	31- 50%	51- 60%	61- 80%	81- 100%	101 + %
2nd	Parkside of Old Town— Phase IIB	Parkside Phase IIB, LP	459 W. Division 1151 N. Cleveland	27	\$ 1,000,000	106				63			43
TOTAL					\$ 1,000,000	106	-	-	-	63	-	-	43

Department of Planning and Development
LOW INCOME HOUSING TAX CREDIT COMMITMENTS
January 1 - June 30, 2014

	Quarter Approved	Development Name	Developer	Project Address	Ward	Tax Credit Allocation	Equity Generated	Total Units	Units by Income Level						
									0- 15%	16- 30%	31- 50%	51- 60%	61- 80%	81- 100%	101+ %
DPD 9% CREDITS	1st	Woodlawn Park Senior Apartments	Preservation of Affordable Housing, Inc.	6116-44 S. Cottage Grove	20	\$ 1,415,000	\$ 14,433,000	65			26	39			
DPD 4% CREDITS	2nd	Parkside of Old Town- Phase IIB	Parkside Phase IIB, LP	459 W. Division 1151 N. Cleveland	27		\$ 8,734,843	106				63			43
TOTAL							\$23,167,843	171	-	-	26	102	-	-	43

Department of Planning and Development
ILLINOIS AFFORDABLE HOUSING TAX CREDIT COMMITMENTS
 January 1 - June 30, 2014

Quarter Approved	Development Name	Developer	Project Address	Ward	Reservation	Resources Generated	Total Units	Units by Income Level							
								0- 15%	16- 30%	31- 50%	51- 60%	61- 80%	81- 100%	101+ %	
2nd	Parkside of Old Town-- Phase IIB	Parkside Phase IIB, LP	459 W. Division 1151 N. Cleveland	27	\$4,000,000	\$3,590,000	106				63			43	
TOTAL APPROVED TAX CREDIT PROJECTS								106	-	-	-	63	-	-	43

Department of Planning and Development
MULTI-FAMILY MORTGAGE REVENUE BOND COMMITMENTS
 January 1 - June 30, 2014

Quarter Approved	Development Name	Developer	Project Address	Ward	Bond Allocation	Total Units	Units by Income Level						
							0- 15%	16- 30%	31- 50%	51- 60%	61- 80%	81- 100%	101+ %
2nd	Parkside of Old Town— Phase IIb	Parkside Phase IIb, LP	459 W. Division 1151 N. Cleveland	27	\$ 27,000,000	106				63			43
TOTAL					\$ 27,000,000	106	-	-	-	63	-	-	43

Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO	TOTAL STUDIOS	TOTAL 1BDM	TOTAL 2BDM	TOTAL 3BDM	TOTAL 4+-BDM	Total Beds	0-15%	16-30%
1622 California Venture LLC c/o Audit Management Inc.	1622 N. California	1	West Town	\$ 91,860	20	20	0	0	0	0	0	20		
Barnes Real Estate	2658 W. Armitage	1	Logan Square	\$ 12,060	1	0	0	0	1	0	0	1		
Bickerdike Redevelopment Corp (Howard Apartments LP)	1567-69 N. Hoyne	1	West Town	\$ 44,160	16	0	15	1	0	0	0		16	
Cortland Street, LLC c/o Checkmate Realty & Dev. Inc.	1908-14 N. Kimball / 3400-08 W. Cortland	1	Logan Square	\$ 9,360	1	0	0	0	1	0	0	2		
Humboldt Park United Methodist Church	2120-22 N. Mozart	1	Logan Square	\$ 24,960	4	0	0	3	0	1	0	3	1	
Humboldt Ridge II L.P. c/o Related Management	1810-16 N. St. Louis	1	Logan Square	\$ 29,136	6	0	0	1	0	5	0	1	5	
Khachi, Edward	1657 N. Francisco	1	West Town	\$ 3,804	1	0	0	0	1	0	0		1	
L.U.C.H.A. (Borinquen Bella LP)	1456 N. Rockwell / 2609 W. Lemoyne	1	West Town	\$ 8,364	2	0	0	0	2	0	0		2	
L.U.C.H.A. (Borinquen Bella LP)	1414-18 N. Washtenaw	1	West Town	\$ 13,488	3	0	0	1	1	1	0	3		
L.U.C.H.A. (Borinquen Bella LP)	1318 N. Rockwell / 2603-07 W. Evergreen	1	West Town	\$ 23,316	4	0	0	0	2	2	0	1	3	
L.U.C.H.A. (Madres Unidas LP)	1516 N. Talman	1	West Town	\$ 15,192	2	0	0	0	1	1	0	1	1	
Renaissance Realty Group, Inc. (Renaissance West)	2517 W. Fullerton	1	Logan Square	\$ 95,400	30	0	30	0	0	0	0		30	
Harris Jr., Roosevelt	2724 W. Jackson	2	East Garfield Park	\$ 11,760	1	0	0	0	0	0	1	1		
YMCA of Metro Chicago	30 W. Chicago	2	Near North Side	\$ 521,860	126	126	0	0	0	0	0	126		
18th & Wabash Corporation	1801 S. Wabash	3	Near South Side	\$ 149,730	60	60	0	0	0	0	0	10	50	
6034 Building LLC	6034-52 S. Prairie	3	Washington Park	\$ 31,836	5	0	0	0	4	1	0	3	2	
A Safe Haven LLC / KMA Holdings LLC	4750-58 S. Michigan / 64 E. 48th	3	Grand Boulevard	\$ 60,240	8	0	0	0	2	3	3	4	4	
Barnes Real Estate	3840-02 S. King Dr	3	Douglas	\$ 24,036	4	0	0	3	1	0	0	3	1	
Barnes Real Estate	4221 S. Prairie	3	Grand Boulevard	\$ 13,800	1	0	0	0	0	0	1	1		
Barnes Real Estate	4463 S. Shields	3	Fuller Park	\$ 10,644	1	0	0	0	0	1	0	1		
Barnes Real Estate	4637-39 S. Prairie	3	Grand Boulevard	\$ 34,704	3	0	0	0	1	0	2	3		
Barnes Real Estate	4824 S. Prairie	3	Grand Boulevard	\$ 25,200	2	0	0	0	0	0	2		2	
Barnes Real Estate	5161-63 S. Michigan	3	Washington Park	\$ 17,724	2	0	0	0	0	2	0	2		
Barnes Real Estate	5611 S. Lafayette	3	Washington Park	\$ 8,400	1	0	0	0	1	0	0	1		
Building 5606 Wabash LLC	5606 S. Wabash	3	Washington Park	\$ 32,268	5	0	0	0	3	2	0	1	4	
Chicago Metro Hsg Dev Corp (Progressive Square LP)	4748-56 S. Wabash	3	Grand Boulevard	\$ 22,416	3	0	0	0	1	2	0	2	1	

Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIOS						TOTAL 4+ BDRM				0-15%	16-30%
						TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4+ BDRM	TOTAL BEDS						
Chicago Metro Hsg Dev Corp c/o Kass Management	5152-78 S. King Dr	3	Washington Park	\$ 6,120	1	0	0	1	0	0	0	0	0	0	0	1	
Dubiel, Morgan	4149 S. Wells	3	Fuller Park	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	1	
Essex-King Apartments, LLC	5300-10 S King Dr / 363-69 E. 53rd & 5248 S. King / 370 E. 53rd	3	Washington Park	\$ 22,500	4	0	0	0	2	2	0	0	0	0	0	2	2
Ezman Holdings, LLC-4459 Indiana	4457-59 S. Indiana / 206-14 E. 45th	3	Grand Boulevard	\$ 20,520	5	0	0	0	4	1	0	0	0	0	0	4	1
Holsten Management (Hilliard Homes LP)	2111 S. Clark	3	Near South Side	\$ 30,840	7	0	0	7	0	0	0	0	0	0	0	7	
King Preservation LP	5049 S. King Drive	3	Grand Boulevard	\$ 118,008	15	0	0	0	5	0	10	0	0	0	0	11	4
Mercy Housing Lakefront (South Loop Limited Partnership)	1521 S. Wabash	3	Near South Side	\$ 49,740	27	27	0	0	0	0	0	0	0	0	0	22	5
Park R, LLC	202-20 E. Garfield / 5730-40 S. Calumet / 5447 S Indiana / 5446-50 S Prairie	3	Washington Park	\$ 199,764	30	0	0	3	17	10	0	0	0	0	0	5	25
Paul G. Stewart Apartments / Charles A Beckett Assoc LP (M)	400 E. 41st Street	3	Grand Boulevard	\$ 63,852	10	0	0	10	0	0	0	0	0	0	0	10	
Wayne, Jack	4927-29 S. Prairie	3	Grand Boulevard	\$ 12,000	1	0	0	0	0	1	0	0	0	0	0	1	
Whitfield, Dewayne	5543 S. Shields	3	Englewood	\$ 8,160	1	0	0	0	1	0	0	0	0	0	0	1	
Community Hsg Partners II LP	3515-55 S. Cottage Grove	4	Oakland	\$ 129,564	16	0	0	4	9	3	0	0	0	0	0	8	8
Drexel Court LLC	4742-48 S. Drexel	4	Kenwood	\$ 6,000	1	0	0	1	0	0	0	0	0	0	0	1	
Hinojosa, Oscar	5220 S. Harper	4	Hyde Park	\$ 11,280	2	0	2	0	0	0	0	0	0	0	0	2	
Oates, Beutonna	4340 S. Lake Park	4	Kenwood	\$ 10,500	1	0	0	0	0	0	1	0	0	0	0	1	
Peterson Properties of Chgo, LLC	647-49 E 50th Place	4	Grand Blvd.	\$ 5,100	1	0	0	1	0	0	0	0	0	0	0	1	
VCP Funding III, LLC-Series 4611 Drexel	4611-17 S. Drexel	4	Kenwood	\$ 53,640	10	0	0	0	10	0	0	0	0	0	0	10	
6849 S. Clyde, LLC	6849 S. Clyde	5	South Shore	\$ 5,640	1	0	0	0	1	0	0	0	0	0	0	1	
6914 S Clyde LLC	6914-16 S. Clyde	5	South Shore	\$ 28,320	6	0	0	6	0	0	0	0	0	0	0	6	
c/o Phoenix Property Mgt	7040-50 S. Merrill	5	South Shore	\$ 31,680	11	0	3	8	0	0	0	0	0	0	0	11	
7040-50 S Merrill LLC	7601-11 S. Drexel / 905 E. 76th	5	Greater Grand Boulevard	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	1	
7601 S Drexel LLC	2055 E 72nd St	5	South Shore	\$ 6,120	1	0	0	0	1	0	0	0	0	0	0	1	
Amuwo, Shaffdeen / Public Health Associates LLC	6706-08 S. Clyde	5	South Shore	\$ 7,320	1	0	0	0	1	0	0	0	0	0	0	1	
Benson, Lilah						0	0	0	1	0	0	0	0	0	0	1	

Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIOS					TOTAL BEDS					16-30%
						TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4-BRM	TOTAL 5-BRM	TOTAL 6-BRM	TOTAL 7-BRM	TOTAL 8-BRM	TOTAL 9-BRM	TOTAL 10-BRM	
Dougherty Properties, LLC	6940-42 S Paxton	5	South Shore	\$ 9,480	1	0	0	0	1	0	0	0	0	0	0	1
Dubiel, Morgan	7437-39 S. Chapel	5	South Shore	\$ 10,800	1	0	0	0	1	0	0	0	0	0	0	1
Family Rescue	6820-30 S. Ridgeland	5	South Shore	\$ 85,320	22	0	0	6	6	10	0	0	0	0	0	22
Island Terrace Apartments	6430 S. Stony Island	5	Woodlawn	\$ 13,272	2	0	0	1	1	0	0	0	0	0	0	1
Jeffery Building Inc	7102 S. Jeffery	5	South Shore	\$ 5,820	1	0	0	1	0	0	0	0	0	0	0	1
Kennedy, Sonia	7122 S. University	5	Greater Grand Crossing	\$ 12,000	1	0	0	0	1	0	0	0	0	0	0	1
King Oden c/o Unique Real Estate	1509 E. Marquette	5	Woodlawn	\$ 7,200	1	0	0	0	1	0	0	0	0	0	0	1
Lakeside Real Estate (2358 E 70th Place LLC)	2358 E. 70th Place	5	South Shore	\$ 42,840	8	0	0	8	0	0	0	0	0	0	0	4
London, Adrienne	7038-40 S. Clyde	5	South Shore	\$ 15,960	2	0	0	0	1	1	0	0	0	0	0	2
Luster, Jacqueline	2353 E. 70th St.	5	South Shore	\$ 5,700	1	0	0	0	1	0	0	0	0	0	0	1
M & A Management	7001-09 S. Clyde / 2107 E 70th	5	South Shore	\$ 54,900	6	0	0	0	1	5	0	0	0	0	0	4
Maben, LLC	5736 S Stony Island	5	Hyde Park	\$ 5,460	1	0	1	0	0	0	0	0	0	0	0	1
Phillips, Joseph	7249 S. Merrill	5	South Shore	\$ 9,720	1	0	0	0	0	1	0	0	0	0	0	1
RaHa Properties, LLC	7122 S. Drexel	5	Greater Grand Crossing	\$ 9,600	1	0	0	0	0	1	0	0	0	0	0	1
The Genesis Group 7024, Inc.	7024-32 S. Paxton	5	South Shore	\$ 51,768	8	0	0	0	5	3	0	0	0	0	0	3
Thompson, Willa	6821 S. Crandon	5	South Shore	\$ 10,800	1	0	0	0	0	1	0	0	0	0	0	1
TP Housing Solutions LLC	6838 S. Dorchester	5	South Shore	\$ 9,180	1	0	0	0	0	1	0	0	0	0	0	1
VCP 6901 Paxton LLC	6901-17 S. Paxton / 2213-17 E 69th	5	South Shore	\$ 28,260	3	0	0	0	1	2	0	0	0	0	0	1
WE CAN	1554-56 E. 65th St	5	Woodlawn	\$ 46,896	8	0	1	7	0	0	0	0	0	0	0	8
Wolcott Group (TWG Dorchester LLC)	6800-20 S. Dorchester	5	South Shore	\$ 135,720	17	0	0	1	5	8	3	0	0	0	0	14
6950-58 S. Wentworth, LLC	6950-58 S. Wentworth / 204-08 W 70th	6	Greater Grand	\$ 29,880	4	0	0	2	2	0	0	0	0	0	0	3
Atwater, Winston	7542 S. Calumet	6	Greater Grand Crossing	\$ 7,320	1	0	0	0	1	0	0	0	0	0	0	1
Baldwin, Stephanie Monique	147 W. 71st St	6	Greater Grand Crossing	\$ 10,800	1	0	0	0	0	1	0	0	0	0	0	1
Barnes Real Estate	6733 S. Morgan	6	Englewood	\$ 10,020	1	0	0	0	0	1	0	0	0	0	0	1
Barnes Real Estate	7120 S. Parnell	6	Englewood	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	1
Barnes Real Estate	7230 S. Yale	6	Greater Grand Crossing	\$ 17,400	1	0	0	0	0	0	1	0	0	0	0	1
Barnes Real Estate	7248 S. Yale	6	Greater Grand Crossing	\$ 9,248	1	0	0	0	1	0	0	0	0	0	0	1
Barnes Real Estate	7531 S. Eberhart	6	Greater Grand Crossing	\$ 10,500	1	0	0	0	0	0	1	0	0	0	0	1
Bertolino Pieropoulos, Lindsay	7500 S. Emerald	6	Greater Grand Crossing	\$ 10,200	1	0	0	0	0	1	0	0	0	0	0	1
Boyd, Christopher / DAQ Inc.	6712 S. Halsted	6	Englewood	\$ 9,360	1	0	0	0	1	0	0	0	0	0	0	1
Breges Management	7557-59 S. Calumet / 348-58 E 76th	6	Greater Grand Crossing	\$ 21,480	4	0	0	2	2	0	0	0	0	0	0	4
Breges Management	8144-46 S. Vernon	6	Chatham	\$ 11,700	2	0	0	1	1	0	0	0	0	0	0	2
Brown, Yolanda	7556 S. Langley / 654 E 76th	6	Grand Crossing	\$ 7,620	1	0	0	1	0	0	0	0	0	0	0	1

Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO						TOTAL STUDIOS				TOTAL 1-BRM				TOTAL 2-3BRM				TOTAL 3-4BRM				TOTAL 4-5BRM				Total Beds		0-15%		16-30%	
						TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO	TOTAL SRO
Crum, Jerry	6944 S. Carpenter	6	Englewood	\$ 10,800	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Eggleston Prop, LLC	443 W. 75th / 7502-06 S Eggleston	6	Greater Grand Crossing	\$ 38,160	6	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Galloway, Michael	7013 S. Morgan	6	Englewood	\$ 9,360	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Greene, Michael	7217 S. Stewart	6	Austin	\$ 12,000	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hopkins, William & Rebecca	7725-27 S. Lowe	6	Auburn Gresham	\$ 4,920	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Ingram, Brian K.	7228 S. Champplain	6	Greater Grand Crossing	\$ 9,360	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Kennedy, Sonia	57 W. 74th St.	6	Greater Grand Crossing	\$ 6,000	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Marsh, Mary Ann & Reginald	7538 S. Rhodes	6	Greater Grand Crossing	\$ 5,832	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Park Federal Savings Bank c/o Safe Harbor Realty	7332-34 S. Lowe	6	Englewood	\$ 14,520	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Payne, Charles	7331 S. Vernon	6	Greater Grand Crossing	\$ 5,460	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Peoples, Sedalia	6948 S. Wabash	6	Greater Grand Crossing	\$ 11,400	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Perry Management Corp.	7501-09 S. Stewart	6	Greater Grand Crossing	\$ 16,440	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Protaziuk, Joanna	1007 W. 68th St.	6	Englewood	\$ 8,760	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Richardson, Redic & Mary	7000 S Racine / 1207 W 70th	6	West Englewood	\$ 5,760	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
RJ Harvey Mgmt Inc	6943-45 S. Indiana	6	Greater Grand Crossing	\$ 8,760	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Smiley, Nathaniel	6844-46 S. Normal	6	Englewood	\$ 5,760	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
The Ram Organization, LLC	6957-59 S. Eggleston / 416-18 W. 70th St	6	Englewood	\$ 11,040	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
V&J Holdings, LLC	700-10 W. 76th	6	Englewood	\$ 5,760	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Weillbitt Corporation	7108 S. Emerald	6	Englewood	\$ 10,200	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Windham, Ocie & Stephanie	7945-53 S. Langley	6	Chatham	\$ 15,120	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7115 S E End LLLP	7115-25 S East End Ave	7	South Shore	\$ 8,760	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7320 South Phillips, LLC	7320-24 S. Phillips	7	South Shore	\$ 6,720	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7613 Kingston, LLC	7613-17 S. Kingston	7	South Shore	\$ 22,560	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7666 South South Shore, LLC	7662-66 S. South Shore Dr	7	South Shore	\$ 5,280	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7763 S Shore Drive LLC	7763 S. Shore / 3000-08 E. 78th	7	South Shore	\$ 6,900	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
c/o Phoenix Property Mgt	2909-19 E. 78th St.	7	South Shore	\$ 12,720	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
78th Street, LLC	7900 S Essex Ave	7	South Chicago	\$ 7,560	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7900 S Essex, LLC	7931 S Manistee	7	South Chicago	\$ 6,420	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7931 Manistee, LLC	8346 S. Muskegon	7	South Chicago	\$ 7,140	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
AG2 Properties LLC	7750-56 S. Muskegon	7	South Chicago	\$ 48,000	9	0	2	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
AMG Muskegon, LLC	7941 S. Phillips	7	South Chicago	\$ 11,400	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Banks, Johnny Sr.	7751 S Saginaw	7	South Shore	\$ 7,800	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Barnes, Carolyn and Lester																																					

Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO	TOTAL Studios	TOTAL 1-Bdrm	TOTAL 2-Bdrm	TOTAL 3-Bdrm	TOTAL 4+ Bdrm	Total Beds	0-15%	16-30%
Barnes, John	7918 S Essex	7	South Chicago	\$ 9,900	1	0	0	0	1	0	0	1	1	
Brown, Derek	7155 S. East End	7	South Shore	\$ 6,960	1	0	0	0	1	0	0	1	1	
Chicago Title Land Trust Co (Beneficiary Roy Ferrell and Power of attorney Fred Saffold)	7253 S Cornell	7	South Shore	\$ 8,760	1	0	0	0	1	0	0	1	1	
Colfax SE, LLC	7608-28 S. Colfax	7	South Shore	\$ 58,440	9	0	0	5	4	0	0	9		
Constance, LLC	7153 S Constance / 1818-28 E. 72nd	7	South Shore	\$ 6,720	1	0	0	0	1	0	0	1	1	
Derosena, Lucien c/o Frontier Realty Group	3033-41 E 79th St.	7	South Chicago	\$ 6,420	1	0	0	1	0	0	0	1	1	
Dibane LLC	9747 S. Merrion	7	South Deering	\$ 13,320	1	0	0	0	0	0	1	1	1	
Escanaba Gardens, LLC	2900-06 E. 79th St / 7847-55 S. Escanaba	7	South Shore	\$ 10,200	1	0	0	0	0	1	0	1	1	
Hopkins, William & Rebecca	7124-36 S Bennett	7	South Shore	\$ 7,260	1	0	0	0	1	0	0	1	1	
Horizon Lake 7200 Coles, LLC	7200 S. Coles	7	South Shore	\$ 33,300	5	0	0	5	0	0	0	5	5	
IBF Property Mgt (2523 75th LLC)	2523 E. 75th St / 7502 S. Kingston	7	South Shore	\$ 26,640	5	0	0	5	0	0	0	5	5	
ICON Capital Group, LLC	3053 E. 79th St.	7	South Chicago	\$ 8,160	1	0	0	0	1	0	0	1	1	
Jean, Hector	2815 E. 76th St.	7	South Shore	\$ 7,020	1	0	0	0	0	0	1	1	1	
Kang, Catherine & Jason	9531 S Euclid	7	South Deering	\$ 8,100	1	0	0	0	0	1	0	1	1	
Kingston Properties LLC	7110-16 S. Cornell Ave	7	South Shore	\$ 40,380	8	0	8	0	0	0	0	4	4	
Kingston Rentals, LLC	7656 S Kingston Ave.	7	South Shore	\$ 15,480	2	0	0	0	2	0	0	1	1	
Lincoln, Camellio	8236 S. South Shore Drive	7	South Chicago	\$ 7,740	1	0	0	0	1	0	0	1	1	
Love, Eugene and Beverly	8012 S Essex	7	South Chicago	\$ 9,600	1	0	0	0	1	0	0	1	1	
Luce, John (American NB&TCO OF Chgo. Trust #124126-07)	7901-05 S. Kingston	7	South Chicago	\$ 25,476	7	0	7	0	0	0	0	7	7	
Luella Rentals, LLC	7450 S. Luella / 2220-26 E. 75th St.	7	South Shore	\$ 3,600	1	0	1	0	0	0	0	1	1	
Maryland Properties, LLC	8047-55 S. Manistee	7	South Chicago	\$ 24,240	4	0	0	4	0	0	0	4	4	
Metro Property Group LLLP an Arizona LLLP	7733 S. South Shore Dr	7	South Shore	\$ 11,642	2	0	0	2	0	0	0	2	2	
Michel, Fritz	2953 E. 81st	7	South Chicago	\$ 6,960	1	0	0	0	1	0	0	1	1	
Mid-City Apartments, LLC	7600-10 S. Essex	7	Washington Park	\$ 20,820	4	0	0	0	1	2	1	4	4	
Mid-City Apartments, LLC	7436-46 S. Kingston / 2475 E. 74th Pl	7	South Shore	\$ 59,700	8	0	0	0	2	6	0	1	7	
MPM Property Mgt	7951-55 S. Muskegon / 2818-36 E 78th	7	South Chicago	\$ 33,060	6	0	0	6	0	0	0	6	6	
Newby Partners LLC	2512-18 E. 79th St	7	South Shore	\$ 26,640	5	0	0	5	0	0	0	5	5	
Nwanah, Patrick	7827 S. Colfax	7	South Shore	\$ 7,164	1	0	0	0	0	1	0	1	1	

Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO	TOTAL Studios	TOTAL 1Bdm	TOTAL 2Bdm	TOTAL 3Bdm	TOTAL 4+ Bdm	Total Beds	0-15%	16-30%
Pangea Real Estate (PP Chicago 10, LLC)	1734 E. 72nd St	7	South Shore	\$ 57,900	9	0	0	7	2	0	0	0	9	
Pangea Real Estate (PP Chicago 10, LLC)	1962 E. 73rd Place	7	South Shore	\$ 25,680	3	0	0	0	2	0	1	0	3	
Pangea Ventures LLC (JWS Charter 4 LLC)	7131-45 S. Yates	7	South Shore	\$ 49,092	6	0	0	0	4	2	0	0	4	2
Patrick Investments, LLC	3017 E. 80th Place	7	South Chicago	\$ 9,156	1	0	0	0	0	1	0	0	1	
Perteit, Joseph	8150 S. Shore Dr	7	South Chicago	\$ 5,520	1	0	0	1	0	0	0	0	1	
Phillips Courtyard, LLC	7616-24 S Phillips	7	South Shore	\$ 7,560	1	0	0	0	1	0	0	0	1	
RaHa Properties, LLC	2648-54 E. 78th St.	7	South Shore	\$ 13,920	2	0	0	0	2	0	0	0	2	
Robin Limited Partnership	8112 S Burnham	7	South Chicago	\$ 13,716	1	0	0	0	0	0	1	0	1	
Saez, Angela	7839-43 S. Colfax	7	South Shore	\$ 24,840	4	0	0	0	0	4	0	0	3	1
Smith, Victoria	8942 S. Essex	7	Calumet Heights	\$ 10,800	1	0	0	0	0	1	0	0	1	
Stella Equities, LLC	7827 S. Marquette	7	South Shore	\$ 8,760	1	0	0	0	1	0	0	0	1	
VCP 7546 Saginaw LLC	7546-48 S. Saginaw	7	South Shore	\$ 13,980	2	0	0	1	1	0	0	0	2	
VCP 8100 Essex, LLC	8100-14 S Essex / 2449-57 E 81st St	7	South Chicago	\$ 15,120	2	0	0	0	2	0	0	0	2	
Wayne, Jack	7631-33 S. Kingston	7	South Shore	\$ 10,800	1	0	0	0	0	1	0	0	1	
Wayne, Jack	7640-42 S. Colfax	7	South Shore	\$ 10,800	1	0	0	0	0	1	0	0	1	
Wayne, Jack	7636-38 S. Colfax	7	South Shore	\$ 21,600	2	0	0	0	0	2	0	0	2	
Wayne, Jack	7306 S. Phillips	7	South Shore	\$ 14,040	2	0	0	2	0	0	0	0	2	
Wayne, Jack	7801-05 S. Phillips / 2435-45 E 78th	7	South Shore	\$ 55,620	6	0	0	1	5	0	0	0	2	4
Wayne, Jack	7700-06 S. Phillips / 2415-19 E. 77th	7	South Shore	\$ 51,840	6	0	0	1	2	3	0	0	2	4
Wiginton, Ben	8232 S. Marquette	7	South Chicago	\$ 10,800	1	0	0	0	0	1	0	0	1	
Windham, Ocie & Stephanie	7200-10 S. Shore Dr	7	South Shore	\$ 28,440	5	0	3	2	0	0	0	0	5	
Windham, Ocie & Stephanie	2531-41 E. 73rd St.	7	South Shore	\$ 43,200	5	0	0	0	5	0	0	0	5	
Yurban Group LLC	8041-45 S. Manistee	7	South Chicago	\$ 41,760	3	0	0	0	0	0	3	0	3	
7701 S. Cottage Grove LLC c/o Main Street Real Estate Services Ltd	7701 S. Cottage Grove / 809-11 E. 77th	8	Greater Grand Boulevard	\$ 16,560	3	0	0	3	0	0	0	0	3	
7816 Cornell LLC	7816-28 S. Cornell	8	South Shore	\$ 13,320	2	0	0	0	2	0	0	0	1	1

Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIOS				TOTAL 1-80mm				TOTAL 2-90mm				TOTAL 3-90mm				TOTAL 4-80mm				Total Beds		0-15%		16-30%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
						TOTAL SRO	TOTAL 1-80mm	TOTAL 2-90mm	TOTAL 3-90mm	TOTAL 4-80mm	TOTAL 5-90mm	TOTAL 6-70mm	TOTAL 7-80mm	TOTAL 8-90mm	TOTAL 9-100mm	TOTAL 11-120mm	TOTAL 13-140mm	TOTAL 15-160mm	TOTAL 17-180mm	TOTAL 19-200mm	TOTAL 21-220mm	TOTAL 23-240mm	TOTAL 25-260mm	TOTAL 27-280mm	TOTAL 29-300mm	TOTAL 31-320mm	TOTAL 33-340mm	TOTAL 35-360mm	TOTAL 37-380mm	TOTAL 39-400mm	TOTAL 41-420mm	TOTAL 43-440mm	TOTAL 45-460mm	TOTAL 47-480mm	TOTAL 49-500mm	TOTAL 51-520mm	TOTAL 53-540mm	TOTAL 55-560mm	TOTAL 57-580mm	TOTAL 59-600mm	TOTAL 61-620mm	TOTAL 63-640mm	TOTAL 65-660mm	TOTAL 67-680mm	TOTAL 69-700mm	TOTAL 71-720mm	TOTAL 73-740mm	TOTAL 75-760mm	TOTAL 77-780mm	TOTAL 79-800mm	TOTAL 81-820mm	TOTAL 83-840mm	TOTAL 85-860mm	TOTAL 87-880mm	TOTAL 89-900mm	TOTAL 91-920mm	TOTAL 93-940mm	TOTAL 95-960mm	TOTAL 97-980mm	TOTAL 99-1000mm	TOTAL 101-1020mm	TOTAL 103-1040mm	TOTAL 105-1060mm	TOTAL 107-1080mm	TOTAL 109-1100mm	TOTAL 111-1120mm	TOTAL 113-1140mm	TOTAL 115-1160mm	TOTAL 117-1180mm	TOTAL 119-1200mm	TOTAL 121-1220mm	TOTAL 123-1240mm	TOTAL 125-1260mm	TOTAL 127-1280mm	TOTAL 129-1300mm	TOTAL 131-1320mm	TOTAL 133-1340mm	TOTAL 135-1360mm	TOTAL 137-1380mm	TOTAL 139-1400mm	TOTAL 141-1420mm	TOTAL 143-1440mm	TOTAL 145-1460mm	TOTAL 147-1480mm	TOTAL 149-1500mm	TOTAL 151-1520mm	TOTAL 153-1540mm	TOTAL 155-1560mm	TOTAL 157-1580mm	TOTAL 159-1600mm	TOTAL 161-1620mm	TOTAL 163-1640mm	TOTAL 165-1660mm	TOTAL 167-1680mm	TOTAL 169-1700mm	TOTAL 171-1720mm	TOTAL 173-1740mm	TOTAL 175-1760mm	TOTAL 177-1780mm	TOTAL 179-1800mm	TOTAL 181-1820mm	TOTAL 183-1840mm	TOTAL 185-1860mm	TOTAL 187-1880mm	TOTAL 189-1900mm	TOTAL 191-1920mm	TOTAL 193-1940mm	TOTAL 195-1960mm	TOTAL 197-1980mm	TOTAL 199-2000mm	TOTAL 201-2020mm	TOTAL 203-2040mm	TOTAL 205-2060mm	TOTAL 207-2080mm	TOTAL 209-2100mm	TOTAL 211-2120mm	TOTAL 213-2140mm	TOTAL 215-2160mm	TOTAL 217-2180mm	TOTAL 219-2200mm	TOTAL 221-2220mm	TOTAL 223-2240mm	TOTAL 225-2260mm	TOTAL 227-2280mm	TOTAL 229-2300mm	TOTAL 231-2320mm	TOTAL 233-2340mm	TOTAL 235-2360mm	TOTAL 237-2380mm	TOTAL 239-2400mm	TOTAL 241-2420mm	TOTAL 243-2440mm	TOTAL 245-2460mm	TOTAL 247-2480mm	TOTAL 249-2500mm	TOTAL 251-2520mm	TOTAL 253-2540mm	TOTAL 255-2560mm	TOTAL 257-2580mm	TOTAL 259-2600mm	TOTAL 261-2620mm	TOTAL 263-2640mm	TOTAL 265-2660mm	TOTAL 267-2680mm	TOTAL 269-2700mm	TOTAL 271-2720mm	TOTAL 273-2740mm	TOTAL 275-2760mm	TOTAL 277-2780mm	TOTAL 279-2800mm	TOTAL 281-2820mm	TOTAL 283-2840mm	TOTAL 285-2860mm	TOTAL 287-2880mm	TOTAL 289-2900mm	TOTAL 291-2920mm	TOTAL 293-2940mm	TOTAL 295-2960mm	TOTAL 297-2980mm	TOTAL 299-3000mm	TOTAL 301-3020mm	TOTAL 303-3040mm	TOTAL 305-3060mm	TOTAL 307-3080mm	TOTAL 309-3100mm	TOTAL 311-3120mm	TOTAL 313-3140mm	TOTAL 315-3160mm	TOTAL 317-3180mm	TOTAL 319-3200mm	TOTAL 321-3220mm	TOTAL 323-3240mm	TOTAL 325-3260mm	TOTAL 327-3280mm	TOTAL 329-3300mm	TOTAL 331-3320mm	TOTAL 333-3340mm	TOTAL 335-3360mm	TOTAL 337-3380mm	TOTAL 339-3400mm	TOTAL 341-3420mm	TOTAL 343-3440mm	TOTAL 345-3460mm	TOTAL 347-3480mm	TOTAL 349-3500mm	TOTAL 351-3520mm	TOTAL 353-3540mm	TOTAL 355-3560mm	TOTAL 357-3580mm	TOTAL 359-3600mm	TOTAL 361-3620mm	TOTAL 363-3640mm	TOTAL 365-3660mm	TOTAL 367-3680mm	TOTAL 369-3700mm	TOTAL 371-3720mm	TOTAL 373-3740mm	TOTAL 375-3760mm	TOTAL 377-3780mm	TOTAL 379-3800mm	TOTAL 381-3820mm	TOTAL 383-3840mm	TOTAL 385-3860mm	TOTAL 387-3880mm	TOTAL 389-3900mm	TOTAL 391-3920mm	TOTAL 393-3940mm	TOTAL 395-3960mm	TOTAL 397-3980mm	TOTAL 399-4000mm	TOTAL 401-4020mm	TOTAL 403-4040mm	TOTAL 405-4060mm	TOTAL 407-4080mm	TOTAL 409-4100mm	TOTAL 411-4120mm	TOTAL 413-4140mm	TOTAL 415-4160mm	TOTAL 417-4180mm	TOTAL 419-4200mm	TOTAL 421-4220mm	TOTAL 423-4240mm	TOTAL 425-4260mm	TOTAL 427-4280mm	TOTAL 429-4300mm	TOTAL 431-4320mm	TOTAL 433-4340mm	TOTAL 435-4360mm	TOTAL 437-4380mm	TOTAL 439-4400mm	TOTAL 441-4420mm	TOTAL 443-4440mm	TOTAL 445-4460mm	TOTAL 447-4480mm	TOTAL 449-4500mm	TOTAL 451-4520mm	TOTAL 453-4540mm	TOTAL 455-4560mm	TOTAL 457-4580mm	TOTAL 459-4600mm	TOTAL 461-4620mm	TOTAL 463-4640mm	TOTAL 465-4660mm	TOTAL 467-4680mm	TOTAL 469-4700mm	TOTAL 471-4720mm	TOTAL 473-4740mm	TOTAL 475-4760mm	TOTAL 477-4780mm	TOTAL 479-4800mm	TOTAL 481-4820mm	TOTAL 483-4840mm	TOTAL 485-4860mm	TOTAL 487-4880mm	TOTAL 489-4900mm	TOTAL 491-4920mm	TOTAL 493-4940mm	TOTAL 495-4960mm	TOTAL 497-4980mm	TOTAL 499-5000mm	TOTAL 501-5020mm	TOTAL 503-5040mm	TOTAL 505-5060mm	TOTAL 507-5080mm	TOTAL 509-5100mm	TOTAL 511-5120mm	TOTAL 513-5140mm	TOTAL 515-5160mm	TOTAL 517-5180mm	TOTAL 519-5200mm	TOTAL 521-5220mm	TOTAL 523-5240mm	TOTAL 525-5260mm	TOTAL 527-5280mm	TOTAL 529-5300mm	TOTAL 531-5320mm	TOTAL 533-5340mm	TOTAL 535-5360mm	TOTAL 537-5380mm	TOTAL 539-5400mm	TOTAL 541-5420mm	TOTAL 543-5440mm	TOTAL 545-5460mm	TOTAL 547-5480mm	TOTAL 549-5500mm	TOTAL 551-5520mm	TOTAL 553-5540mm	TOTAL 555-5560mm	TOTAL 557-5580mm	TOTAL 559-5600mm	TOTAL 561-5620mm	TOTAL 563-5640mm	TOTAL 565-5660mm	TOTAL 567-5680mm	TOTAL 569-5700mm	TOTAL 571-5720mm	TOTAL 573-5740mm	TOTAL 575-5760mm	TOTAL 577-5780mm	TOTAL 579-5800mm	TOTAL 581-5820mm	TOTAL 583-5840mm	TOTAL 585-5860mm	TOTAL 587-5880mm	TOTAL 589-5900mm	TOTAL 591-5920mm	TOTAL 593-5940mm	TOTAL 595-5960mm	TOTAL 597-5980mm	TOTAL 599-6000mm	TOTAL 601-6020mm	TOTAL 603-6040mm	TOTAL 605-6060mm	TOTAL 607-6080mm	TOTAL 609-6100mm	TOTAL 611-6120mm	TOTAL 613-6140mm	TOTAL 615-6160mm	TOTAL 617-6180mm	TOTAL 619-6200mm	TOTAL 621-6220mm	TOTAL 623-6240mm	TOTAL 625-6260mm	TOTAL 627-6280mm	TOTAL 629-6300mm	TOTAL 631-6320mm	TOTAL 633-6340mm	TOTAL 635-6360mm	TOTAL 637-6380mm	TOTAL 639-6400mm	TOTAL 641-6420mm	TOTAL 643-6440mm	TOTAL 645-6460mm	TOTAL 647-6480mm	TOTAL 649-6500mm	TOTAL 651-6520mm	TOTAL 653-6540mm	TOTAL 655-6560mm	TOTAL 657-6580mm	TOTAL 659-6600mm	TOTAL 661-6620mm	TOTAL 663-6640mm	TOTAL 665-6660mm	TOTAL 667-6680mm	TOTAL 669-6700mm	TOTAL 671-6720mm	TOTAL 673-6740mm	TOTAL 675-6760mm	TOTAL 677-6780mm	TOTAL 679-6800mm	TOTAL 681-6820mm	TOTAL 683-6840mm	TOTAL 685-6860mm	TOTAL 687-6880mm	TOTAL 689-6900mm	TOTAL 691-6920mm	TOTAL 693-6940mm	TOTAL 695-6960mm	TOTAL 697-6980mm	TOTAL 699-7000mm	TOTAL 701-7020mm	TOTAL 703-7040mm	TOTAL 705-7060mm	TOTAL 707-7080mm	TOTAL 709-7100mm	TOTAL 711-7120mm	TOTAL 713-7140mm	TOTAL 715-7160mm	TOTAL 717-7180mm	TOTAL 719-7200mm	TOTAL 721-7220mm	TOTAL 723-7240mm	TOTAL 725-7260mm	TOTAL 727-7280mm	TOTAL 729-7300mm	TOTAL 731-7320mm	TOTAL 733-7340mm	TOTAL 735-7360mm	TOTAL 737-7380mm	TOTAL 739-7400mm	TOTAL 741-7420mm	TOTAL 743-7440mm	TOTAL 745-7460mm	TOTAL 747-7480mm	TOTAL 749-7500mm	TOTAL 751-7520mm	TOTAL 753-7540mm	TOTAL 755-7560mm	TOTAL 757-7580mm	TOTAL 759-7600mm	TOTAL 761-7620mm	TOTAL 763-7640mm	TOTAL 765-7660mm	TOTAL 767-7680mm	TOTAL 769-7700mm	TOTAL 771-7720mm	TOTAL 773-7740mm	TOTAL 775-7760mm	TOTAL 777-7780mm	TOTAL 779-7800mm	TOTAL 781-7820mm	TOTAL 783-7840mm	TOTAL 785-7860mm	TOTAL 787-7880mm	TOTAL 789-7900mm	TOTAL 791-7920mm	TOTAL 793-7940mm	TOTAL 795-7960mm	TOTAL 797-7980mm	TOTAL 799-8000mm	TOTAL 801-8020mm	TOTAL 803-8040mm	TOTAL 805-8060mm	TOTAL 807-8080mm	TOTAL 809-8100mm	TOTAL 811-8120mm	TOTAL 813-8140mm	TOTAL 815-8160mm	TOTAL 817-8180mm	TOTAL 819-8200mm	TOTAL 821-8220mm	TOTAL 823-8240mm	TOTAL 825-8260mm	TOTAL 827-8280mm	TOTAL 829-8300mm	TOTAL 831-8320mm	TOTAL 833-8340mm	TOTAL 835-8360mm	TOTAL 837-8380mm	TOTAL 839-8400mm	TOTAL 841-8420mm	TOTAL 843-8440mm	TOTAL 845-8460mm	TOTAL 847-8480mm	TOTAL 849-8500mm	TOTAL 851-8520mm	TOTAL 853-8540mm	TOTAL 855-8560mm	TOTAL 857-8580mm	TOTAL 859-8600mm	TOTAL 861-8620mm	TOTAL 863-8640mm	TOTAL 865-8660mm	TOTAL 867-8680mm	TOTAL 869-8700mm	TOTAL 871-8720mm	TOTAL 873-8740mm	TOTAL 875-8760mm	TOTAL 877-8780mm	TOTAL 879-8800mm	TOTAL 881-8820mm	TOTAL 883-8840mm	TOTAL 885-8860mm	TOTAL 887-8880mm	TOTAL 889-8900mm	TOTAL 891-8920mm	TOTAL 893-8940mm	TOTAL 895-8960mm	TOTAL 897-8980mm	TOTAL 899-9000mm	TOTAL 901-9020mm	TOTAL 903-9040mm	TOTAL 905-9060mm	TOTAL 907-9080mm	TOTAL 909-9100mm	TOTAL 911-9120mm	TOTAL 913-9140mm	TOTAL 915-9160mm	TOTAL 917-9180mm	TOTAL 919-9200mm	TOTAL 921-9220mm	TOTAL 923-9240mm	TOTAL 925-9260mm	TOTAL 927-9280mm	TOTAL 929-9300mm	TOTAL 931-9320mm	TOTAL 933-9340mm	TOTAL 935-9360mm	TOTAL 937-9380mm	TOTAL 939-9400mm	TOTAL 941-9420mm	TOTAL 943-9440mm	TOTAL 945-9460mm	TOTAL 947-9480mm	TOTAL 949-9500mm	TOTAL 951-9520mm	TOTAL 953-9540mm	TOTAL 955-9560mm	TOTAL 957-9580mm	TOTAL 959-9600mm	TOTAL 961-9620mm	TOTAL 963-9640mm	TOTAL 965-9660mm	TOTAL 967-9680mm	TOTAL 969-9700mm	TOTAL 971-9720mm	TOTAL 973-9740mm	TOTAL 975-9760mm	TOTAL 977-9780mm	TOTAL 979-9800mm	TOTAL 981-9820mm	TOTAL 983-9840mm	TOTAL 985-9860mm	TOTAL 987-9880mm	TOTAL 989-9900mm	TOTAL 991-9920mm	TOTAL 993-9940mm	TOTAL 995-9960mm	TOTAL 997-9980mm	TOTAL 999-10000mm	TOTAL 1001-10020mm	TOTAL 1003-10040mm	TOTAL 1005-10060mm	TOTAL 1007-10080mm	TOTAL 1009-10100mm	TOTAL 1011-10120mm	TOTAL 1013-10140mm	TOTAL 1015-10160mm	TOTAL 1017-10180mm	TOTAL 1019-10200mm	TOTAL 1021-10220mm	TOTAL 1023-10240mm	TOTAL 1025-10260mm	TOTAL 1027-10280mm	TOTAL 1029-10300mm	TOTAL 1031-10320mm	TOTAL 1033-10340mm	TOTAL 1035-10360mm	TOTAL 1037-10380mm	TOTAL 1039-10400mm	TOTAL 1041-10420mm	TOTAL 1043-10440mm	TOTAL 1045-10460mm	TOTAL 1047-10480mm	TOTAL 1049-10500mm	TOTAL 1051-10520mm	TOTAL 1053-10540mm	TOTAL 1055-10560mm	TOTAL 1057-10580mm	TOTAL 1059-10600mm	TOTAL 1061-10620mm	TOTAL 1063-10640mm	TOTAL 1065-10660mm	TOTAL 1067-10680mm	TOTAL 1069-10700mm	TOTAL 1071-10720mm	TOTAL 1073-10740mm	TOTAL 1075-10760mm	TOTAL 1077-10780mm	TOTAL 1079-10800mm	TOTAL 1081-10820mm	TOTAL 1083-10840mm	TOTAL 1085-10860mm	TOTAL 1087-10880mm	TOTAL 1089-10900mm	TOTAL 1091-10920mm	TOTAL 1093-10940mm	TOTAL 1095-10960mm	TOTAL 1097-10980mm	TOTAL 1099-11000mm	TOTAL 1101-11020mm	TOTAL 1103-11040mm	TOTAL 1105-11060mm	TOTAL 1107-11080mm	TOTAL 1109-11100mm	TOTAL 1111-11120mm	TOTAL 1113-11140mm	TOTAL 1115-11160mm	TOTAL 1117-11180mm	TOTAL 1119-11200mm	TOTAL 1121-11220mm	TOTAL 1123-11240mm	TOTAL 1125-11260mm	TOTAL 1127-11280mm	TOTAL 1129-11300mm	TOTAL 1131-11320mm	TOTAL 1133-11340mm	TOTAL 1135-11360mm	TOTAL 1137-11380mm	TOTAL 1139-11400mm	TOTAL 1141-11420mm	TOTAL 1143-11440mm	TOTAL 1145-11460mm	TOTAL 1147-11480mm	TOTAL 1149-11500mm	TOTAL 1151-11520mm	TOTAL 1153-11540mm	TOTAL 1155-11560mm	TOTAL 1157-11580mm	TOTAL 1159-11600mm	TOTAL 1161-11620mm	TOTAL 1163-11640mm	TOTAL 1165-11660mm	TOTAL 1167-11680mm	TOTAL 1169-11700mm	TOTAL 1171-11720mm	TOTAL 1173-11740mm	TOTAL 1175-11760mm	TOTAL 1177-11780mm	TOTAL 1179-11800mm	TOTAL 1181-11820mm	TOTAL 1183-11840mm	TOTAL 1185-11860mm	TOTAL 1187-11880mm	TOTAL 1189-11900mm	TOTAL 1191-11920mm	TOTAL 1193-11940mm	TOTAL 1195-11960mm	TOTAL 1197-11980mm	TOTAL 1199-12000mm	TOTAL 1201-12020mm	TOTAL 1203-12040mm	TOTAL 1205-12060mm	TOTAL 1207-12080mm	TOTAL 1209-12100mm	TOTAL 1211-12120mm	TOTAL 1213-12140mm	TOTAL 1215-12160mm	TOTAL 1217-12180mm	TOTAL 1219-12200mm	TOTAL 1221-12220mm	TOTAL 1223-12240mm	TOTAL 1225-12260mm	TOTAL 1227-12280mm	TOTAL 1229-12300mm	TOTAL 1231-12320mm	TOTAL 1233-12340mm	TOTAL 1235-12360mm	TOTAL 1237-12380mm	TOTAL 1239-12400mm	TOTAL 1241-12420mm	TOTAL 1243-12440mm	TOTAL 1245-12460mm	TOTAL 1247-12480mm	TOTAL 1249-12500mm	TOTAL 1251-12520mm	TOTAL 1253-12540mm	TOTAL 1255-12560mm	TOTAL 1257-12580mm	TOTAL 1259-12600mm	TOTAL 1261-12620mm	TOTAL 1263-12640mm	TOTAL 1265-12660mm	TOTAL 1267-12680mm	TOTAL 1269-12700mm	TOTAL 1271-12720mm	TOTAL 1273-12740mm	TOTAL 1275-12760mm	TOTAL 1277-12780mm	TOTAL 1279-12800mm	TOTAL 1281-12820mm	TOTAL 1283-12840mm	TOTAL 1285-12860mm	TOTAL 1287-12880mm	TOTAL 1289-12900mm	TOTAL 1291-12920mm	TOTAL 1293-12940mm	TOTAL 1295-12960mm	TOTAL 1297-12980mm	TOTAL 1299-13000mm	TOTAL 1301-13020mm	TOTAL 1303-13040mm	TOTAL 1305-13060mm	TOTAL 1307-13080mm	TOTAL 1309-13100mm	TOTAL 1311-13120mm	TOTAL 1313-13140mm	TOTAL 1315-13160mm	TOTAL 1317-13180mm	TOTAL 1319-13200mm	TOTAL 1321-13220mm	TOTAL 1323-13240mm	TOTAL 1325-13260mm	TOTAL 1327-13280mm	TOTAL 1329-13300mm	TOTAL 1331-13320mm	TOTAL 1333-13340mm	TOTAL 1335-13360mm	TOTAL 1337-13380mm	TOTAL 1339-13400mm	TOTAL 1341-13420mm	TOTAL 1343-13440mm	TOTAL 1345-13460mm	TOTAL 1347-13480mm	TOTAL 1349-13500mm	TOTAL 1351-13520mm	TOTAL 1353-13540mm	TOTAL 1355-13560mm	TOTAL 1357-13580mm	TOTAL 1359-13600mm	TOTAL 1361-13620mm	TOTAL 1363-13640mm	TOTAL 1365-13660mm	TOTAL 1367-13680mm	TOTAL 1369-13700mm	TOTAL 1371-13720mm	TOTAL 1373-13740mm	TOTAL 1375-13760mm	TOTAL 1377-13780mm	TOTAL 1379-13800mm	TOTAL 1381-13820mm	TOTAL 1383-13840mm	TOTAL 1385-13860mm	TOTAL 1387-13880mm	TOTAL 1389-13900mm	TOTAL 1391-13920mm	TOTAL 1393-13940mm	TOTAL 1395-13960mm	TOTAL 1397-13980mm	TOTAL 1399-14000mm	TOTAL 1401-14020mm	TOTAL 1403-14040mm	TOTAL 1405-14060mm	TOTAL 1407-14080mm	TOTAL 1409-14100mm	TOTAL 1411-14120mm	TOTAL 1413-14140mm	TOTAL 1415-14160mm	TOTAL 1417-14180mm	TOTAL 1419-14200mm	TOTAL 1421-14220mm	TOTAL 1423-14240mm	TOTAL 1425-14260mm	TOTAL 1427-14280mm	TOTAL 1429-14300mm	TOTAL 1431-14320mm	TOTAL 1433-14340mm	TOTAL 1435-14360mm	TOTAL 1437-14380mm	TOTAL 1439-14400mm	TOTAL 1441-14420mm	TOTAL 1443-14440mm	TOTAL 1445-14460mm	TOTAL 1447-14480mm	TOTAL 1449-14500mm	TOTAL 1451-14520mm	TOTAL 1453-14540mm	TOTAL 1455-14560mm	TOTAL 1457-14580mm	TOTAL 1459-14600mm	TOTAL 1461-14620mm

Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIOS						TOTAL BEDS				0-15%	16-30%
						TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4-BRM	TOTAL 5-BRM	TOTAL 6-BRM	TOTAL 7-BRM	TOTAL 8-BRM	TOTAL 9-BRM		
MIL Property Group LLC	7746 S. Greenwood	8	Greater Grand Crossing	\$ 8,760	1	0	0	1	0	0	0	0	0	0	0	1	
MLC Properties (Ingleside Investment Group)	8101-25 S. Ingleside	8	Chatham	\$ 113,340	21	0	4	16	1	0	0	0	0	0	0	21	
Peel, Arnel	851 E. 87th Place	8	Chatham	\$ 3,720	1	0	0	0	1	0	0	0	0	0	0		1
Perri, Jackie	9247 S Stony Island	8	Calumet Heights	\$ 8,160	1	0	0	0	1	0	0	0	0	0	0	1	
Profit from Rentals.com, LLC Series 26	1311 E. 72nd Place	8	South Shore	\$ 10,800	1	0	0	0	0	1	0	0	0	0	0	1	
RaHa Properties, LLC	956 E. 76th	8	Greater Grand Crossing	\$ 8,700	1	0	0	0	0	1	0	0	0	0	0	1	
VCP 7201 Dorchester, LLC	7201-07 S. Dorchester	8	South Shore	\$ 6,960	1	0	0	0	1	0	0	0	0	0	0	1	
11031 Edbrook LLC	11031 S. Edbrook	9	Roseland	\$ 7,668	1	0	0	0	0	1	0	0	0	0	0	1	
11207 S King LLC	11207-15 S King Drive	9	Roseland	\$ 23,760	3	0	0	2	1	0	0	0	0	0	0	3	
11207 S King LLC	11207-15 S King Drive	9	Roseland	\$ 6,960	1	0	0	0	1	0	0	0	0	0	0	1	
11207 S King LLC	11207-15 S King Drive	9	Roseland	\$ 16,800	2	0	0	2	0	0	0	0	0	0	0	2	
Barnes Real Estate	10539 S. Corliss	9	Pullman	\$ 7,188	1	0	0	0	1	0	0	0	0	0	0	1	
Barnes Real Estate	10657 S. Champlain	9	Pullman	\$ 9,960	1	0	0	0	1	0	0	0	0	0	0	1	
Brown, Yolanda	11006 S. Indiana	9	Roseland	\$ 12,900	2	0	0	2	0	0	0	0	0	0	0	1	1
Dunkle, Raymond Barry	11572 S. Front	9	West Pullman	\$ 8,844	1	0	0	0	1	0	0	0	0	0	0	1	
Glickman, Adam	11735 S. Indiana	9	West Pullman	\$ 10,920	1	0	0	0	0	0	1	0	0	0	0	1	
Hinton, Jesse	11430 S. Champlain	9	Pullman	\$ 6,120	1	0	0	1	0	0	0	0	0	0	0	1	
Hinton, Jesse	11409-11 S. St. Lawrence	9	Pullman	\$ 10,800	1	0	0	0	0	1	0	0	0	0	0	1	
Jackson, Sammie	10728 S. Wabash	9	Roseland	\$ 5,220	1	0	0	0	1	0	0	0	0	0	0	1	
Jackson, Willie	234 E 136th St	9	Riverdale	\$ 14,520	1	0	0	0	0	0	1	0	0	0	0	1	

Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIES										TOTAL BEDS				16-30%
						TOTAL SRO	TOTAL 180m	TOTAL 234m	TOTAL 340m	TOTAL 4+80m	TOTAL	0-15%	16-30%	16-30%	16-30%	16-30%	16-30%	16-30%	16-30%	
Johnson, Sukina	9317 S Rhodes	9	Roseland	\$ 7,500	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Laury, Barry and Boyd, William	11568 S. Prairie	9	West Pullman	\$ 10,800	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Perry, Jacqueline	10541 S Corliss	9	Pullman	\$ 7,560	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Starks, Dorothy	10624 S. Langley	9	Pullman	\$ 9,000	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Thompson Real Estate	13150 S. Forrestville	9	Riverdale	\$ 10,140	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Washington, Major	10949-51 S. Vernon	9	Roseland	\$ 4,800	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Wilkins, Tabitha	11122 S. Indiana	9	Roseland	\$ 12,000	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Williams, Lorraine	414 W. 100th Place	9	Washington Heights	\$ 6,300	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
9100 South Burley, LLC c/o Claretian Associates	9100-10 S. Burley / 3225 E. 91st St	10	South Chicago	\$ 7,428	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Barnes Real Estate	8337 S. Burley	10	South Chicago	\$ 8,292	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Boardman, William & Christine	8707 S. Escanaba	10	South Chicago	\$ 9,360	3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3
Casa Kirk, Inc. c/o Claretian Association	3248 E. 92nd St.	10	South Chicago	\$ 30,240	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	7
Chryczyk, Andrzes	8949 S. Brandon	10	South Chicago	\$ 12,660	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
East Lake Management / South East Little Village Ltd. Part. U.N.O.	2837 E 90th / 2849 E 90th / 3006 E. 92nd / 9001 S. Muskegon	10	South Chicago	\$ 15,720	6	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6
Gatewood, T. Maurice	8550 S. Houston	10	South Chicago	\$ 10,800	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Glinski, Steven	8525 S. Buffalo	10	South Chicago	\$ 4,320	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Rehab South Chicago c/o Claretians Associates	3251 E. 91st St.	10	South Chicago	\$ 5,028	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Simon, Nathaniel	8344 S. Baltimore	10	South Chicago	\$ 6,120	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Villa Guadalupe Senior Services c/o Claretian Associates	3201 E. 91st St.	10	South Chicago	\$ 144,468	35	0	0	0	0	0	0	0	0	0	0	0	0	0	0	29
Barnes Real Estate	2310 S. Sacramento	12	South Lawndale	\$ 12,552	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
Martinez, Nancy	2126 S. California	12	South Lawndale	\$ 9,720	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Razo, Rosalinda & Sergio	2852 W 25th Place	12	South Lawndale	\$ 9,600	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1

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ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIOS						TOTAL BEDS				16-30% 0-15%
						TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4-BRM	TOTAL 5-BRM	TOTAL 6-BRM	TOTAL 7-BRM	TOTAL 8-BRM	TOTAL 9-BRM	
Chan, Maria	4858 S Springfield	14	Archer Heights	\$ 6,960	1	0	0	0	1	0	0	0	0	0	0	1
Chicago Title and Trust Co. Trust 1094379	5600 S. Albany	14	Gage Park	\$ 5,640	1	0	0	1	0	0	0	0	0	0	0	1
Rodas, Cesar & Maria	5454 S Albany	14	Gage Park	\$ 8,460	1	0	0	0	1	0	0	0	0	0	0	1
Tenorio, Juan Carlos	5201 S. Richmond	14	Gage Park	\$ 4,560	1	0	0	1	0	0	0	0	0	0	0	1
Addison Laramie Realty	5748 S. Hoyne	15	West Englewood	\$ 10,200	1	0	0	0	0	1	0	0	0	0	0	1
AMG Carrington LLC	6829 S Talman	15	Chicago Lawn	\$ 9,360	1	0	0	0	1	0	0	0	0	0	0	1
Barnes Real Estate	1715 W. 58th	15	West Englewood	\$ 7,440	1	0	0	0	1	0	0	0	0	0	0	1
Barnes Real Estate	2214 W. 51st	15	Gage Park	\$ 6,648	1	0	0	0	1	0	0	0	0	0	0	1
Barnes Real Estate	6020 S. Wood	15	West Englewood	\$ 15,360	1	0	0	0	0	0	1	0	0	0	0	1
Jordan, Crystal & Michael	5522 S. Hermitage	15	West Englewood	\$ 9,000	1	0	0	0	1	0	0	0	0	0	0	1
Josephs, Edward	6357 S. Paulina	15	West Englewood	\$ 11,400	1	0	0	0	1	0	0	0	0	0	0	1
Robin Limited Partnership	5707 S Hoyne	15	West Englewood	\$ 11,628	1	0	0	0	0	1	0	0	0	0	0	1
West Englewood Ltd Partnership (Clara's Village)	6355 S. Wood / 1637 W 59th / 1901 W 59th / 1941 W 59th	15	West Englewood	\$ 69,840	8	0	0	0	0	8	0	0	0	0	0	2
Barnes Real Estate	5529 S. Ada	16	West Englewood	\$ 9,660	1	0	0	0	0	1	0	0	0	0	0	1
Barnes Real Estate	5641 S. Justine	16	West Englewood	\$ 13,200	1	0	0	0	0	1	0	0	0	0	0	1
Barnes Real Estate	5735 S. Elizabeth	16	West Englewood	\$ 10,980	1	0	0	0	0	0	1	0	0	0	0	1
Barnes Real Estate	6224 S. Morgan	16	Englewood	\$ 17,412	2	0	0	1	0	0	1	0	0	0	0	2
Barnes Real Estate	6239 S. Ashland	16	West Englewood	\$ 11,900	1	0	0	0	0	0	1	0	0	0	0	1
Barnes Real Estate	6340 S. Sangamon	16	Englewood	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	1
Brooks III, Samuel	6421 S. Artesian	16	Chicago Lawn	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	1
Churchview Manor Pres. LP	2626 W. 63rd St.	16	Chicago Lawn	\$ 61,200	20	0	0	20	0	0	0	0	0	0	0	20
Goss, Edward	5925 S. Rockwell	16	Chicago Lawn	\$ 5,880	1	0	0	0	1	0	0	0	0	0	0	1
Husain, Mazhar & Seema	3114-16 W 61st / 6055-59 S Troy	16	Chicago Lawn	\$ 6,660	1	0	0	0	1	0	0	0	0	0	0	1
Oates, Beutonna	5658 S. Bishop	16	West Englewood	\$ 5,100	1	0	0	0	0	1	0	0	0	0	0	1
Oates, Beutonna	1411 W. 55th St. / 1411 W. Garfield	16	West Englewood	\$ 8,424	1	0	0	0	0	0	1	0	0	0	0	1
Perri, Jackie and Matthew	6641 S Claremont	16	Chicago Lawn	\$ 6,300	1	0	0	1	0	0	0	0	0	0	0	1

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ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL Studios				TOTAL Beds				16-30%
						TOTAL SRO	TOTAL 1-Bdrm	TOTAL 2-Bdrm	TOTAL 3-Bdrm	TOTAL 4-Bdrm	Total Beds			
Piperhill LLC	1408 W Marquette	16	West Englewood	\$ 11,760	1	0	0	0	1	0	0		1	
Robin Limited Partnership	6725 S Aberdeen	16	Englewood	\$ 8,364	1	0	0	0	1	0	0		1	
Sardin, Darlene	6241 S. Throop	16	West Englewood	\$ 9,900	1	0	0	0	1	0	0	1		
The Pharaoh Group, LLC	1107 W. Garfield Blvd.	16	New City	\$ 11,220	2	0	0	1	1	0	0	2		
6700 S. Claremont, LLC	6700 S. Claremont	17	Chicago Lawn	\$ 12,720	2	0	0	2	0	0	0	2		
7546 S. Peoria, LLC	7546-48 S. Peoria / 902-10 W. 76th St.	17	Auburn Gresham	\$ 16,320	2	0	0	0	2	0	0	1	1	
A D Ventures LLC	7421 S Princeton	17	Greater Grand Crossing	\$ 11,520	1	0	0	0	0	1	0	1		
ADK Management, Inc.	3300-14 W. Marquette / 6646-50 S. Spaulding	17	Chicago Lawn	\$ 4,380	1	0	0	1	0	0	0		1	
Catholic Charities Hsg Dev Corp. (St. Leo's Residence LP)	7750 S. Emerald	17	Auburn Gresham	\$ 67,560	10	0	10	0	0	0	0	10		
Earle, Penny	6824 S. Wood / 6759 S Wood	17	West Englewood	\$ 13,020	3	0	0	0	2	1	0	1	2	
French, Howard & Queen	7726 S Marshfield	17	Auburn Gresham	\$ 8,760	1	0	0	0	1	0	0	1		
Goss, Edward	2505 S. 69th St.	17	Chicago Lawn	\$ 5,880	1	0	0	0	0	1	0		1	
Hilston Properties, Inc.	1716-20 W. 77th St / 7653-55 S. Hermitage	17	Auburn Gresham	\$ 10,080	1	0	0	0	0	1	0	1		
Jackson, Cynthia	7929 S. Harvard	17	Chatham	\$ 5,220	1	0	0	0	0	1	0		1	
Jackson, Willie	7718 S. Winchester	17	Auburn Gresham	\$ 13,560	1	0	0	0	0	0	1	1		
Josephs, Edward	6735 S. Claremont	17	Chicago Lawn	\$ 11,400	1	0	0	0	0	1	0	1		
Kass Management (Kass Management Services Inc / 2300 W St Paul LLC / CMRD Properties LLC)	1370-82 W. 79th / 7847-59 S. Loomis	17	Auburn Gresham	\$ 29,220	7	0	6	1	0	0	0	1	6	
Lafin Inn, LLC	7908 S. Lafin	17	Auburn Gresham	\$ 27,780	5	0	0	2	3	0	0	2	3	
Moore, Tashae	6828 S Loomis	17	West Englewood	\$ 10,800	1	0	0	0	0	1	0	1		
Pehar, Antoinette (ZAP Management)	6346-54 S. Fairfield	17	Chicago Lawn	\$ 61,200	10	0	0	10	0	0	0	10		
Reed, Lekesha	1221 W. 73rd	17	West Englewood	\$ 9,000	1	0	0	0	0	1	0	1		

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ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO	TOTAL STUDIOS	TOTAL 1BDM	TOTAL 2BDM	TOTAL 3BDM	TOTAL 4+ BDM	Total Beds	0-15%	16-30%
Robin Limited Partnership	2018 W 69th Place	17	West Englewood	\$ 9,000	1	0	0	0	1	0	0	1	1	
The Beloved Community (M)	1203-09 W. 78th Place	17	Auburn Gresham	\$ 13,800	4	0	2	2	0	0	0	0	2	2
6123 Eberhart, LLC	6123-25 S. Eberhart	20	Woodlawn	\$ 12,600	1	0	0	0	0	1	0	0	1	
6205 S. Michigan, Inc.	6205 S. Michigan	20	Washington Park	\$ 8,760	1	0	0	0	1	0	0	0	1	
Barnes Real Estate	4749 S. Throop	20	New City	\$ 7,200	1	0	0	0	0	1	0	0	1	
Barnes Real Estate	5226 S. May	20	New City	\$ 8,400	1	0	0	0	1	0	0	0	1	
Barnes Real Estate	5346 S. Carpenter	20	New City	\$ 11,100	1	0	0	0	1	0	0	0	1	
Barnes Real Estate	5717-19 S. Prairie	20	Washington Park	\$ 42,204	4	0	0	0	3	1	0	4		
Barnes Real Estate	6041 S. Indiana	20	Washington Park	\$ 7,800	1	0	0	0	0	1	0	0		1
Barnes Real Estate	6062 S. Lafayette	20	Washington Park	\$ 8,760	1	0	0	0	1	0	0	0	1	
Barnes Real Estate	6512 S. Rhodes	20	Woodlawn	\$ 10,500	1	0	0	0	0	1	0	0	1	
Barnes Real Estate	929 W. 54th Place	20	New City	\$ 11,400	1	0	0	0	0	0	1	0	1	
Carter, Charles & Sisceodies	5430 S. Loomis	20	New City	\$ 8,520	1	0	0	0	0	1	0	0		1
CGP Holdings LLC	6022 S. Rhodes	20	Woodlawn	\$ 10,020	1	0	0	0	0	0	1	0		1
Dubiel, Morgan c/o St. Ellis LLC	817 W. 54th Street	20	New City	\$ 9,660	1	0	0	0	0	1	0	0	1	
Eden Development Corp	5627-29 S. Indiana & 5532-34 S. Indiana	20	Washington Park	\$ 10,620	2	0	0	0	1	0	1	0	1	1
Grillos Properties LLC 6243 Rhodes	6243 S. Rhodes	20	Woodlawn	\$ 13,560	1	0	0	0	0	0	1	0	1	
HABO Investments, Inc.	5742 S. Indiana	20	Washington Park	\$ 5,520	1	0	0	0	0	1	0	0		1
Jackson, Sammie	4945 S. Halsted	20	New City	\$ 6,120	1	0	0	0	1	0	0	0		1
MIL Property Group LLC	6732 S. Evans	20	Woodlawn	\$ 8,760	1	0	0	0	1	0	0	0	1	
MIL Property Group LLC	5722 S. La Salle	20	Englewood	\$ 10,200	1	0	0	0	0	1	0	0	1	
Otis, Philip	6331 S. Eberhart	20	Woodlawn	\$ 9,000	1	0	0	0	0	1	0	0	1	
RaHa Properties, LLC	5920 S. Princeton	20	Englewood	\$ 8,700	1	0	0	0	0	1	0	0	1	
RaHa Properties, LLC	5357 S. May	20	New City	\$ 5,760	1	0	0	0	1	0	0	0	1	
South Park Apartments, LP c/o Leasing & Mgt Co	5950, 5958 S. King Dr. / 5951 S. Calumet / 352, 358, 370 E 60th St	20	Washington Park	\$ 39,900	7	0	0	0	4	3	0	0	2	5

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St. Edmund's Meadows LP	6147 S. Wabash	20	Washington Park	\$ 9,900	1	0	0	0	1	0	0	1	
St. Edmund's Place (6109-19 S. Indiana LP)	6109-19 S. Indiana	20	Washington Park	\$ 23,940	3	0	0	2	1	0	0	3	
St. Edmund's Plaza (Michigan Plaza LP)	101-17 E. 57th / 6048-58 S. Michigan	20	Washington Park	\$ 40,452	5	0	0	0	4	1	0	5	
Starfields, Inc.	5320 S. Bishop	20	New City	\$ 8,160	1	0	0	0	0	1	0	1	
Theodore, Ronald	6531 S Green	20	West Englewood	\$ 11,760	1	0	0	0	0	1	0	1	
Tookes, Oliver	6116-34 S. King Drive	20	Washington Park	\$ 79,140	12	0	0	9	1	2	0	12	
Washington Park 55th Place Ltd Partnership (Coppin House)	333 E. 55th Place & 338 E 56th St.	20	Washington Park	\$ 31,032	6	0	0	6	0	0	0	1	5
Washington Park 55th Place Ltd Partnership (Coppin House) (M)	333 E. 55th Place & 338 E 56th St.	20	Washington Park	\$ 59,916	12	0	0	0	4	4	4	6	6
WECAN	6146 S. Kenwood	20	Woodlawn	\$ 42,828	9	0	0	5	0	4	0	5	4
WECAN	6230 S. Dorchester	20	Woodlawn	\$ 19,860	4	0	4	0	0	0	0	4	
Weiborn, Jean L	5821 S. Indiana	20	Washington Park	\$ 8,400	1	0	0	0	0	1	0	1	
Wolcott Group (TWG Woodlawn IV)	6126 S. Woodlawn	20	Woodlawn	\$ 37,020	9	0	7	0	2	0	0	7	2
Woodlawn Dev. Associates	6224-26 S. Kimbark	20	Woodlawn	\$ 12,852	3	0	0	2	0	1	0		3
Yale Building LP	6565 S. Yale	20	Englewood	\$ 53,880	13	0	0	13	0	0	0	10	3
89th & Loomis, LP	8915 S. Loomis	21	Washington Heights	\$ 4,656	1	0	0	1	0	0	0		1
American Heartland Holdings, LLC American Ashland LLC	1605-11 W. 80th / 8000-04 S. Ashland	21	Auburn Gresham	\$ 23,700	5	0	5	0	0	0	0	5	
Bradley, Latricia	9443 S. Justine	21	Washington Heights	\$ 5,400	1	0	0	0	1	0	0		1
Building #1 Realty Services (Marquette Bank as Trustee)	1314-24 W. 82nd	21	Auburn Gresham	\$ 38,760	5	0	0	1	4	0	0	5	
Building #1 Realty Services (Marquette Bank as Trustee)	1334-44 W. 83rd	21	Auburn Gresham	\$ 37,560	4	0	0	0	4	0	0	4	

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Building #1 Realty Services (Marquette Bank as Trustee)	1434-44 W. 83rd	21	Auburn Gresham	\$ 33,612	5	0	0	2	3	0	0	0	2	3
Chicago Metro Hsg Dev Corp	9101-09 S. Beverly / 1723-25 W. 91st	21	Washington Heights	\$ 42,300	3	0	0	0	3	0	0	0		3
First Insite Realty (79th & Ashland LLC)	7953-59 S. Ashland / 1548-50 W. 80th	21	Auburn Gresham	\$ 17,820	3	0	1	1	1	0	0	0	3	
Matthews, Serethea	1301-11 W 80th St. / 8000-02 S Throop	21	Auburn Gresham	\$ 24,480	3	0	0	0	3	0	0	0	3	
Nautilus Investments LLC Marshfield	8101 S Marshfield / 1615-17 W. 81st	21	Auburn Gresham	\$ 41,160	4	0	0	0	1	3	0	0	4	
Ratcliff, Michelle	7934 S. Loomis	21	Auburn Gresham	\$ 9,960	1	0	0	0	0	1	0	0	1	
Riccardino, Dominic	8300 S. Justine	21	Auburn Gresham	\$ 2,244	1	0	0	1	0	0	0	0		1
The Estate of Fred Peoples	8138 S. Lafayette	21	Chatham	\$ 12,600	1	0	0	0	0	1	0	0	1	
Barnes Real Estate	2349 S. Drake	22	South Lawndale	\$ 9,300	1	0	0	0	0	1	0	0		1
Patterson, Donald	4100 W. Ogden	22	North Lawndale	\$ 29,280	4	0	0	0	4	0	0	0	4	
The Resurrection Project (Casa Sor Juana)	2700 S. Drake	22	South Lawndale	\$ 9,792	3	0	0	0	2	1	0	0		3
The Resurrection Project (Casa Tabasco)	3515-17 W. 23rd St	22	South Lawndale	\$ 14,220	3	0	0	0	0	3	0	0		3
Kulach, Sophie	5347 W. 53rd Place	23	Garfield Ridge	\$ 10,808	1	0	0	0	0	1	0	0	1	
4315 W. 15th St., LLC	4315-25 W. 15th St.	24	North Lawndale	\$ 9,300	1	0	0	0	0	1	0	0	1	
Atwater, Winston	1453 S. Komensky	24	North Lawndale	\$ 10,200	1	0	0	0	0	1	0	0	1	
Barnes Real Estate	1436 S. Kostner	24	North Lawndale	\$ 8,100	1	0	0	0	0	1	0	0		1
Barnes Real Estate	1525 S. Hamlin	24	North Lawndale	\$ 15,960	2	0	0	0	1	1	0	0	2	
Gerard, James	1549 S St. Louis	24	North Lawndale	\$ 19,200	2	0	0	0	0	2	0	0	2	
Johnson, Margaret	1511 S. Lawndale	24	North Lawndale	\$ 29,160	3	0	0	0	3	0	0	0	3	
Johnson, Margaret	1521 S. Harding	24	North Lawndale	\$ 9,660	1	0	0	0	1	0	0	0	1	
Juarbe WBWB, Inc.	3650 W. Polk	24	Garfield Park	\$ 9,000	1	0	0	0	0	1	0	0	1	

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						TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4+8-BRM	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL		
Keeler Apartments Ltd. Partnership	1251-55 S. Keeler	24	North Lawndale	\$ 65,700	10	0	0	0	8	2	0	0	0	0	10		
Keeler-Roosevelt Road LP	1148-52 S. Keeler	24	Austin	\$ 7,320	1	0	0	0	1	0	0				1		
Liberty Square LP c/o Bonheur Realty Services Corp.	711 S. Independence Blvd.	24	East Garfield Park	\$ 69,612	10	0	0	1	6	2	1	0			4	6	
McKinley, Luebertha & Dortch, Charles	1444 S. Ridgeway	24	North Lawndale	\$ 7,680	1	0	0	0	1	0	0					1	
North Lawndale Ltd Partnership (Sankofa House)	4041 W. Roosevelt Rd.	24	North Lawndale	\$ 55,572	11	0	0	11	0	0	0	0				11	
North Lawndale Ltd Partnership (Sankofa House) (M)	4041 W. Roosevelt Rd.	24	North Lawndale	\$ 55,572	11	0	0	11	0	0	0	0				11	
Novarra, Marisa & Christians, Ted	1852 S. Troy	24	North Lawndale	\$ 6,360	1	0	0	0	0	1	0	0				1	
Peterson, Kevin	4747 W. VanBuren	24	Austin	\$ 10,800	1	0	0	0	0	1	0	0			1	0	
Pierce, Audrey	1530 S. Christiana	24	North Lawndale	\$ 9,360	1	0	0	0	1	0	0	0			1		
Safeway-Kolin, Inc	1203-11 S. Kolin / 4321-29 W. Roosevelt	24	North Lawndale	\$ 37,380	7	0	0	0	7	0	0	0			5	2	
SCC Restoration, LLC	3112-46 W. Douglas Blvd	24	North Lawndale	\$ 98,760	7	0	0	0	0	0	7	0			7		
Scott, Natalie A.	1825 S. Lawndale	24	North Lawndale	\$ 9,600	1	0	0	0	0	1	0	0			1		
Scott, Natalie A.	1432-34 S. Homan	24	North Lawndale	\$ 9,360	1	0	0	0	1	0	0	0			1		
Tenard, Terrance	3946 W. Polk	24	West Garfield Park	\$ 9,420	1	0	0	0	0	1	0	0			1		
Community Housing Partners IV LP (B. J. Wright Apartments)	1026-30, 1036-40, 1046-50, 1060-66 W. 14th / 1045-51 W. Maxwell / 1034-44, 1412 S. Morgan	25	Near West Side	\$ 128,088	13	0	0	0	5	8	0	0			9	4	
Gonzalez, Gilbert	2104 S. May	25	Lower West Side	\$ 5,100	1	0	0	0	1	0	0	0				1	
Ibarra, Juan & Elizabeth	1714 W. 17th St.	25	Lower West Side	\$ 4,320	1	0	0	0	1	0	0	0			1		
Newberry Park Apartments	1353-57 S. Blue Island	25	Near West Side	\$ 10,524	1	0	0	0	0	1	0	0				1	

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						TOTAL SRO	TOTAL 1-Bdrm	TOTAL 2-Bdrm	TOTAL 3-Bdrm	TOTAL 4-Bdrm	TOTAL 5-Bdrm			
The Resurrection Project	1313 W. 19th St.	25	Lower West Side	\$ 1,380	1	0	0	1	0	0	0	0	0	1
The Resurrection Project (Casa Chiapas)	1712 W. 17th St.	25	Lower West Side	\$ 2,760	2	0	0	0	1	1	0	0	0	2
The Resurrection Project (Casa Guerrero)	963 W. Cullerton	25	Lower West Side	\$ 8,868	3	0	1	0	0	0	2	0	0	3
The Resurrection Project (Casa Monterrey)	967 W. 19th St.	25	Lower West Side	\$ 1,356	1	0	0	0	1	0	0	0	0	1
3514 W. Pierce Ave., LLC	3514 W. Pierce Ave.	26	Humboldt Park	\$ 10,860	1	0	0	0	0	1	0	0	0	1
Arlandiz, Elizabeth & Sergio	1300-02 N. Homan / 3410-12 W. Potomac	26	Humboldt Park	\$ 27,780	6	0	0	0	4	2	0	0	0	6
Arlandiz, Elizabeth & Sergio	3935-45 W. Cortland	26	Hermosa	\$ 22,800	4	0	0	2	2	0	0	0	0	2
Avelar, Manuel	3306-08 W. Division	26	Humboldt Park	\$ 39,600	6	0	0	0	0	6	0	0	0	6
Bickerdike Redevelopment Corp (Boulevard Apts LP)	929 N. Sacramento / 2214 N Sacramento / 1930 N. Humboldt	26	Logan Square	\$ 45,216	12	0	0	2	8	1	1	0	0	3
Bickerdike Redevelopment Corp (Nuestro Pueblo Apts)	901-03 & 909-15 N. Sacramento	26	Humboldt Park	\$ 72,048	21	0	0	4	9	6	2	0	0	7
Church of God	3642 W. Grand	26	Humboldt Park	\$ 6,120	1	0	0	0	1	0	0	0	0	1
Church of God	3638-40 W. Grand	26	Humboldt Park	\$ 7,320	1	0	0	0	0	1	0	0	0	1
Cruz, Orlando	1536-38 N. St. Louis	26	Humboldt Park	\$ 8,760	1	0	0	0	1	0	0	0	0	1
Gonzales, Isidor & Maria	2636 W. Division	26	West Town	\$ 8,760	1	0	0	0	1	0	0	0	0	1
Hispanic Housing Dev Corp (Augusta Assoc. Ltd.)	3301 W. Palmer	26	Logan Square	\$ 52,178	9	0	0	0	8	1	0	0	0	3
Hispanic Housing Dev Corp (Humboldt Park Ltd.)	3038-40 W. North Ave.	26	Humboldt Park	\$ 37,140	12	0	8	4	0	0	0	0	0	6
L.U.C.H.A. (Humboldt Park Residence)	3339 W. Division / 1152-58 N. Christiana	26	Humboldt Park	\$ 39,948	20	20	0	0	0	0	0	0	0	2
La Casa Norte	3507 W North	26	Humboldt Park	\$ 29,040	11	0	11	0	0	0	0	0	0	11
Martinez, Charles	4247 W. Hirsch	26	Humboldt Park	\$ 12,600	1	0	0	0	0	1	0	0	0	1
Martinez, Charles	1413 N. Karlov	26	Humboldt Park	\$ 13,560	1	0	0	0	0	0	1	0	0	1

Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO				TOTAL Studios				TOTAL 1-Bdrm				TOTAL 2-Bdrm				TOTAL 3-Bdrm				TOTAL 4-Bdrm				Total Beds				0-15%		16-30%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SLDGS						TOTAL BEDS				0-15%	16-30%
						TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4-BRM	TOTAL 5-BRM	TOTAL 6-BRM	TOTAL 7-BRM	TOTAL 8-BRM	TOTAL 9-BRM		
4316 W. West End LLC	4316 W. West End / 201 N. Kolin	28	West Garfield Park	\$ 21,900	3	0	0	0	0	0	0	0	0	0	0	1	2
4900 Jackson Apartments LLC	4900-10 W. Jackson	28	Austin	\$ 10,500	2	0	0	0	0	0	0	0	0	0	0	2	1
Barnes Real Estate	266 S. Sacramento	28	East Garfield Park	\$ 10,692	1	0	0	0	0	0	0	0	0	0	0	1	1
Barnes Real Estate	3107 W. Monroe	28	East Garfield Park	\$ 9,900	1	0	0	0	0	0	0	0	0	0	0	1	1
Barnes Real Estate	3909 W. Gladys	28	West Garfield Park	\$ 12,240	1	0	0	0	0	0	0	0	0	0	0	1	1
Dickson Estate Apartments / Dickson, Jerome	1131-33 S. Sacramento	28	North Lawndale	\$ 6,300	1	0	0	0	0	0	0	0	0	0	0	1	1
Gugly Inc. c/o Pioneer Property Advisors	5447-51 W. West End / 164 N. Lotus	28	Austin	\$ 52,764	8	0	0	0	5	3	0	0	0	0	0	8	2
Herron Enterprises (New Horizon Apts LLC)	4355-57 W. Maypole / 223-27 N. Kostner	28	West Garfield Park	\$ 13,440	2	0	0	0	1	1	0	0	0	0	0	2	2
Herron Enterprises (New Horizon Apts LLC)	4455 W. Westend Street	28	West Garfield Park	\$ 8,844	1	0	0	0	1	0	0	0	0	0	0	1	1
Holsten Management (Hamlin Midwest Investors LLC)	6 N. Hamlin	28	West Garfield	\$ 2,100	1	0	1	0	0	0	0	0	0	0	0	1	1
Inner City Holdings, LLC- Series Laverne	3-11 N Laverne / 4950-52 W Madison	28	Austin	\$ 21,288	3	0	0	0	1	2	0	0	0	0	0	3	3
Inner City Holdings, LLC- Series LeClaire	12-18 N. LeClaire / 5102-04 W. Madison	28	Austin	\$ 49,188	7	0	0	0	1	6	0	0	0	0	0	4	3
KMA Holdings III, LLC	4031-37 W. Gladys	28	West Garfield Park	\$ 37,560	6	0	0	0	2	4	0	0	0	0	0	6	6
KMJ Properties, Inc.	4206 W. VanBuren	28	West Garfield Park	\$ 9,720	1	0	0	0	0	1	0	0	0	0	0	1	1
Matters of Unity, Inc	1118 S. California	28	North Lawndale	\$ 12,468	1	0	0	0	0	1	0	0	0	0	0	1	1
Mid-City Apartments, LLC	351-57 S. Homan/ 3350-52 W Van Buren	28	East Garfield Park	\$ 9,360	1	0	0	0	1	0	0	0	0	0	0	1	1
Mid-City Apartments, LLC	4200-06 W. Washington / 112-18 N Keeler	28	West Garfield Park	\$ 30,168	4	0	0	0	1	3	0	0	0	0	0	2	2
Mid-City Apartments, LLC	4400-02 W. Washington	28	West Garfield Park	\$ 14,352	2	0	0	0	1	1	0	0	0	0	0	1	1

Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO										TOTAL Studios				TOTAL 1-8dm				TOTAL 2-9dm				TOTAL 3-4dm				TOTAL 4-8dm				Total Beds		0-15%		16-30%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
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Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL STUDIOS						TOTAL BEDS				16-30%	0-15%
						TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM	TOTAL 4+-BRM	TOTAL	TOTAL SRO	TOTAL 1-BRM	TOTAL 2-BRM	TOTAL 3-BRM		
Matos, Jose	7033 W. Wolfram	29	Montclare	\$ 14,160	1	0	0	0	0	1	0	1	0	1	1		
Mid-City Apartments, LLC	5501-03 W. Congress / 506-08 S Lotus	29	Austin	\$ 4,200	1	0	0	1	0	0	0	0	0	0		1	
MLC Properties (123 Central Investment Bldg, LLC)	119-23 N. Central	29	Austin	\$ 12,240	2	0	0	2	0	0	0	0	0	0	2		
MLC Properties (7-13 North Pine LLC)	7-13 N. Pine	29	Austin	\$ 22,200	4	0	0	0	4	0	0	0	0	0	2	2	
Pangea Properties (Rodinia Holdings 7, LLC)	5836-48 W. Madison / 9-17 N. Mayfield	29	Austin	\$ 10,080	2	0	2	0	0	0	0	0	0	0	2		
Pangea Properties (Rodinia Holdings 7, LLC)	1-17 S. Austin / 5957-73 W. Madison	29	Austin	\$ 8,880	2	0	0	2	0	0	0	0	0	0		2	
Sims, Austin	5551-3 W. Congress	29	Austin	\$ 17,100	2	0	0	0	1	1	0	0	0	0	2		
Spartan Real Estate	5806-08 W. Fulton / 302-06 N Menard	29	Austin	\$ 22,380	4	0	0	1	3	0	0	0	0	0	3	1	
Squirt, Inc.	2-18 S. Mayfield / 5843 W. Madison	29	Austin	\$ 16,860	3	0	0	1	2	0	0	0	0	0	1	2	
T-J-A Inc	5552-6 W. Gladys	29	Austin	\$ 8,460	1	0	0	0	1	0	0	0	0	0	1		
Konieczny, Ronald	4631 W. Warwick	30	Portage Park	\$ 10,020	1	0	0	0	0	1	0	0	0	0		1	
Elinor Building Corp	3216 N. Cicero	31	Portage Park	\$ 4,500	1	0	1	0	0	0	0	0	0	0	1		
JFP LLC	3859 W. Wrightwood	31	Logan Square	\$ 11,184	2	0	0	1	1	0	0	0	0	0	1	1	
Lewandowska, Zofia	2429 N. Tripp	31	Hermosa	\$ 7,080	1	0	0	0	1	0	0	0	0	0	1		
Mizhquiri, Victor	5236 W. Fullerton	31	Belmont Cragin	\$ 5,340	1	0	1	0	0	0	0	0	0	0		1	
Perez, Idida	3707 W. Wrightwood	31	Logan Square	\$ 7,175	1	0	0	0	0	1	0	0	0	0	1		
Perez, Pascual	2701 N. Laramie	31	Belmont Cragin	\$ 7,680	1	0	0	0	1	0	0	0	0	0	1		
Salgado, Baldemar	4300 W. Fullerton	31	Hermosa	\$ 32,640	6	0	0	2	4	0	0	0	0	0	5	1	
Janusz, Timothy W.	2621 N. Fairfield	32	Logan Square	\$ 6,060	1	0	0	1	0	0	0	0	0	0	1		
Renaissance Saint Luke LP	1501 W. Belmont	32	Lake View	\$ 50,400	10	0	10	0	0	0	0	0	0	0	5	5	
Zayas, Carlos	2749 N. Mozart	32	Logan Square	\$ 5,196	1	0	0	0	1	0	0	0	0	0	1		

Rental Subsidy Program - Appropriations as of June 30, 2014

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Rental Subsidy Program - Appropriations as of June 30, 2014

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Rental Subsidy Program - Appropriations as of June 30, 2014

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Rental Subsidy Program - Appropriations as of June 30, 2014

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Chicago Low-Income Housing Trust Fund
Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO										TOTAL STUDIOS				TOTAL 1 BDM				TOTAL 2-3BDM				TOTAL 4-5BDM				Total Beds		0-15%	16-30%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
						0	0	0	3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Chicago Low-Income Housing Trust Fund

Rental Subsidy Program - Appropriations as of June 30, 2014

ORGANIZATION	BUILDING ADDRESS	WARD	COMMUNITY AREA	TOTAL FUNDING	UNITS	TOTAL SRO				TOTAL Studios				TOTAL 1-Bdrm				TOTAL 2-Bdrm				TOTAL 3-Bdrm				TOTAL 4-Bdrm				Total Beds		0-15%	16-30%
Kopley Group XIV LLC	6801-13 N. Sheridan / 1146-50 W. Pratt	49	Rogers Park	\$ 4,800	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1					
MAM 7301 Sheridan LLC	7301 N. Sheridan	49	Rogers Park	\$ 47,100	7	0	3	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	7						
Mid-America Real Estate Dev Corp c/o Pedraza Realty	7369-79 N. Damen	49	Rogers Park	\$ 25,260	3	0	0	0	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	2					
Reba Place Fellowship c/o Reunion Property Mgt	1528 W. Pratt	49	Rogers Park	\$ 19,200	3	0	1	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3						
S Kahn, LLC - 1456 W Birchwood	1456 W. Birchwood / 7505-15 N. Greenview	49	Rogers Park	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1						
Stolyarov, Dennis (Land Trust # 3336)	1421 W. Farwell	49	Rogers Park	\$ 4,500	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1						
Suarez, Jose & Robyn	7507-09 N Seeley	49	Rogers Park	\$ 7,560	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1							
Tiriteu, Catita	7600 N. Sheridan	49	Rogers Park	\$ 33,420	5	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	5							
Vranas Family Partners LLC	6758 N. Sheridan	49	Rogers Park	\$ 30,684	6	0	4	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	3						
W. W. Limited Partnership	6928 N. Wayne	49	Rogers Park	\$ 106,740	33	0	28	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	10	23						
Winchester Investment Ptnrs LLC	7363-83 N. Winchester	49	Rogers Park	\$ 12,900	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2							
Azar, David	2423 W. Greenleaf	50	West Ridge	\$ 8,340	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1							
BCH Hoyne LLC c/o CH Ventures Mgt	6200-42 N. Hoyne	50	West Ridge	\$ 57,240	8	0	0	3	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4							
Cagan Management (6434 Sacramento LLC)	6434-38 N. Sacramento	50	West Ridge	\$ 8,760	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1								
Marsh, Walter	2018-24 W. Arthur	50	West Ridge	\$ 3,960	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1							
Nwanah, Patrick and Kate	7311 N Campbell	50	West Ridge	\$ 9,600	1	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1								
Pruneda, Patricia and Urbano	6447 N Kedzie	50	West Ridge	\$ 10,740	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1								
Weisberger, William	6307-09 N. Mozart	50	West Ridge	\$ 13,032	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2							
West Ridge Senior Partners, LP	6142 N. California	50	West Ridge	\$ 90,408	15	0	0	13	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	7	8							

Department of Planning and Development
TROUBLED BUILDINGS INITIATIVE I (Multi-family)
January 1 - June 30, 2014

Quarter First Counted	Primary Address	# of Units	TBI Status	Ward	Community Area
2014,1	4834 S PRAIRIE AVE	4	In Court	3	Grand Boulevard
2014,1	4416 N KOSTNER AVE	9	In Court	45	Irving Park
2014,1	3144-50 S PRAIRIE	8	In Court	3	Douglas
2014,1	7919-29 S Maryland	37	In Court	8	Chatham
2014,1	8025-27 S Maryland Ave	6	In Court	8	Chatham
2014,1	8045-47 S Maryland Ave	6	In Court	8	Chatham
2014,1	8131-33 S Maryland Ave	6	In Court	8	Chatham
2014,1	8222 S Dobson Ave	6	In Court	8	Chatham
2014,1	6749-51 S JEFFERY BLVD	50	In Court	5	South Shore
2014,1	8053-61 S Cottage Grove Ave / 800-04 E 81st St	16	Partly Occupied	8	Chatham
2014,1	8145-51 S Drexel Ave	19	Occupied	8	Chatham
2014,1	8101 S Maryland Ave	8	Occupied	8	Chatham
2014,1	8252 S Maryland Ave	6	Occupied	8	Chatham
2014,1	1015-19 E 82nd St	4	Partly Occupied	8	Chatham
2014,1	7359 S Emerald / 714 W 74th St.	5	Under Receivership	17	Englewood
2014,1	6400-04 S EBERHART AVE	4	Under Receivership	20	Woodlawn

Department of Planning and Development
TROUBLED BUILDINGS INITIATIVE I (Multi-family)
January 1 - June 30, 2014

Quarter First Counted	Primary Address	# of Units	TBI Status	Ward	Community Area
2014,1	6120 S SAINT LAWRENCE AVE	3	Under Receivership	20	Woodlawn
2014,1	5850-54 S Campbell	9	Under Receivership	16	Gage Park
2014,1	6128 S EBERHART AVE	4	Under Receivership	20	Woodlawn
2014,1	1350 W 98th PL / 9817-25 S Loomis	10	Stabilized	21	Washington Heights
2014,2	8228 S Dobson Ave	6	In Court	8	Chatham
2014,2	632-38 E. 61st Street	3	In Court	20	Woodlawn
2014,2	4157 W Adams	6	Under Receivership	28	West Garfield Park
2014,2	6426 S. St. Lawrence	1	Purchased	20	Woodlawn
2014,2	936-44 W 76th St	8	In Court	17	Auburn Gresham
2014,2	1445 W WALTON	4	Under Receivership	27	West Town
2014,2	6022-24 S. Eberhart Ave.	6	In Court	20	Woodlawn
2014,2	8230 S Dobson Ave	9	In Court	8	Chatham
2014,2	1616-22 W Marquette/6659 S Marshfield	8	Under Receivership	15	West Englewood
2014,2	905 N. Central Park Ave	1	Under Contract	27	Humboldt Park

Department of Planning and Development
CITY LOTS FOR CITY LIVING
 Developments Approved January 1 - 31 by FY 2014

Quarter Approved	Development Name	Developer	Development Location	Ward	Value of Land Write-down	Total Units	Units by Income Level					
							0-15%	16-30%	31-50%	61-80%	81-100%	101-120%
2014,1	--	L&MC Investments LLC	6 lots in area bounded by Drake, Bloomingdale and Campbell Aves. and Augusta Blvd.	26	\$316,000	6						6
TOTAL					\$316,000	6	-	-	-	-	-	6

Department of Planning and Development
TIF-NIP SINGLE-FAMILY PROGRAM ACTIVITY
 January 1 - June 30, 2014

TIF District	TIF Funds Spent	# of Units	Units by Income Level						
			0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101 + %
119th/57th Street									
47th & King Drive	\$14,375	1		1					
47th/Halsted									
63rd & Ashland	\$81,478	6		2	1	1	2		
Central West	\$62,485	6		2			3		1
Chicago/Central Park II	\$88,056	7		2		1	3		1
Englewood III	\$194,477	18		2	8	5	3		
Harrison/Central II									
Lawrence/Kedzie									
Midwest	\$10,063	2			0	0	0	0	2
North Pullman									
N. Pullman Landmark									
Odgen Pulaski	\$23,000	3					3		
Pershing /King									
South Chicago III	\$23,000	3					3		
Woodlawn II									
Bronzeville									
Addison South									
Austin Commercial									
West Woodlawn	\$133,816	13			2	4	2	3	2
TOTALS	\$630,749	59	0	9	11	11	19	3	6

HISTORIC CHICAGO BUNGALOW INITIATIVE **Benefits Received October 1, 2000 through June 30, 2014**

Program Inception Date: October 1, 2000

INDICATOR	COUNT	DOLLARS SPENT
Benefit Activity from Jan 1 to June 30, 2014 (2nd Qtr)**		
Requests for information/general information pieces mailed (2nd Q)	468	
Certification of existing owners (2nd Q)	1,242	
Certification for new bungalow buyers (2nd Q)	24	
# of new Members Approvals for Voucher (Prgrm ended Dec. 31, 2009)	0	
# of new Members Approvals for DOE Grant - Funding Expended 4th Q 2013 (G1) (1st Q)	0	\$0
# of new members Approvals for IHDA Grant (No funds granted in 2010 or 2011)	0	\$0
# of new members Approvals for DCEO Program (2nd Q)	44	\$144,100
# of new members received Appliance Replacement Program (DCEO-New Program as of 4th Q 2011)	37	\$29,305
# of households who access bank loans for rehab work (2nd Q)	0 home equity 0 refinance	\$0 home equity \$0 refinance
Subtotal:	0	\$0
Cumulative Summary Bungalow Program Activity- Oct.1, 2000 to June 30, 2014		
Requests for informational pkgs sent by mail	28,660	
# of households who utilized their own resources for rehab	3,337	\$14,368,963
# of households received appliance vouchers (Program ended Dec. 31, 2009)	2,103	\$3,186,800
# of households received People Energy (G1) grant dollars (new & existing members)	2,440	\$3,812,482
# of households received ICECF (G2) grant dollars	1,047	\$1,885,243
# of households received ICECF Model Block dollars	74	\$1,042,051
# of households received DCEO grant (new and existing members)	1,034	\$9,832,337
# of households received CHES Pilot Grants (2009 new funds) (Program completed Dec, 2010)	63	\$150,000
# of households received IHDA grant matching dollars (No Funds granted in 2010 or 2011)	641	\$2,327,007
# of households received Appliance Replacement Program (DCEO-New Program as of 4th Q 2011)	800	\$601,317
Bungalows Purchased- Oct. 1, 2000 to June 30, 2014		
Actual # of households served, taking into account multiple benefits***	7,813	

* To avoid double-counting, this represents original requests as opposed to second or third calls.

**Due to processing timeline, the dollar amounts shown are less than the actual households approved

Department of Planning and Development
NEIGHBORHOOD LENDING PROGRAM
January 1 - June 30, 2014

Quarter Reported	Primary Address	Loan Amount	# of Units	Ward
2014,1	10010 S. Parnell Ave.	\$88,752	1	9
2014,1	6722 S. Dorchester	\$207,200	1	5
2014,1	5404 S. Winchester	\$87,650	1	16
2014,1	3043 W. Washington, Unit 2	\$220,700	1	2
2014,1	4625 W. Warwick	\$192,890	1	38
2014,1	7327 S. Greenwood	\$113,600	1	5
2014,1	4709 S. Western Blvd.	\$102,200	3	12
2014,1	1725 E. 67th Street, 2F	\$100,870	1	5
2014,1	8333 S. Phillips	\$123,266	1	7
2014,1	10746 S. Ave N	\$27,253	1	10
2014,1	6216 S. Champlain	\$135,050	2	20
2014,1	12113 S. Harvard	\$57,595	1	34
2014,1	5455 N. Sheridan Road, #811	\$131,100	1	48
2014,1	1034 N. Massasoit	\$260,300	2	29
2014,1	7415 S. Rhodes	\$228,800	2	6
2014,1	4700 W. 83rd St.	\$174,400	1	13
2014,1	1326 W. Cullerton	\$47,025	1	25
2014,1	6223 S. Champlain Ave	\$28,980	2	20
2014,1	3925 W. 66th Street	\$138,520	1	13
2014,1	1791 W. Howard, Unit 303	\$94,740	1	49
2014,1	1341 W. 110th Place	\$82,965	1	34
2014,1	8505 S. Dorchester Ave.	\$113,537	1	8
2014,1	8234 S. Saginaw	\$40,275	1	7
2014,1	4456 W. Augusta	\$36,999	1	37
2014,1	733 W. 47th Place	\$71,000	2	11
2014,2	11170 S Esmond Street	\$28,243	1	19
2014,2	12037 S Perry Ave	\$108,800	1	9
2014,2	1244 West 97th Place	\$17,400	1	21
2014,2	136 S Whipple	\$22,890	1	28
2014,2	1618 W Wallen Ave 1N	\$67,000	1	49
2014,2	1917 North Saint Louis Street	\$210,000	1	35
2014,2	301 N Latrobe Ave	\$114,000	1	28
2014,2	3222 West Douglas Blvd	\$104,000	1	24
2014,2	3357 West Flournoy	\$33,700	1	24
2014,2	3541 W Polk Street	\$151,600	1	24
2014,2	421 East 89th Street	\$8,060	1	6
2014,2	449 E 91st Pl	\$160,400	1	6
2014,2	4510 W. Deming PL	\$159,500	1	31
2014,2	5610 S. Prairie Unit 3-S	\$20,665	1	20
2014,2	5711 S Marshfield Ave	\$21,100	1	15
2014,2	6336 S. Kolin Ave.	\$170,000	1	13
2014,2	7141 S Campbell	\$35,293	1	18
2014,2	7813 S. Dobson Ave.	\$8,190	1	8
2014,2	9401 South Lowe	\$118,000	1	21

Chicago Neighborhood Stabilization Program Activity January 1 - June 30, 2014

Address	# of units	Acquisition Price	Redevelopment Cost	Community Area	Ward	Date Acquisition Closed	Date Rehab Loan Closed	Developer
7614 S Carpenter Street	1	\$33,623		Auburn Gresham	17	06/15/2014		
6131 S. St. Lawrence	3	\$49,500		Woodlawn	20	02/21/2014		
SF Acquisition Total	3	\$83,123						
7810 S Carpenter Street	2	\$54,900	\$364,029	Auburn Gresham	17	12/06/2013	2/18/2014	Karry L. Young Development, LLC
7737 S. Carpenter Street	1	\$1	\$399,952	Auburn Gresham	17	11/27/2013	2/18/2014	Karry L. Young Development, LLC
7808 S. Peoria Street	2	\$44,550	\$607,839	Auburn Gresham	17	11/15/2013	2/18/2014	KMW Communities LLC
7620 S. Peoria Street	2	\$17,000	\$642,597	Auburn Gresham	17	10/03/2013	2/18/2014	KMW Communities LLC
11740 S. Elizabeth	1	\$17,900	\$394,307	West Pullman	34	09/27/2013	2/18/2014	Chicago Neighborhood Initiatives
7720 S. Peoria Street	1	\$19,800	\$505,078	Auburn Gresham	17	08/19/2013	2/18/2014	KMW Communities LLC
7618 S May Street	1	\$1	\$462,150	Auburn Gresham	17	06/05/2013	2/18/2014	KMW Communities LLC
8142 S Evans Avenue	2	\$1	\$585,020	Chatham	6	02/28/2013	2/18/2014	Karry L. Young Development, LLC
3141 W. Monroe	1	\$28,710	\$483,920	East Garfield Park	28	09/14/2012	2/18/2014	Karry L. Young Development, LLC
SF Rehab Total	13		\$4,444,892					
MF Acquisition Total	0	\$0						
MF Rehab Total	0		\$0					
NSP Totals	16	\$83,123	\$4,444,892					

Note: The Acquisition amount is counted in the quarter in which the acquisition closes. The Rehab amount is counted in the quarter in which the property is transferred to the developer. Starting in 2014, all units are counted at time of rehab.

Status of Chicago Neighborhood Stabilization Program Properties Updated: July 1, 2014

Street Address	Units	Total Development Cost* (at grant close-out)	Community	Ward	Developer	Contract to Buy	Acquired	In Rehab	Demo'd	For Sale / Rented or For Rent (availability varies per property)	Sold	Rented (all units in property initially rented)	Grant
1003 W 77th Street	6	\$1,198,229.7	Auburn Gresham	17	KMW Communities LLC	X	X	X					NSP3
1007 N Ridgeway Avenue	2	\$551,936.22	Humboldt Park	27	KMW Communities LLC	X	X	X		X	X		NSP2
1015 N Pulaski Road	30	\$5,440,834.4	Humboldt Park	27	Celestion Holdings, LLC	X	X	X		X			NSP2
1055-57 N Kilbourn Street	4	\$891,705.11	Humboldt Park	37	CDGII, Inc	X	X	X					NSP2
10713 S Cottage Grove Avenue	1	\$336,391.92	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10722 S Champlain Avenue	1	\$322,845.84	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10724 S Champlain Avenue	1	\$264,461.	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10725 S Champlain Avenue	1	\$271,547.63	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10728 S Champlain Avenue	1	\$323,209.1	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10730 S Champlain Avenue	1	\$319,565.48	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10731 S Champlain Avenue	1	\$272,042.9	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10742 S Champlain Avenue	1	\$236,582.14	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10744 S Champlain Avenue	1	\$250,499.86	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10764 S Champlain Avenue	1	\$295,722.52	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
10766 S Champlain Avenue	1	\$300,598.29	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
1122-24 N Monticello Avenue	4	\$789,222.09	Humboldt Park	27	CDGII, Inc	X	X	X					NSP2
1153 N Kedvale Avenue	1	\$381,921.64	Humboldt Park	37	Westside Urban Development & Joy's Construction	X	X	X		X	X		NSP2
11548 S Morgan Street	1	\$338,577.23	West Pullman	34	Chicago Neighborhood Initiatives	X	X	X					NSP3
11612 S Elizabeth Avenue	1	\$219,067.25	West Pullman	34	Team 4 Construction, LLC	X	X	X		X	X		NSP1
11618 S Ada Street	1	\$343,150.28	West Pullman	34	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP3
11623 S Ada Street	1	\$335,939.51	West Pullman	34	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP3
11625 S Ada Street	1	\$350,821.22	West Pullman	34	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP3
11627 S Racine Avenue	1	\$38,786.72	West Pullman	34	HB House Only	X	X	X		X	X		NSP3
11649 S Ada Street	1	\$328,408.09	West Pullman	34	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP3
11740 S Elizabeth Street	1	\$334,607.15	West Pullman	34	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP3
12013-15 S Eggleston Avenue	13	\$1,729,444.7	West Pullman	34	KMA Holdings	X	X	X		X	X		NSP1
1214 W 52nd Street	3	\$313,636.66	New City	16	New West Realty	X	X	X		X	X		NSP1
1337-45 S. Central Park / 3556 W. Douglas Blvd	21	\$3,019,220.08	North Lawndale	24	Karry L. Young Development, LLC	X	X	X					NSP3
1529 S Christina Avenue	2	\$56,097.29	North Lawndale	24	Breaking Ground	X	X	X		X	X		NSP3
1530 S DRAKE AVENUE	2	\$422,405.85	North Lawndale	24	Breaking Ground	X	X	X		X	X		NSP3
1540 S Drake Avenue	2	\$286,203.31	North Lawndale	24	Breaking Ground	X	X	X		X	X		NSP1
1550 S Sawyer Avenue	2	\$305,476.41	North Lawndale	24	Breaking Ground	X	X	X		X	X		NSP1
1553 S Sawyer Avenue	6	\$190,410.72	North Lawndale	24	Anchor Group Ltd. of Illinois	X	X	X		X	X		NSP1
1636 N Spaulding Avenue	35	\$447,465.9	Humboldt Park	26	KMA Holdings	X	X	X		X	X		NSP1
1641-43 N Lamont Avenue	4	\$517,078.43	Austin	37	Breaking Ground	X	X	X		X	X		NSP1
1647 S Trumbull Avenue	2	\$430,868.06	North Lawndale	24	Breaking Ground	X	X	X		X	X		NSP1
1823 N Tripp Avenue	2	\$292,509.68	North Lawndale	24	Keane Construction	X	X	X		X	X		NSP2
1830 N Tripp Avenue	1	\$448,552.19	Hermosa	30	Keane Construction	X	X	X		X	X		NSP2
1830 N Kedvale Avenue	1	\$358,807.45	Hermosa	30	CDGII, Inc	X	X	X		X	X		NSP1
1863 S Lawndale Avenue	15	\$1,931,750.42	North Lawndale	24	CDGII, Inc	X	X	X		X	X		NSP1
2016 N Karlov Avenue	1	\$443,087.51	Hermosa	30	Unity Enterprise Development Corporation	X	X	X		X	X		NSP2
2028 N Kilbourn Avenue	1	\$340,352.6	Hermosa	31	JML Development, Inc.	X	X	X		X	X		NSP2
2039 N Kostner Avenue	2	\$511,694.28	Hermosa	30	Breaking Ground	X	X	X		X	X		NSP2
2105 N Tripp Avenue	1	\$369,836.2	Hermosa	30	Unity Enterprise Development Corporation	X	X	X		X	X		NSP2
2107 N Karlov Avenue	2	\$655,449.1	Hermosa	30	PMG Chicago Group II, LLC	X	X	X		X	X		NSP2
2112 N Kilbourn Avenue	1	\$393,307.98	Hermosa	31	Keane Construction	X	X	X		X	X		NSP2
2114 N Kilpatrick Avenue	2	\$100,176.07	Belmont Cragin	31	HB House Only	X	X	X		X	X		NSP2
2118 N Keeler Avenue	1	\$416,303.97	Hermosa	30	JML Development, Inc.	X	X	X		X	X		NSP2
220-222 S Lotus Avenue	4	\$644,234.54	Austin	29	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
2244 N Kostner Avenue	2	\$510,640.58	Hermosa	31	JML Development, Inc.	X	X	X		X	X		NSP2
2501-05 W 63rd Street	12	\$2,425,003.12	Chicago Lawn	15	KMA Holdings	X	X	X		X	X		NSP2
2635 S St. Louis Avenue	1	\$349,598.6	South Lawndale	22	Breaking Ground	X	X	X		X	X		NSP2
29 W 108th Street	1	\$210,551.24	Roseland	34	Team 4 Construction, LLC	X	X	X		X	X		NSP2
2925 W 59th Street	9	\$1,291,246.62	Chicago Lawn	16	New Directions Housing Corporation	X	X	X		X	X		NSP1
3128 W 15th Place	2	\$135,641.31	North Lawndale	24	HB House Only	X	X	X		X	X		NSP3
3141 W Monroe Street	1	\$418,229.94	East Garfield Park	28	Karry L. Young Development, LLC	X	X	X		X	X		NSP3
3247 E 91st Street	3	\$109,558.93	South Chicago	10	Clarean Associates, Inc.	X	X	X		X	X		NSP1
3252 E 91st Street	3	\$46,440.93	South Chicago	10	Chicago Metropolitan Housing Development Corp	X	X	X					NSP1
3252-56 W Leland Avenue	6	\$1,574,011.86	Albany Park	33	Community Male Empowerment Project	X	X	X		X	X		NSP2
327 N Central Park Avenue	2	\$338,092.16	East Garfield Park	28	KMW Communities LLC	X	X	X		X	X		NSP1
3302 - 08 W Huron Street	8	\$1,662,659.4	Humboldt Park	27	KMW Communities LLC	X	X	X		X	X		NSP2

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3328 W 65th Street	1	\$405,063.15	Chicago Lawn	15	DHR Investments LLC	X	X	X		X	X		NSP2
3339 W Le Moyne Street	1	\$311,769.37	Humboldt Park	26	Anchor Group Ltd. of Illinois	X	X	X		X	X		NSP1
3351 W Ohio Street	14	\$2,424,225.46	Humboldt Park	27	KMW Communities LLC	X	X	X		X	X		NSP2
3352 W Walnut Avenue	2	\$256,587.99	East Garfield Park	28	Community Male Empowerment Project	X	X	X		X	X		NSP1
3412 W Walnut Street	2	\$238,262.27	East Garfield Park	28	Community Male Empowerment Project	X	X	X		X	X		NSP1
3417 W Hirsch Street	1	\$272,694.06	Humboldt Park	26	Latin United Community Housing Association	X	X	X		X	X		NSP1
3430 W Fulton Avenue	3	\$70,889.54	East Garfield Park	28		X	X		X				NSP1
3454 W Marquette Road	2	\$481,604.63	Chicago Lawn	15	PMG Chicago Group II, LLC	X	X	X		X	X		NSP2
3475 S Central Avenue	22	\$2,556,797.36	Austin	29	Karry L Young Development, LLC	X	X	X		X	X		NSP1
3507 W Hirsch Street	1	\$53,315.56	Humboldt Park	26		X	X	X		X			NSP1
3508 W Palmer Street	1	\$53,524.33	Logan Square	35	JML Development Inc.	X	X	X		X	X		NSP2
3518 W LeMoine Street	1	\$310,035.52	Humboldt Park	26	Latin United Community Housing Association	X	X	X		X	X		NSP1
3519 W Dickens Avenue	2	\$490,085.98	Logan Square	26	Breaking Ground	X	X	X		X	X		NSP2
3520 W Palmer Street	2	\$669,632.45	Logan Square	26	PMG Chicago Group II, LLC	X	X	X		X	X		NSP2
3550 W Lyndale Street	7	\$1,171,675.14	Logan Square	26	Hispanic Housing Dev. Corp.	X	X	X		X	X		NSP2
3551 W Douglas Boulevard	2	\$268,072.35	North Lawndale	24	Breaking Ground	X	X	X		X	X		NSP1
3572 W Palmer Avenue	2	\$429,986.36	Logan Square	26	JML Development Inc.	X	X	X		X	X		NSP2
3647 W Palmer Street	1	\$491,977.45	Logan Square	26	PMG Chicago Group II, LLC	X	X	X		X	X		NSP2
3618 W Ohio Street	3	\$602,350.9	Humboldt Park	27	KMW Communities LLC	X	X	X		X	X		NSP2
3847 W Huron Street	3	\$634,336.48	Humboldt Park	27	KMW Communities LLC	X	X	X		X	X		NSP2
4066 S Lake Park Avenue	1	\$234,689.95	Oakland	4	Breaking Ground	X	X	X		X	X		NSP1
4231 W Division Street	14	\$2,194,112.22	Humboldt Park	37	IFF	X	X	X		X	X		NSP2
4253 W Cortez Street	2	\$504,603.68	Humboldt Park	37	CDGII, Inc	X	X	X		X	X		NSP2
4257 W Central Park Avenue	1	\$514,802.38	Humboldt Park	27	HB Assistance Only	X	X	X		X	X		NSP1
4326 W Dickens Avenue	2	\$6,167,009.24	Hermosa	30	JML Development Inc.	X	X	X		X	X		NSP2
436-42 E 47th Street	16	\$411,980.21	Grand Boulevard	3	Revere Properties Development	X	X	X		X	X		NSP2
4415 W Walton Street	2	\$594,358.77	Humboldt Park	37	Westside Urban Development & Joy's Construction	X	X	X		X	X		NSP2
4419 N Kimball Avenue	1	\$277,996.41	Albany Park	33	PMG Chicago Group II, LLC	X	X	X		X	X		NSP2
4440 W Rice Street	1	\$626,060.34	Humboldt Park	37	CDGII, Inc	X	X	X		X	X		NSP2
4711 N Monticello Avenue	2	\$5,083,407.89	Albany Park	33	KMW Communities LLC	X	X	X		X	X		NSP2
4800-14 S Calumet Avenue	21	\$193,468.01	Grand Boulevard	3	Brimshore Development	X	X	X		X	X		NSP1
49 W 108th Street	1	\$334,737.94	Roseland	34	Team 4 Construction, LLC	X	X	X		X	X		NSP1
5006 W Concord Place	2	\$321,128.39	Austin	37	KMA Holdings	X	X	X		X	X		NSP1
5141 W Concord Place	1	\$36,920.13	Austin	37	Karry L Young Development, LLC	X	X	X		X	X		NSP2
515 N Lawndale Avenue	2	\$67,651.07	Humboldt Park	27		X	X	X		X	X		NSP1
5235 W Adams Street	1	\$271,874.58	Austin	29	Breaking Ground	X	X	X		X	X		NSP1
5244-56 W Adams Street	2	\$308,910.13	Humboldt Park	27	Anchor Group Ltd. of Illinois	X	X	X		X	X		NSP2
536 N Avers Avenue	18	\$1,847,805.7	Washington Park	20	New West Realty	X	X	X		X	X		NSP2
5520 S Prairie Avenue	8	\$672,911.59	Austin	29	Three Corners	X	X	X		X	X		NSP1
5521 W Gladys Avenue	2	\$373,649.51	Austin	29	Breaking Ground	X	X	X		X	X		NSP1
5546 W Quincy Street	10	\$1,992,761.28	Washington Park	20	POAH	X	X	X		X	X		NSP1
5615 S Prairie Avenue	22	\$1,590,982.03	Washington Park	20	Jarrell Lawndale Restoration	X	X	X		X	X		NSP2
5655 S Indiana Avenue	6	\$1,623,876.88	Washington Park	20	1600 Investment Group LTD	X	X	X		X	X		NSP2
5727 S Calumet Avenue	8	\$1,244,267.2	Washington Park	20	IFF	X	X	X		X	X		NSP2
5840 S King Drive	36	\$6,669,211.36	Washington Park	20	St. Edmund's Oasis, LLC	X	X	X		X	X		NSP2
5921-39 S Wabash Avenue	46	\$5,821,312.16	Washington Park	20	Brimshore Development	X	X	X		X	X		NSP1
6015-31 S Indiana Avenue	1	\$359,240.13	Chicago Lawn	16	DMK Investments LLC	X	X	X		X	X		NSP2
6016 S Whipple Street	30	\$4,584,177.97	Washington Park	9	Three Corners	X	X	X		X	X		NSP2
6044-52 S Prairie Avenue	1	\$264,461.	Pullman	20	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
607 E 107th Street	1	\$235,823.5	Pullman	9	Chicago Neighborhood Initiatives	X	X	X		X	X		NSP1
609 E 107th Street	2	\$611,175.83	Woodlawn	20	K.L.E.O Community Family Life Center	X	X	X		X	X		NSP2
6110 S Eberhart Avenue	1	\$372,446.49	Chicago Lawn	15	Restoration Development, LLC	X	X	X		X	X		NSP2
6118 S Sacramento Avenue	1	\$388,540.36	Chicago Lawn	15	Restoration Development, LLC	X	X	X		X	X		NSP2
6124 S Sacramento Avenue	2	\$64,369.59	Woodlawn	20	HB House + Assistance	X	X	X		X	X		NSP1
6125 S St Lawrence Avenue	3	\$328,339	Woodlawn	20	Restoration Development, LLC	X	X	X		X	X		NSP2
6131 S St Lawrence Avenue	1	\$10,624,434.59	Woodlawn	20	POAH	X	X	X		X	X		NSP2
616 E 67th Street	102	\$3,025,409.67	Woodlawn	20	Brimshore Development	X	X	X		X	X		NSP2
6200 S Vernon Avenue	19	\$438,613.13	Washington Park	20	Restoration Development, LLC	X	X	X		X	X		NSP2
6205-15 S Langley Avenue	2	\$63,000.	Washington Park	20		X	X	X		X	X		NSP2
6214 S Indiana Avenue	6		Washington Park	20		X	X	X		X	X		NSP2
6218 S King Drive													

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123 6222 S Evans Avenue	2	\$514,219.2	Woodlawn	20	HB House + Assistance	X	X	X		X			NSP1
124 6237 S Sacramento Avenue	2	\$47,974.68	Chicago Lawn	15	DMR Investments LLC	X	X	X		X	X		NSP2
125 6316 S Rhodes Avenue	2	\$1,081,724.87	Woodlawn	20	POAH	X	X	X	X			X	NSP1
126 6323 S Indeside Avenue	3	\$290,315.72	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
127 6324 S Campbell Avenue	1	\$411,865.15	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
128 6348 S Campbell Avenue	2	\$389,208.3	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
129 6351 S Campbell Avenue	2	\$193,662.15	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
130 6354 S Rockwell Street	1	\$323,548.82	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
131 6405 S Rockwell Street	1	\$184,591.	Chicago Lawn	15	Vesta Property Development LLC	X	X	X		X	X		NSP1
132 6408 S Talman Avenue	1	\$65,367.34	Chicago Lawn	20	HB House Only	X	X	X		X	X		NSP2
133 6427 S Yale Avenue	1	\$118,366.24	Woodlawn	20	POAH	X	X	X		X		X	NSP1
134 6428 S Indeside Avenue	3	\$27,515.5	Woodlawn	20	HB House + Assistance	X	X	X		X			NSP1
135 6431 S Vernon Avenue	2	\$210,867.74	Chicago Lawn	15	Vesta Property Development LLC	X	X	X		X	X		NSP1
136 6433 S Talman Avenue	1	\$43,995.32	Englewood	20	Karry L. Young Development, LLC	X	X	X	X				NSP2
137 6441 S Normal Avenue	1	\$2,209,050.64	Englewood	20	POAH	X	X	X		X		X	NSP1
138 6443-59 S Yale Avenue	15	\$1,866,670.13	Woodlawn	20	Karry L. Young Development, LLC	X	X	X		X			NSP2
139 6456 S Maryland Avenue	12	\$418,628.71	Woodlawn	20	POAH	X	X	X		X			NSP1
140 647 N Spaulding Avenue	1	\$249,495.52	Humboldt Park	27	HB House + Assistance	X	X	X		X	X		NSP1
141 650 N Sawyer Avenue	2	\$341,069.48	Chicago Lawn	15	CDGII, Inc	X	X	X		X	X		NSP2
142 6501 S Artesian Avenue	2	\$46,631.64	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
143 6511 S Maplewood Avenue	2	\$24,862.09	Chicago Lawn	15	Vesta Property Development LLC	X	X	X		X	X		NSP1
144 6523 S Saint Lawrence Avenue	1	\$187,967.92	Woodlawn	20		X	X	X		X			NSP2
145 6544 S Union Avenue	1	\$386,875.22	Englewood	20	HB House + Assistance	X	X	X		X			NSP2
146 657 N Drake Avenue	1	\$354,051.92	Humboldt Park	27	HB House + Assistance	X	X	X		X			NSP1
147 6614 S Woodlawn Avenue	1	\$357,952	Chicago Lawn	15	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
148 6956 S Woodlawn Avenue	1	\$272,949.24	Greater Grand Crossing	5	Restoration Development, LLC	X	X	X		X	X		NSP2
149 6966 S Woodlawn Avenue	1	\$200,140.43	Greater Grand Crossing	5	Revere Properties Development	X	X	X		X	X		NSP1
150 7014 S Kimbark Avenue	4	\$100,087.5	Greater Grand Crossing	5	Celadon Holdings, LLC	X	X	X		X	X	X	NSP2
151 7122 S Ellis Avenue	2	\$223,558.51	Greater Grand Crossing	5		X	X	X		X			NSP1
152 7140 S Woodlawn Avenue	1	\$354,051.92	Greater Grand Crossing	5	Team 4 Construction, LLC	X	X	X		X	X		NSP2
153 7143 S University Avenue	1	\$257,952	Greater Grand Crossing	5	Team 4 Construction, LLC	X	X	X		X	X		NSP2
154 7217 S Ellis Avenue	2	\$381,611.7	Greater Grand Crossing	5	Revere Properties Development	X	X	X		X	X		NSP2
155 730 N Springfield Avenue	2	\$357,696.34	Humboldt Park	27	KMW Communities LLC	X	X	X		X	X		NSP2
156 7525 S Ridgeland Avenue	2	\$889,211.39	South Shore	8	DMR Investments LLC	X	X	X		X	X		NSP1
157 7543-45 S Phillips Avenue	7	\$371,150.79	South Shore	7	New Homes by New Pisgah	X	X	X		X		X	NSP1
158 7614 S Carpenter Street	1	\$532,397.08	Auburn Gresham	17	HB Assistance Only	X	X	X		X			NSP1
159 7618 S May Street	1	\$396,875.22	Auburn Gresham	17	KMW Communities LLC	X	X	X		X			NSP3
160 7620 S Peoria Street	2	\$273,658.95	Auburn Gresham	17	KMW Communities LLC	X	X	X		X	X		NSP3
161 7622 S Ogden Avenue	1	\$417,418.44	South Shore	8	Genesis Housing Development Corp	X	X	X		X			NSP1
162 7631 S Ogden Avenue	2	\$13,360.07	South Shore	8	Genesis Housing Development Corp	X	X	X		X	X		NSP1
163 7646 S Morgan Street	2	\$386,062.8	Auburn Gresham	17	Team 4 Construction, LLC	X	X	X		X	X		NSP1
164 7706 S Throop Street	2	\$350,324.51	Auburn Gresham	17	HB House + Assistance	X	X	X		X	X		NSP3
165 7719 S Ada Street	2	\$425,277.72	Auburn Gresham	17	New Homes by New Pisgah	X	X	X		X	X		NSP1
166 7719 S Throop Street	2	\$428,007.61	Auburn Gresham	17	New Homes by New Pisgah	X	X	X		X	X		NSP1
167 7720 S Peoria Street	1	\$411,140.28	Auburn Gresham	17	KMW Communities LLC	X	X	X		X	X		NSP3
168 7721 S Carpenter Street	2	\$242,292.85	South Shore	8	Team 4 Construction, LLC	X	X	X		X	X		NSP1
169 7728 S Ridgeland Avenue	2	\$20,593.37	Auburn Gresham	17	DMR Investments LLC	X	X	X		X	X		NSP1
170 7734 S Aberdeen Street	1	\$52,345.48	Auburn Gresham	17	Team 4 Construction, LLC	X	X	X		X	X		NSP1
171 7736 S May Street	1	\$320,553.18	Auburn Gresham	17	HB House + Assistance	X	X	X		X			NSP3
172 7736 S Sangamon Street	1	\$44,546.61	Auburn Gresham	17	HB House + Assistance	X	X	X		X			NSP3
173 7737 S Carpenter Street	1	\$307,546.54	Auburn Gresham	17	Karry L. Young Development, LLC	X	X	X	X				NSP3
174 7749 S Ada Street	1	\$205,140.06	Auburn Gresham	17	New Homes by New Pisgah	X	X	X		X	X		NSP1
175 7801 S Aberdeen Street	1	\$531,789.19	Auburn Gresham	17	New Homes by New Pisgah	X	X	X		X	X		NSP1
176 7804 S Green Street	2	\$347,778.89	Auburn Gresham	17	KMW Communities LLC	X	X	X		X	X		NSP3
177 7808 S Peoria Street	2	\$269,020.38	Auburn Gresham	17	Karry L. Young Development, LLC	X	X	X		X	X		NSP3
178 7810 S Carpenter Street	2	\$777,170.14	Auburn Gresham	17	Karry L. Young Development, LLC	X	X	X		X	X		NSP1
179 7835 S Ada Street	1	\$1,922,275.09	Auburn Gresham	17	New Homes by New Pisgah	X	X	X		X	X	X	NSP2
180 7914 S Carpenter Street	4	\$2,033,163.79	Auburn Gresham	17	New Homes by New Pisgah	X	X	X		X	X		NSP1
181 7953 S Vernon Avenue	15	\$470,420.96	Chatham	6	Celadon Holdings, LLC	X	X	X		X			NSP3
182 8031-35 S Drexel Avenue	12	\$280,719.78	Chatham	8	PMG Chicago Group II, LLC	X	X	X		X			NSP3
183 8142 S Evans Avenue	2	\$508,897.12	Chatham	6	Karry L. Young Development, LLC	X	X	X		X	X		NSP3
184 8146 S Marquette Avenue	1	\$763,356.08	South Chicago	7	K.L.E.O. Community Family Life Center	X	X	X		X	X		NSP2
185 825 N Karlov Avenue	2		Humboldt Park	37	KMW Communities LLC	X	X	X		X	X		NSP2
186 8322 S Houston Avenue	4		South Chicago	7	Bronzeville Renovations, LLC	X	X	X		X	X		NSP2

Status of Chicago Neighborhood Stabilization Program Properties

Updated: July 1, 2014

Street Address	Units	Total Development Cost* (at grant close-out)	Community	Ward	Developer	Contract to Buy	Acquired	In Rehab	Demo'd	For Sale / Rented or For Rent (availability varies per property)	Sold	Rented (all units in property initially rented)	Grant
187 8332 S Muskegon Avenue	1	\$37,902.43	South Chicago	7		X	X		X				NSP2
188 8404 S Mansiee Avenue	2	\$40,505.14	South Chicago	7		X	X		X				NSP2
189 8420 S Muskegon Avenue	1	\$36,633.21	South Chicago	7		X	X		X				NSP2
190 8518 S Marquette Avenue	2	\$517,793.13	South Chicago	7	K.I.E.O Community Family Life Center	X	X	X		X	X		NSP2
191 8622 S Saginaw Avenue	1	\$298,131.92	South Chicago	7	K.I.E.O Community Family Life Center	X	X	X		X	X		NSP2
192 8637 S Saginaw Avenue	4	\$744,447.33	South Chicago	7	Bronzeville Renovations, LLC	X	X	X		X	X		NSP2
193 9100 S Burley Avenue	7	\$1,880,959.39	South Chicago	10	Claretian Associates, Inc.	X	X	X		X			NSP2

TOTALS								482 total units rented in all buildings
Contract to Buy	Acquired	In Rehab	Demo'd	For Sale / Rented or For Rent (availability varies per property)	Sold	Rented (all units in property initially rented)		
Unit Total, Current	0	11	87	39	242	139		
Property Total, Current	0	6	20	18	25	98		
Unit Total, Cumulative	856	856	802	39	720	139		
Property Total, Cumulative	191	191	165	18	148	98	25	

*Total Development Cost reflects \$ reported at grant close-out dates.

Chicago Affordable Housing Opportunity Fund (AHOF)



REVENUES RECEIVED

Revenues Received and Deposited 2003-2013

Revenues Received and Deposited 2014 (as of June 30)

Total Affordable Housing Opportunity Fund Revenues Received:

\$	41,036,431.46
\$	2,496,566.80
\$	<u>43,532,998.26</u>

ALLOCATION OF AFFORDABLE HOUSING OPPORTUNITY FUNDS

Affordable Housing Development

Per the Affordable Requirements Ordinance, "Sixty percent of the annual revenues deposited into the fund shall be used for construction or rehabilitation of affordable housing".

60% \$ 26,119,798.96

Chicago Low-Income Housing Trust Fund

Per the Affordable Requirements Ordinance, "Forty percent of the annual revenues deposited into the fund shall be contributed to the Trust Fund of which one-half of the forty percent shall be restricted solely for the purpose of deposit into the Trust Fund's corpus, and the remaining one-half of the forty percent shall be used for the Trust Fund's Affordable Rents for Chicago program, or similar successor program." The Trust Fund designates its successor program as the Multi-year Affordability through Upfront Investment (MAUI).

40% \$ 17,413,199.30

- Multi-year Affordability through Upfront Investment (MAUI) \$ 8,706,599.65
- Corpus \$ 8,706,599.65

Affordable Housing Opportunity Fund (AHOF) Expenditures and Commitments



MULTI-FAMILY HOUSING PROJECTS			Total # Units	TOTAL Development Cost	AHOF Investment	Ward	Community Area
1999	PRAISE APARTMENTS	3622 W. Cermak	34	\$ 4,886,862	\$ 12,570	24th Ward	North Lawndale
2007	TCB LORINGTON APTS L.P.	2211 N. Kedzie, 2630-44 N. Spaulding	54	\$ 14,671,380	\$ 390,673	32nd Ward	Logan Square
2007	HARRIET TUBMAN APARTMENTS	5751-59 S. Michigan	28	\$ 4,779,990	\$ 145,741	20th Ward	Washington Park
2006	PARKSIDE NINE PHASE I	400 W. Division, 500 W. Division, 1100 N. Larabee, Cleveland, Cambridge &	280	\$ 22,148,425	\$ 678,265	27th Ward	Near North
2006	THE PHOENIX HOUSE	1251 S. Sawyer	32	\$ 5,671,318	\$ 560,693	24th Ward	North Lawndale
2006	WESTHAVEN PARK PHASE IIB	Lake Street / Wood Street / Wolcott Avenue / Washington	127	\$ 34,716,232	\$ 747,622	27th Ward	Near West Side
2007	CLARA'S VILLAGE	1637 W. 59th, 1901 W. 59th, 2115 W. 63rd, 6355 S. Wood	24	\$ 15,238,209	\$ 723,850	15th Ward	West Englewood
2005	LEGEND SOUTH A1	40th Street / State Street / Federal Street / Root Street	181	\$ 48,602,882	\$ 67,974	3rd Ward	Grand Boulevard
2012	SARAH'S CIRCLE	4836-38 N. Sheridan Road	10	\$ 3,910,747	\$ 1,227,790	46th Ward	Uptown
2013	PULLMAN WHEELWORKS	901 E. 104th	210	\$ 36,285,634	\$ 975,000	9th Ward	Pullman
2014	WOODLAWN PARK SENIOR	6127 S. Cottage Grove	65	\$ 23,033,000	\$ 506,394	20th Ward	Woodlawn
DPD MULTI-FAMILY			1045	\$ 213,944,679	\$ 6,036,573		
SINGLE FAMILY HOUSING PROJECTS							
CLARETIAN ASSOCIATES PROJECT #58		9108 S. BRANDON AVE.	25	Not included	\$ 500,000.00	10th Ward	South Chicago
TOTAL Department of Planning and Development Investments				\$ 213,944,679	\$ 6,536,573		

Department of Planning and Development
AFFORDABLE REQUIREMENTS ORDINANCE (ARO)
Units and In-Lieu Payments
January 1 - June 30, 2014

Date of Affordable Housing Covenant Filing or Payment-in-Lieu (various dates)	Date of City Council Approval	Type of Development (Rental or For-Sale)	Project Name	Project Address	Ward	Total Units	Affordable Units	In-Lieu Payment Collected	Type & Amount of City Assistance				Affordable Units by Income Level							
									Land Write Down	Zoning change	PD	TIF/ Other Assst.	0-15%	16-30%	31-50%	51-60%	61-80%	81-100%	101+%	
2012-2014 (various dates)	1/3/2012	For Sale	235 Von Buren	235 West Von Buren*	2	714	25	\$917,385			x									
6/20/2014	2/5/2014	Mixed-Use Rental		1-39 S. Green 815-823 W. Madison 6-40 S. Halsted 2740 W North	27	167		\$1,700,000		x	x									
6/3/2014	2/5/2014	Multi-Family		901-937 W 37th St	1	15		\$200,000		x										
4/30/2014	10/31/2012	Single Family For-Sale		1328, 1333, 1345 S Wabash	11	15		\$200,000		x	x									
4/29/2014	10/16/2013	Multi-Family For-Sale			2	n/a	11			x	x						11			
4/28/2014	6/5/2013	Multi-Family Rental	Vue 53	1330 E 53rd St	4	267	27			x	x			27						
4/24/2014	12/11/2013	Multi-Family		2435-53 W Irving Park	47	30		\$300,000		x										
4/15/2014	3/5/2014	Multi-Family Rental		625 W Division	27	240	24		x					24						
1/7/2014	1/17/2013	Multi-Family Rental		5009 N Sheridan 5001-5023 N Sheridan 944-956 W Arapahoe	48	160	16			x							16			
2/20/2014	Old -1/17/2013	Multi-Family Sale		1116-1132 W Adams	2	50	0	\$500,000		x							0			
3/20/2014	7/24/2013	Multi-Family Rental		2917-39 N Central	31	30	3			x							3			
Totals							106	\$3,817,385					0	51	0	55	0	0	0	0

DENSITY BONUS REPORT (through 6/30/2014)						
Property Address	Developer	Plan Commission Approval	Type	Projected Payment	Cash Received	Number of Affordable Units
126 N Des Plaines / 659 W. Randolph	Mesrow Stein Development Services	10/6/2006	units/payment	N/A -- initially built units rather than payment	\$555,124.90	5
2 W Erie, Dana Hotel	Dana Hotel, LLC		payment	\$335,400.00	\$335,400.00	
10 East Delaware	Ten East Delaware, LLC, the Prime Group, Inc., its Manager	6/1/2006	payment	\$2,376,420.00	\$2,376,420.00	
60 E Monroe	Mesa Development	5/1/2005	payment	\$1,325,303.00	\$1,325,303.00	
111 W Illinois	The Alter Group	As of Right	payment	\$922,420.00	\$922,420.00	
123 S Green, The Emerald B	Greek Town Residential Partners LLC, 4104 N. Harlem, 60634	7/21/2006	payment	\$285,600.00	\$285,600.00	
123 S. Green, The Emerald A	Greek Town Residential Partners LLC, 4104 N. Harlem, 60634	7/21/2006	payment	\$224,400.00	\$224,400.00	
151 N State Street (MOMO)	Smithfield Properties, LLC	7/1/2005	payment	\$299,000.00	\$299,000.00	
160 E Illinois	Orange Blue RHA	As of Right	payment	\$639,828.00	\$639,828.00	
301-325 W Ohio (Bowne)	Woodlawn Development LLC (Metropolitan Real Estate)	5/19/2005	payment	\$1,216,860.00	\$1,216,860.00	
550 N St Clair Street	Sutherland Pearsall Dev. Corp.	As of Right	payment	\$373,180.00	\$373,180.00	
600 N Fairbanks Ct	Scholz Development, 610 N Fairbanks	7/1/2005	payment	\$580,880.00	\$580,880.00	
611 S Wells	TR Harrison, LLC	As of Right	payment	\$22,734.50	\$22,734.50	
642 S Clark	Smithfield Properties, LLC	As of Right	payment	\$225,965.00	\$225,965.00	
1001 W VanBuren	Smithfield Properties, LLC	6/1/2005	payment	\$87,451.81	\$87,451.81	
1255 S State	13th&State LLC	5/1/2005	payment	\$247,254.00	\$247,254.00	
1400-16 S Michigan	1400 S Michigan LLC	12/1/2005	payment	\$432,316.80	\$432,316.80	
1454-56 S Michigan	Sedgwick Properties Dev. Corp.	5/19/2005	payment	\$322,371.25	\$322,371.25	
1555 S Wabash Avenue	Nine West Realty, 1300 Paulina St., 3rd Fl 60608	As of Right	payment	\$127,144.80	\$127,144.80	
1720 S Michigan Avenue	1712THC, LLC by CK2 Development LLC	11/1/2005	payment	\$915,631.20	\$915,631.20	
2131 S Michigan Ave/2138 S Indiana	Michigan-Indiana LLC by Chieftain Const.	11/1/2005	payment	\$614,451.60	\$614,451.60	
2100 S Indiana	Avalon Development Group, LLC	9/21/2006	payment	\$285,451.00	\$285,451.00	
205-15 W Washington	Jupiter Realty Corporation	3/16/2006	payment	\$420,305.60	\$420,305.60	
212-232 E Erie, 217-35 W Huron (Flair Tower)	Newport Builders, Inc.	12/1/2005	payment	\$2,250,415.00	\$2,250,415.00	
161 W Kinzie	Lynd Development	Not required	payment	\$1,211,280.00	\$1,211,280.00	
1 S W Walton / 2 W Delaware (Scottish Rite - Walton on the Park)	The Enterprise Companies	Not required	payment	\$2,698,385.00	\$2,698,385.00	
200-218 W Lake St/206 N. Wells St	210-218 W Lake LLC, 920 York Rd., #320, Hinsdale IL 60521	5/1/2007	payment	\$1,439,416.80	\$1,439,416.80	
118 E Erie	NM Project Company, LLC	Not required	payment	\$1,990,686.72	\$1,990,686.72	
501 N Clark	Boyce II, LLC	11/19/2009	payment	\$2,920,843.80	\$2,920,843.80	
55-75 W Grand						
54-74 W Illinois						
618-630 W. Washington/101-121 N Des Plaines (the Catalytic)	The Cornerstone Group 70, LLC	12/1/2005	payment	\$540,630.00	\$540,630.00	
111 W Wacker		4/11/2007	payment	\$89,869.68	\$89,869.68	
171 N Wabash/73 E Lake Street	M&R Development, LLC	8/21/2008	payment	\$1,482,941.00	\$1,482,941.00	
212-232 W Illinois St., 501-511 N Franklin St	206 Acquisitions, LLC, 900 N. Monroe, IL	8/1/2008	payment	\$2,654,166.00	\$1,191,822.00	
1-19 E Chestnut	Loyola University of Chicago	3/21/2013	payment	\$220,607.00	\$220,607.00	
Arkadia						
201-17 S Halsted	White Oak Realty Partners	11/27/2012	payment	\$1,675,132.80	\$1,675,132.80	
61-79 W Adams						
758-78 W Quincy						
118 - 128 W Chicago	Smithfield Properties XVI LLC	5/16/2013	payment	\$714,892.20	\$714,892.20	
801- 819 N LaSalle						
118 - 128 W Chicago	Smithfield Properties XVI LLC	1/16/2014	payment	\$953,198.20	\$953,198.20	
801- 819 N LaSalle						
150 N Jefferson (Randolph Hotel)	Altira Hotels/JHM Hotels		payment	\$474,621.19		
51-67 E Van Buren/401-419 S Wabash (Buckingham-Wabash II)	Buckingham/Wabash LLC	6/18/2009	payment	\$2,026,879.20		
1 South Halsted						
723-741 W. Madison	Mid City Plaza LLC	8/16/2012	payment	\$2,587,291.80		
1-41 S Halsted						
760-778 W Monroe						
407 S Dearborn	407 Dearborn LLC	7/18/2013	payment	\$605,556.48		
35-39 W Van Buren						
324 W Harrison Street (Old Post Office)*	International Property Developers North America Inc	7/18/2013	payment/units	\$26,098,631.00		
200-214 N Michigan Ave (200 N. Michigan Avenue)	Buck Development 200 LLC	12/19/2013	payment	\$1,291,931.20		
723-729 W Randolph (725 Randolph Street)	725 Randolph LLC	12/19/2013	payment	\$541,640.40		
1149-1167 S State St (State/Elm Street)	Elm State Property LLC	1/16/2014	payment	\$1,178,544.00		
707 North Wells	Akara Development Services	Not required	payment	\$351,877.60		
Total				\$68,279,805.63	\$32,215,613.66	5

*Developer has agreed to provide at least 10% of bonus square footage as affordable housing - for a minimum of 281,235 square feet

DENSITY BONUS: PROJECTS ON HOLD						
Property Address	Developer	Plan Commission Approval	Type	Projected Payment	Cash Received	Number of Affordable Units
2346-56 S Wabash	Dave Dubin	3/17/2005	units	N/A Units		10
400 N Lake Shore Drive (The Spire)	Shelborne North Water Street LP	4/19/2007	payment	\$5,700,300.00		
1327 S Wabash (Glashaus)	Wabash Street, LLC, c/o Piedmont Development, 327 S Sangamon, 60607	7/5/2006	payment	\$412,351.00		
535 N St Clair	Sutherland Pearsall Dev. Corp.	6/1/2006	payment	\$3,595,112.35		
1-15 E Superior	1 E Superior, LLC	2/1/2006	payment	\$940,960.00		
150 E Ontario	Monaco Development	5/19/2005	payment	\$3,880,870.40		
Total				\$14,529,593.75		

DENSITY BONUS: CANCELED PROJECTS					
Property Address	Developer	Plan Commission Approval	Type	Projected Payment	date canceled
100-106 S Sangamon, 933-943 W Monroe St	Campus Condominiums, LLC		payment	\$243,617	October-06
301-319 S Sangamon Street / 925 W Jackson	Heidner Properties	8/1/2006	units	N/A Units	March-10
501-517 W Huron, 658-678 N Kingsbury, 500-502 W Erie (Park Kingsbury)	501 Huron Building Corporation	6/1/2006	payment	\$853,320	August-07
8 East Huron	8 E Huron Associates	11/5/2006	payment	\$153,162	Apr-08
680 N Rush (F/K/A 65 East Huron) (Canyon Ranch)	Huron-Rush, LLC	12/1/2005	payment	\$1,550,239	June-08
2100 S Prairie Avenue	2100 S Prairie, LLC	As of Right	payment	\$129,730	August-08
251 E Ohio / 540 N Fairbanks	Fairbanks Development Associates, LLC	1/1/2007	payment	\$1,042,945	October-08
2055 S Prairie (Chess Loft/Aristocrat)	Warman Development	9/1/2005	payment	\$576,947.00	January-09
1712 S Prairie	1712 S Prairie LLC	2/1/2006	payment	\$699,890.00	September-09
630 N McClurg	Golub & Company	5/1/2008	payment	\$1,920,806.40	December-09
Total				\$13,170,655.60	

Chicago Department of Planning and Development
Commitments to the Chicago Housing Authority's Plan for Transformation
Historical Report: December 1, 1999 - June 30, 2014

Year Approved	Closing Date	CHA Development	Rental Development	Address	Ward	Rental Units by Type*			Total Units
						CHA (Public Hsg.)	Affordable	Market Rate	
1999	12/23/1999	Robert Taylor	Langston Offsite I	(scattered sites)	3	29	53	34	116
2000	12/21/2000	Robert Taylor	Quincy Offsite II	(scattered sites)	3	27	54	26	107
2000	11/15/2000	Cabrini-Green	North Town Village I	1311 N. Halsted Street	27	39	39	38	116
2001	11/30/2001	Cabrini-Green	Renaissance North	551 W North Avenue	43	18	12	29	59
2002	6/4/2003	Washington Park	St. Edmunds Meadows	6217 S. Calumet Ave.	20	14	31	11	56
2002	12/22/2003	Stateway Gardens	Pershing Court- Phase I Off-site	(scattered sites)	3	27	53	0	80
2002	8/27/2003	Rockwell Gardens	Rockwell Gardens I A Off-Site	2425 West Adams Street	2	14	18	10	42
2002	3/21/2001	Cabrini-Green	North Town Village II	1311 N. Halsted Street	27	40	0	0	40
2002	11/6/2002	Hilliard Homes	Hilliard Homes Phase I	2031 S. Clark Street	3	153	174	0	327
2002	12/24/2002	Henry Horner	West Haven- Phase II A-1	100 N. Hermitage Avenue	27	87	31	37	155
2003	3/30/2004	Madden Wells	Oakwood Shores Phase 1A	3867 S. Ellis Avenue	4	63	52	48	163
2003	9/10/2004	ABLA	Roosevelt Square I Rental	1222 W. Roosevelt Road	2	125	56	0	181
2003	4/1/2004	Robert Taylor	Mahalia Place C1 - Off Site	9141-9177 S. Chicago Avenue	3	54	44	12	110
2003	4/6/2007	Lakefront	Lake Park Crescent - Phase I A	1081 E. 41st Place	4	13	0	0	13
2004	7/8/2005	Madden Wells	Oakwood Shores I B Rental	3867 S. Ellis Avenue	4	63	52	47	162
2004	12/29/2005	Rockwell Gardens	Jackson Square West End- Rockwell I B	2433 W. Adams Street	2	57	35	0	92
2005	8/12/2004	Drexel	Jazz on the Boulevard	4162 S. Drexel Boulevard	4	30	9	0	39
2005	12/30/2004	Henry Horner	Midrise Phase IIA - 2	100 N. Hermitage Avenue	27	34	0	0	34
2005	5/13/2005	Hilliard Homes	Hilliard Homes Phase II	2031 S. Clark Street	3	152	175	0	327
2005	7/14/2006	North Lawndale	Fountain View Apartments	3718 W. Douglas Boulevard	24	14	26	5	45
2005	4/25/2006	Robert Taylor	Hansberry Square- 1A Rental (on-site)	4016 S. State Street	3	83	68	30	181
2005	11/30/2005	Stateway Gardens	Park Boulevard Phase B	3506 S. State Street	3	54	0	0	54
2006	10/13/2006	Cabrini-Green	Parkside Phase 1A Condo	1152-2 N. Cleveland Avenue	27	72	0	0	72
2006	10/31/2006	Henry Horner	Westhaven - Phase 2B Rental	100 N. Hermitage Avenue	27	70	27	30	127
2006	7/20/2007	ABLA	Roosevelt Square 2 Rental	1222 W. Roosevelt Road	2	120	55	2	177
2006	8/15/2007	Cabrini-Green	Parkside Phase 1B Rental	1152-2 N. Cleveland Avenue	27	35	48	28	111
2007	12/10/2007	Robert Taylor	Coleman Place - Taylor C2 Off-site	(scattered sites)	3	52	43	23	118
2007	12/24/2007	Madden Wells	Oakwood Shores 2A	3867 S. Ellis Avenue	4	81	61	57	199
2008	7/17/2008	Britton Budd	Britton Budd Senior Apartments	501 W. Surf	44	172	0	1	173
2008	12/24/2008	Henry Horner	Westhaven Park Phase IIC	100 N. Hermitage Avenue	27	46	32	14	92
2008	7/30/2009	Robert Taylor	Legends South Phase A2 Rental	4016 S. State Street	3	60	50	28	138
2009	7/16/2009	Madden Wells	Oakwood Shores Phase 2B(ONE)	3867 S. Ellis Avenue	4	29	26	20	75
2009	12/14/2009	Kenmore Gardens	Kenmore Senior Apartments	5040 N. Kenmore Ave.	48	99	0	1	100
2010	3/9/2012	Madden Wells	Oakwood Shores Terrace Medical Center	3753 -3755 South Cottage Grove	4	19	17	12	48
2010	6/30/2010	Cabrini-Green	Parkside 2A Rental	544 W. Oak Street	27	39	53	20	112
2010	7/30/2010	Edgewater	Pomeroy	5650 N. Kenmore Ave.	48	104	0	1	105
2010	8/26/2010	Rockwell Gardens	West End Phase II Rental	224 South Campbell	2	65	33	14	112
2010	9/8/2010	Lawndale Complex	Park Douglas	2719 W. Roosevelt Rd	28	60	49	28	137
2010	9/28/2010	Madden Wells	Oakwood Shores 202 Senior	3750 South Cottage Grove	4	59	16	1	76
2011	6/30/2011	Stateway Gardens	Park Boulevard Phase IIA	3622 S. State Street	3	46	53	29	128
2012	6/29/2012	Lakefront	Lakefront Phase II	Vic. of E. 41st St. & S. Lake Park Ave.	4	47	51	34	132
2012	9/27/2013	Dorchester/Dante	Dorchester Artist Housing	Vic. of E. 70th St. & S. Harper Ave.	5	11	12	9	32
2013	12/24/2013	Stateway Gardens	Park Boulevard Phase IIB	Vic. of 37th St. & S. State St.	3	37	34	37	108
2013	1/29/2014	Robert Taylor	Legends South C3 Rental	Vic. Of 4300-4900 S. Michigan Ave.	3	30	23	18	71
2014	6/25/2014	Cabrini-Green	Parkside Phase 2B Rental	459 W. Division St.	27	36	27	43	106
TOTALS						2,579	1,592	777	5,048

* Figures represent only those rental units in which the City of Chicago has invested. They are not intended to reflect the totality of all public housing, affordable, or market rate units created under the CHA's Plan for Transformation. For a complete progress report on all development activity in support of the Plan for Transformation, please go to http://www.thecha.org/pages/annual_plans_reports_resident_policies/40.php.

TABLE OF INCOME LIMITS
(Effective December 18, 2013)

Household Size	10% Area Median Income	15% Area Median Income	20% Area Median Income	30% Area Median Income (HOME Extremely Low Income Limit)	50% Area Median Income (HOME Very Low Income Limit)	60% Area Median Income	65% Area Median Income	80% Area Median Income (HOME Low Income Limit)	90% Area Median Income	95% Area Median Income	100% Area Median Income	115% Area Median Income	120% Area Median Income	140% Area Median Income
1 person	\$5,070	\$7,605	\$10,140	\$15,200	\$25,350	\$30,420	\$32,955	\$40,550	\$45,630	\$48,165	\$50,700	\$58,305	\$61,800	\$70,980
2 persons	\$5,800	\$8,700	\$11,600	\$17,400	\$29,000	\$34,800	\$37,700	\$46,350	\$52,200	\$55,100	\$58,000	\$66,700	\$70,650	\$81,200
3 persons	\$6,520	\$9,780	\$13,040	\$19,550	\$32,600	\$39,120	\$42,380	\$52,150	\$58,680	\$61,940	\$65,200	\$74,980	\$79,500	\$91,280
4 persons	\$7,240	\$10,860	\$14,480	\$21,700	\$36,200	\$43,440	\$47,060	\$57,900	\$65,160	\$68,780	\$72,400	\$83,260	\$88,300	\$101,360
5 persons	\$7,820	\$11,730	\$15,640	\$23,450	\$39,100	\$46,920	\$50,830	\$62,550	\$70,380	\$74,290	\$78,200	\$89,930	\$95,400	\$109,480
6 persons	\$8,400	\$12,600	\$16,800	\$25,200	\$42,000	\$50,400	\$54,600	\$67,200	\$75,600	\$79,800	\$84,000	\$96,600	\$102,450	\$117,600
7 persons	\$8,980	\$13,470	\$17,960	\$26,950	\$44,900	\$53,880	\$58,370	\$71,800	\$80,820	\$85,310	\$89,800	\$103,270	\$109,500	\$125,720
8 persons	\$9,560	\$14,340	\$19,120	\$28,650	\$47,800	\$57,360	\$62,140	\$76,450	\$86,040	\$90,820	\$95,600	\$109,940	\$116,600	\$133,840
9 persons	\$10,136	\$15,204	\$20,272	\$30,380	\$50,680	\$60,816	\$65,884	\$81,060	\$91,224	\$96,292	\$101,360	\$116,564	\$123,620	\$141,904
10 persons	\$10,715	\$16,073	\$21,430	\$32,116	\$53,576	\$64,291	\$69,649	\$85,692	\$96,437	\$101,794	\$107,152	\$123,225	\$130,684	\$150,013

NOTES:

- Income limits are for the Chicago-Joliet-Naperville, IL HUD Metro FMR Area
- Income until superseded.
- Effective until superseded.
- Income limits for 30%, 50% and 80% as published by HUD.
- Income limits for all other income levels calculated per HUD methodology, based on Very Low Income (50% AMI) limit.
- Income limits for 9-person household calculated at 140% of 4-person limits. Income limits for 10-person household calculated at 148% of 4-person limits

CITY OF CHICAGO
MAXIMUM AFFORDABLE MONTHLY RENTS 2014
 Maximum Monthly Gross Rents (maximum rents when tenants pay no utilities/landlord pays all utilities):

Number of Bedrooms	10%	15%	20%	30%	50% (Low HOME Rent Limit)	60%	High HOME Rent Limit*	65%	80%	100%	120%	HUD Fair Market Rent*
0	\$127	\$190	\$254	\$380	\$663	\$774	\$741	\$843	\$1,014	\$1,268	\$1,545	\$727
1	\$136	\$204	\$272	\$408	\$711	\$829	\$842	\$904	\$1,086	\$1,359	\$1,656	\$826
2	\$163	\$245	\$326	\$489	\$853	\$995	\$982	\$1,087	\$1,304	\$1,630	\$1,988	\$979
3	\$188	\$282	\$377	\$564	\$985	\$1,148	\$1,247	\$1,247	\$1,506	\$1,883	\$2,296	\$1,248
4	\$210	\$315	\$420	\$630	\$1,100	\$1,281	\$1,371	\$1,371	\$1,680	\$2,100	\$2,561	\$1,455
5	\$232	\$348	\$464	\$695	\$1,213	\$1,414	\$1,495	\$1,495	\$1,853	\$2,318	\$2,826	\$1,673

Maximum rents when tenants pay for cooking gas and other electric (not heat):

Number of Bedrooms	10%	15%	20%	30%	50% (Low HOME Rent Limit)	60%	High HOME Rent Limit*	65%	80%	100%	120%	HUD Fair Market Rent*
0	\$92	\$155	\$219	\$345	\$628	\$739	\$706	\$808	\$979	\$1,233	\$1,510	\$692
1	\$93	\$161	\$229	\$365	\$668	\$786	\$799	\$861	\$1,043	\$1,316	\$1,613	\$783
2	\$112	\$194	\$275	\$438	\$802	\$944	\$931	\$1,036	\$1,253	\$1,579	\$1,937	\$928
3	\$129	\$223	\$318	\$505	\$926	\$1,089	\$1,188	\$1,188	\$1,447	\$1,824	\$2,237	\$1,189
4	\$139	\$244	\$349	\$559	\$1,029	\$1,210	\$1,300	\$1,300	\$1,609	\$2,029	\$2,490	\$1,384
5	\$153	\$269	\$385	\$616	\$1,134	\$1,335	\$1,416	\$1,416	\$1,774	\$2,239	\$2,747	\$1,594
0	\$99	\$162	\$226	\$352	\$635	\$746	\$713	\$815	\$986	\$1,240	\$1,517	\$699
1	\$99	\$167	\$235	\$371	\$674	\$792	\$805	\$867	\$1,049	\$1,322	\$1,619	\$789
2	\$118	\$200	\$281	\$444	\$808	\$950	\$937	\$1,042	\$1,259	\$1,585	\$1,943	\$934
3	\$135	\$229	\$324	\$511	\$932	\$1,095	\$1,194	\$1,194	\$1,453	\$1,830	\$2,243	\$1,195
4	\$145	\$250	\$355	\$565	\$1,035	\$1,216	\$1,306	\$1,306	\$1,615	\$2,035	\$2,496	\$1,390
5	\$159	\$275	\$391	\$622	\$1,140	\$1,341	\$1,422	\$1,422	\$1,780	\$2,245	\$2,753	\$1,600

Single Family

Multi-family**

CITY OF CHICAGO
MAXIMUM AFFORDABLE MONTHLY RENTS 2014

Maximum rents when tenants pay for electric heat, cooking gas, and other electric:

Number of Bedrooms	10%	15%	20%	30%	50% (Low HOME Rent Limit)	60%	High HOME Rent Limit*	65%	80%	100%	120%	HUD Fair Market Rent*
Single Family	0	\$47	\$110	\$174	\$300	\$694	\$661	\$763	\$934	\$1,188	\$1,465	\$647
	1	\$31	\$99	\$167	\$303	\$724	\$737	\$799	\$981	\$1,254	\$1,551	\$721
	2	\$33	\$115	\$196	\$359	\$865	\$852	\$957	\$1,174	\$1,500	\$1,858	\$849
	3	\$33	\$127	\$222	\$409	\$993	\$1,092	\$1,092	\$1,351	\$1,728	\$2,141	\$1,093
	4	\$17	\$122	\$227	\$437	\$907	\$1,088	\$1,178	\$1,487	\$1,907	\$2,368	\$1,262
Multi-family**	5	\$14	\$130	\$246	\$477	\$995	\$1,196	\$1,277	\$1,635	\$2,100	\$2,608	\$1,455
	0	\$58	\$121	\$185	\$311	\$594	\$672	\$774	\$945	\$1,199	\$1,476	\$658
	1	\$43	\$111	\$179	\$315	\$736	\$749	\$811	\$993	\$1,266	\$1,563	\$733
	2	\$46	\$128	\$209	\$372	\$878	\$865	\$970	\$1,187	\$1,513	\$1,871	\$862
	3	\$47	\$141	\$236	\$423	\$1,007	\$1,106	\$1,106	\$1,365	\$1,742	\$2,155	\$1,107
	4	\$33	\$138	\$243	\$453	\$1,104	\$1,194	\$1,194	\$1,503	\$1,923	\$2,384	\$1,278
	5	\$31	\$147	\$263	\$494	\$1,213	\$1,294	\$1,294	\$1,652	\$2,117	\$2,625	\$1,472

Maximum rents when tenants pay for gas heat, cooking gas, and other electric:

Number of Bedrooms	10%	15%	20%	30%	50% (Low HOME Rent Limit)	60%	High HOME Rent Limit*	65%	80%	100%	120%	HUD Fair Market Rent*
Single Family	0	\$48	\$111	\$175	\$301	\$695	\$662	\$764	\$935	\$1,189	\$1,466	\$648
	1	\$42	\$110	\$178	\$314	\$735	\$748	\$810	\$992	\$1,265	\$1,562	\$732
	2	\$54	\$136	\$217	\$380	\$886	\$873	\$978	\$1,195	\$1,521	\$1,879	\$870
	3	\$64	\$158	\$253	\$440	\$1,024	\$1,123	\$1,123	\$1,382	\$1,759	\$2,172	\$1,124
	4	\$64	\$169	\$274	\$484	\$1,135	\$1,225	\$1,225	\$1,534	\$1,954	\$2,415	\$1,309
Multi-family**	5	\$72	\$188	\$304	\$535	\$1,254	\$1,335	\$1,335	\$1,693	\$2,158	\$2,666	\$1,513
	0	\$56	\$119	\$183	\$309	\$703	\$670	\$772	\$943	\$1,197	\$1,474	\$656
	1	\$50	\$118	\$186	\$322	\$743	\$756	\$818	\$1,000	\$1,273	\$1,570	\$740
	2	\$62	\$144	\$225	\$388	\$894	\$881	\$986	\$1,203	\$1,529	\$1,887	\$878
	3	\$73	\$167	\$262	\$449	\$1,033	\$1,132	\$1,132	\$1,391	\$1,768	\$2,181	\$1,133
	4	\$74	\$179	\$284	\$494	\$1,145	\$1,235	\$1,235	\$1,544	\$1,964	\$2,425	\$1,319
	5	\$81	\$197	\$313	\$544	\$1,263	\$1,344	\$1,344	\$1,702	\$2,167	\$2,675	\$1,522

CITY OF CHICAGO
MAXIMUM AFFORDABLE MONTHLY RENTS 2014

Maximum rents when tenants pay for electric cooking and other electric (not heat):

Number of Bedrooms	10%	15%	20%	30%	50% (Low HOME Rent Limit)	60%	High HOME Rent Limit*	65%	80%	100%	120%	HUD Fair Market Rent*
Single Family	0	\$88	\$151	\$215	\$341	\$735	\$702	\$804	\$975	\$1,229	\$1,506	\$688
	1	\$87	\$155	\$223	\$359	\$780	\$793	\$855	\$1,037	\$1,310	\$1,607	\$777
	2	\$104	\$186	\$267	\$430	\$936	\$923	\$1,028	\$1,245	\$1,571	\$1,929	\$920
	3	\$120	\$214	\$309	\$496	\$1,080	\$1,179	\$1,179	\$1,438	\$1,815	\$2,228	\$1,180
	4	\$127	\$232	\$337	\$547	\$1,017	\$1,288	\$1,288	\$1,597	\$2,017	\$2,478	\$1,372
	5	\$139	\$255	\$371	\$602	\$1,120	\$1,402	\$1,402	\$1,760	\$2,225	\$2,733	\$1,580
Multi-family**	0	\$95	\$158	\$222	\$348	\$742	\$709	\$811	\$982	\$1,236	\$1,513	\$695
	1	\$93	\$161	\$229	\$365	\$786	\$799	\$861	\$1,043	\$1,316	\$1,613	\$783
	2	\$110	\$192	\$273	\$436	\$942	\$929	\$1,034	\$1,251	\$1,577	\$1,935	\$926
	3	\$126	\$220	\$315	\$502	\$1,086	\$1,185	\$1,185	\$1,444	\$1,821	\$2,234	\$1,186
	4	\$133	\$238	\$343	\$553	\$1,204	\$1,294	\$1,294	\$1,603	\$2,023	\$2,484	\$1,378
	5	\$145	\$261	\$377	\$608	\$1,327	\$1,408	\$1,408	\$1,766	\$2,231	\$2,739	\$1,586

Maximum rents when tenants pay only for other electric:

Number of Bedrooms	10%	15%	20%	30%	50% (Low HOME Rent Limit)	60%	High HOME Rent Limit*	65%	80%	100%	120%	HUD Fair Market Rent*
Single Family	0	\$94	\$157	\$221	\$347	\$741	\$708	\$810	\$981	\$1,235	\$1,512	\$694
	1	\$96	\$164	\$232	\$368	\$789	\$802	\$864	\$1,046	\$1,319	\$1,616	\$786
	2	\$116	\$198	\$279	\$442	\$948	\$935	\$1,040	\$1,257	\$1,583	\$1,941	\$932
	3	\$134	\$228	\$323	\$510	\$1,094	\$1,193	\$1,193	\$1,452	\$1,829	\$2,242	\$1,194
	4	\$145	\$250	\$355	\$565	\$1,216	\$1,306	\$1,306	\$1,615	\$2,035	\$2,496	\$1,390
	5	\$160	\$276	\$392	\$623	\$1,342	\$1,423	\$1,423	\$1,781	\$2,246	\$2,754	\$1,601
Multi-family**	0	\$101	\$164	\$228	\$354	\$748	\$715	\$817	\$988	\$1,242	\$1,519	\$701
	1	\$102	\$170	\$238	\$374	\$795	\$808	\$870	\$1,052	\$1,325	\$1,622	\$792
	2	\$122	\$204	\$285	\$448	\$954	\$941	\$1,046	\$1,263	\$1,589	\$1,947	\$938
	3	\$140	\$234	\$329	\$516	\$1,100	\$1,199	\$1,199	\$1,458	\$1,835	\$2,248	\$1,200
	4	\$151	\$256	\$361	\$571	\$1,222	\$1,312	\$1,312	\$1,621	\$2,041	\$2,502	\$1,396
	5	\$166	\$282	\$398	\$629	\$1,348	\$1,429	\$1,429	\$1,787	\$2,252	\$2,760	\$1,607

CITY OF CHICAGO
MAXIMUM AFFORDABLE MONTHLY RENTS 2014

Number of Bedrooms	Utility allowances per CHA schedule for:				
	Cooking gas & other electric (not heat)	Electric heat, cooking gas & other electric	Gas heat, cooking gas & other electric	Electric cooking & other electric (not heat)	Other electric only (not cooking or heat)
0	\$35	\$80	\$79	\$39	\$33
1	\$43	\$105	\$94	\$49	\$40
2	\$51	\$130	\$109	\$59	\$47
3	\$59	\$155	\$124	\$68	\$54
4	\$71	\$193	\$146	\$83	\$65
5	\$79	\$218	\$160	\$93	\$72
0	\$28	\$69	\$71	\$32	\$26
1	\$37	\$93	\$86	\$43	\$34
2	\$45	\$117	\$101	\$53	\$41
3	\$53	\$141	\$115	\$62	\$48
4	\$65	\$177	\$136	\$77	\$59
5	\$73	\$201	\$151	\$87	\$66

Single Family Multi-family**

NOTE: Gross rent limits for 50% and 65% AMI, the High HOME Rent, and the Fair Market Rent are published by HUD. All other rent limits are calculated assuming 1.5 occupants per bedroom and 1 occupant for an apartment with no bedrooms.

* For HOME-funded developments, rents are the "lesser of" the Fair Market Rent for the unit size or the High HOME Rent for the unit size. In HOME-funded developments with 5 or more units, 20% of the HOME-assisted units must be occupied by very-low income families whose rents do not exceed 30% of the annual income of a family whose income equals 50% of the area median. This is known as the "Low HOME Rent."

** Semi-detached, row house, duplex, townhouse, elevator/high-rise apartments, garden/walk-up apartments