



City of Chicago



SO2022-3905

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	12/14/2022
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 8-G at 831 W 33rd St - App No. 22047T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

Final for Publication

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map No.8-G in the area bounded by

West 33rd Street; a line 297 feet west of and parallel to South Halsted Street; Public Alley south of and parallel to West 33rd Street; and a line 322 feet west of and parallel to South Halsted Street;

to those of a RM5 Residential Multi-Unit District is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 831 West 33rd Street

SUBSTITUTE NARRATIVE AND PLANS
FOR TYPE-1 ZONING AMENDMENT
AT 831 WEST 33RD STREET
CHICAGO, IL 60608

Use: The Applicant seeks a zoning change from the current RS3 Residential Single-Unit (Detached House) District to an RM5 Residential Multi-Unit District to meet the bulk and density requirements of the RM5 District. Subject property is improved with two (2) residential buildings, which will remain. The front building is 2-story residential building containing two (2) dwelling units. This building experienced fire damage and the zoning change will allow the Applicant to rehabilitate the building and legalize its existing rear addition. The rear building is a 3-story building containing three (3) dwelling units and will remain intact.

Project's Floor Area: Front Building: 3,320 SF
Rear Building: 3,496.50 SF
Total: 6,816.50 SF

Project's Density: 5 Dwelling Units, 728 SF.
(MLA-Minimum Lot Area
Per Dwelling Unit)

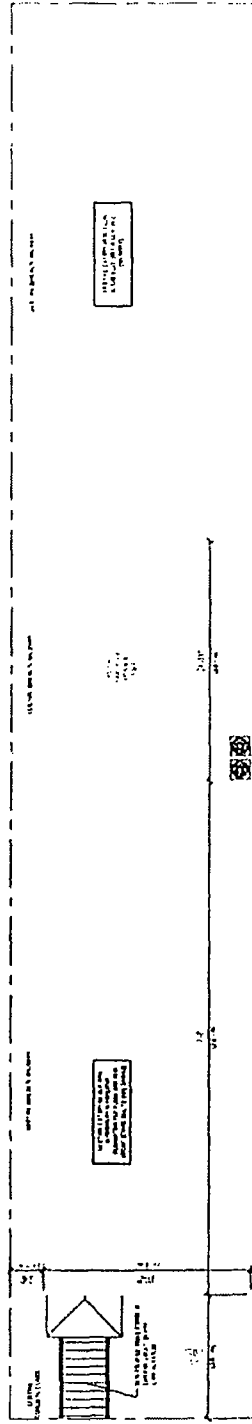
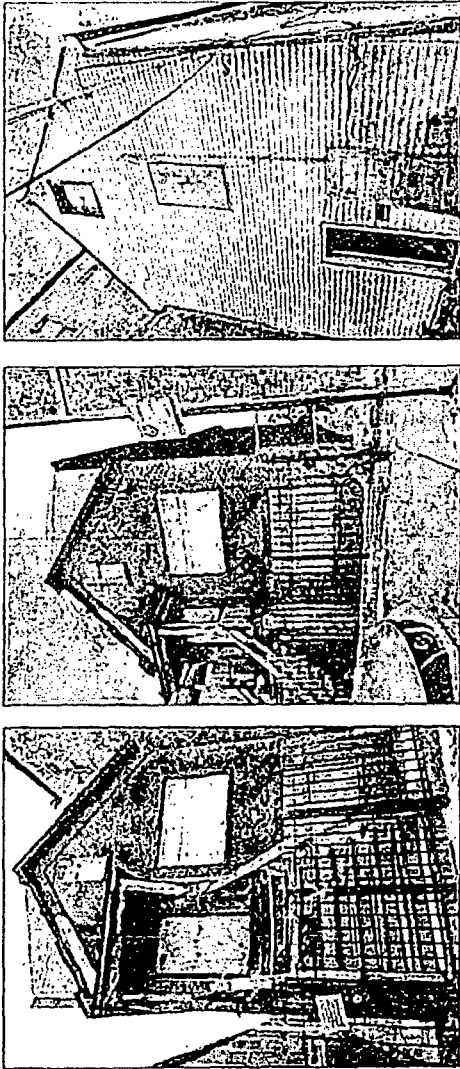
Parking: None. The property does not have on-site parking. The existing residential buildings will remain.

Setbacks: Front: 12'-6 1/2" (Existing)
Rear: 0' (Existing)
Side Setbacks:

- East Side Setback: 3'-6" (Existing)
- West Side Setback: 4" (Existing)
 - A variation to reduce the west side setback will be required to legalize the front building's rear addition.

Building Height: Front Building: 27'-6" (Existing)
Rear Building: 38' (Existing)

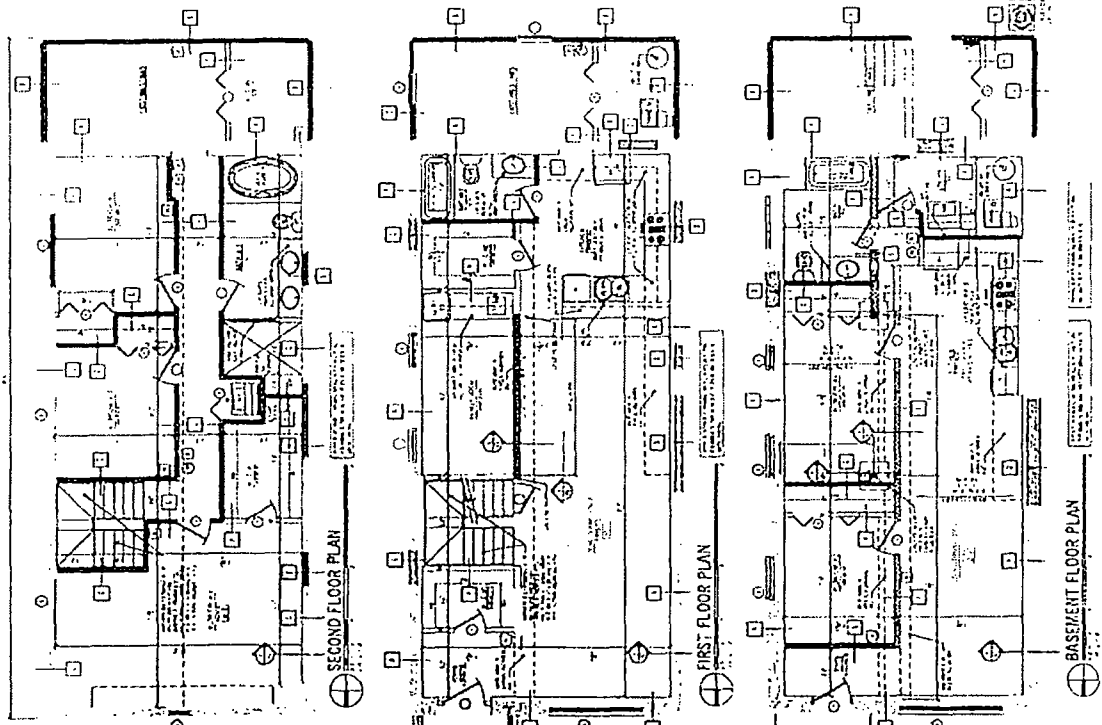
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CITY OF CHICAGO ZONING DATA

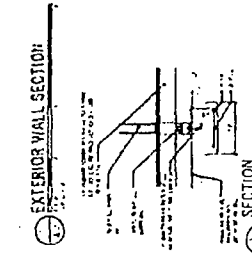
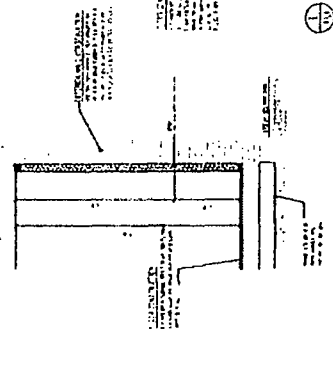
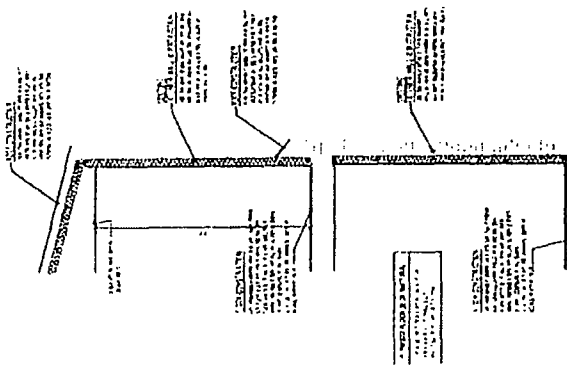
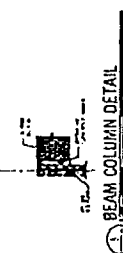
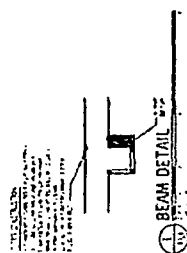
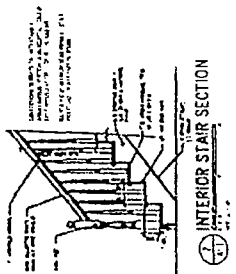
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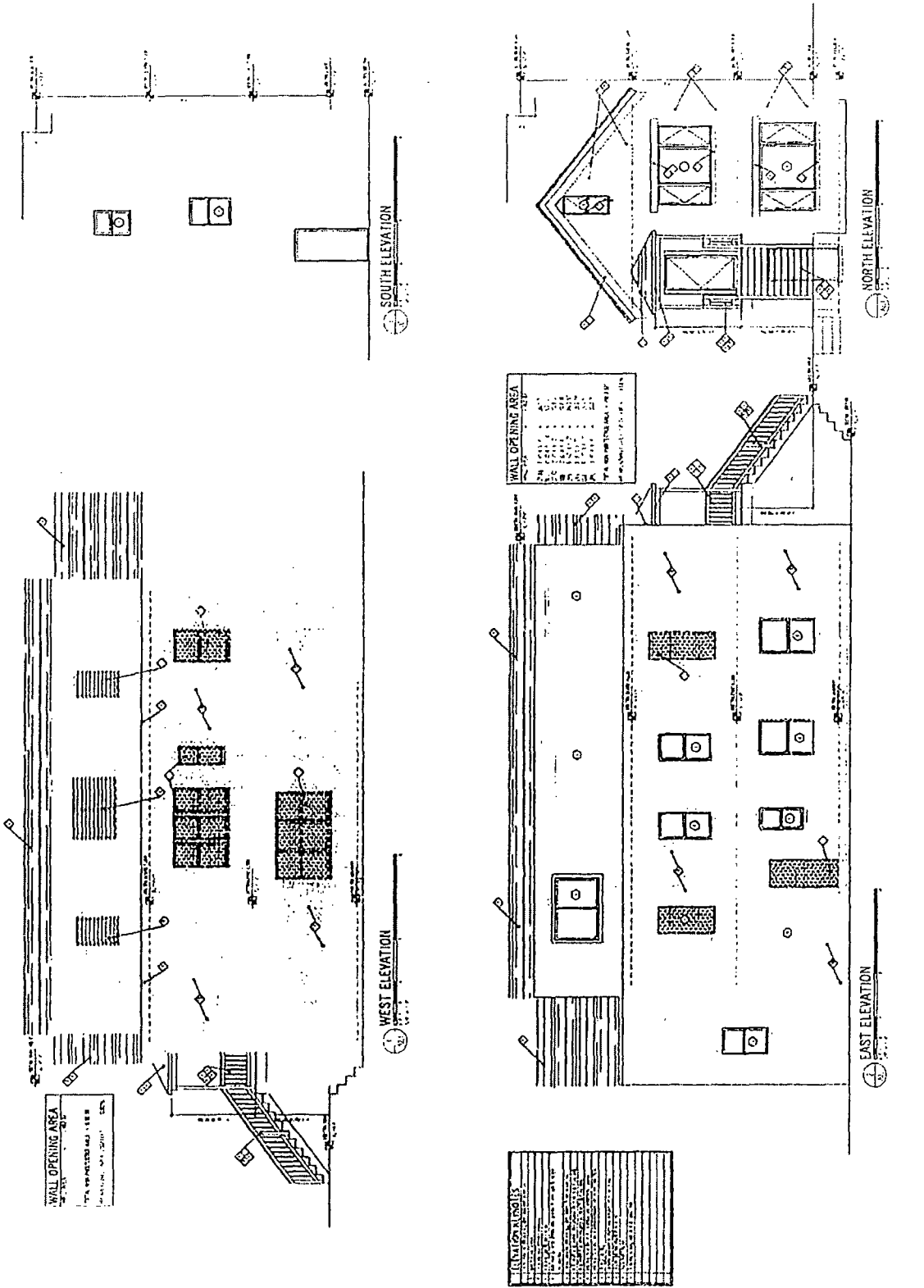
SYMBOLS	
○	DOOR
○	WINDOW
○	STAIR
○	ELEVATOR
○	PLUMBING
○	ELECTRICAL
○	MECHANICAL
○	STRUCTURAL

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	CONCRETE	100	CU YD	FOR FOUNDATION
2	BRICK	1000	SQ YD	FOR WALLS
3	CEMENT	100	TONS	FOR CONCRETE
4	STEEL	100	TONS	FOR STRUCTURE
5	GLASS	100	SQ FT	FOR WINDOWS
6	PAINT	100	GALLONS	FOR INTERIOR
7	PLASTER	100	SQ YD	FOR WALLS
8	ROOFING	100	SQ YD	FOR ROOF
9	MECHANICAL	100	TONS	FOR HVAC
10	ELECTRICAL	100	TONS	FOR WIRING



DATE: 11/15/11
 DRAWN BY: J. SMITH
 CHECKED BY: M. JONES
 PROJECT NO.: 123456789

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