



City of Chicago



SO2019-6843

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	9/18/2019
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 2-I at 731-799 S Washtenaw Ave and 2609-2659 W Harrison St - App No. 20196
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-1 Limited Manufacturing/Business Park District and C1-2 Neighborhood Commercial District symbols and indications as shown on Map. No. 2-I in the area bounded by:

The centerline of West Harrison Street; the west boundary of the Union Pacific Railroad Right of Way; the centerline of West Polk Street; the west boundary of the Union Pacific Railroad right of way; the north line of West Taylor Street; a line that is parallel to and 19.50 feet east of the west line of vacated South Washtenaw Avenue; the south line of the first 16-foot east-west alley south of West Polk Street; the west line of vacated South Washtenaw Avenue; the centerline of West Polk Street; the centerline of South Washtenaw Avenue.

to those of a C3-3 Commercial, Manufacturing and Employment District then to an Institutional Planned Development which is hereby established in the area described.

SECTION 3. This ordinance takes effect after its passage and publication.

Address of Property: 731-799 South Washtenaw Ave./2605-59 West Harrison Street

STANDARD PLANNED DEVELOPMENT STATEMENTS

The Planned Development Statements describe the legal regulations and conditions that will control the development of the proposed project. The following statements shall be included in the ordinance; any proposed changes to these statements must be discussed and reviewed with the Chicago Department of Planning and Development.

1. The area delineated herein as Institutional Planned Development Number ____, (Planned Development) consists of a net site area of approximately 859,371 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map (Property) and is owned or controlled by the Applicants, Chicago Hope Academy and Chicago Lions Charitable Association.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

Applicants: Chicago Hope Academy/Chicago Lions Charitable Association
Address: 731-799 South Washtenaw/2605-59 West Harrison Street
Date of Introduction: September 18, 2019
Plan Commission: April 15, 2021

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway & landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This Plan of Development consists of 18 Statements: a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Overall Site Plan; Proposed Site Plan (North Half); Proposed Site Plan (South Half); Pedestrian and Vehicular Access Plan; Floor Plans (Chicago Hope Academy); Roof Plan; Floor Plans (CLCA Fieldhouse); Building Elevations-Chicago Hope Academy (North, South, East and West); Building Elevations-CLCA Fieldhouse (North, South, East and West); Metal Screen (CLCA Fieldhouse); Landscape Plans (CLCA Athletic Fields (dated 8/26/18)); Landscape Plan (North) and Landscape Plan (South) and Typical CDOT Details prepared by Team A and dated (date of Plan Commission presentation), submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.

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5. The following uses are permitted in the area delineated herein as a Planned Development TBD: (list uses as they are defined in the Chicago Zoning Ordinance):
 - Accessory Parking
 - Parks and Recreation
 - Community Centers, Recreation Buildings and Similar Assembly Use and
 - Community Garden
 - School
 - Spectator Sports, Large Venue (1,000+ capacity)
 - Sports and Recreation, Participant, Outdoor & Indoor
 - Vocational training

6. The Applicants plan to include amenities for the use and enjoyment of the community within their proposed campus development. Such amenities will include:
 - Dog Park
 - Community Courtyard
 - Memorial, Flags & Donor Recognition Wall
 - Entry Gathering Terrace
 - Playground
 - Sports Court

7. The overall development will include two hundred ninety-one (291) accessory parking spaces.

8. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. All signs, logos and any crosses will be placed at a height of no more than 50 feet above grade. Off-Premise signs are prohibited within the boundary of the Planned Development.

9. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.

10. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 859,371 square feet and a base FAR of 1.0.

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11. Upon review and determination, Part II Review, pursuant to Section 17-13-0610, a Part II Review Fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
12. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
13. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
14. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned Policy and must provide documentation verifying compliance.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the city in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for

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participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The city encourages goals of (i) 26% MBE and 6% WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50% city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II permit review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

18. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a Zoning Map Amendment to rezone the property to C3-3 Community, Manufacturing and Employment District.

INSTITUTIONAL PLANNED DEVELOPMENT NO. _____
 BULK REGULATIONS AND DATA TABLE

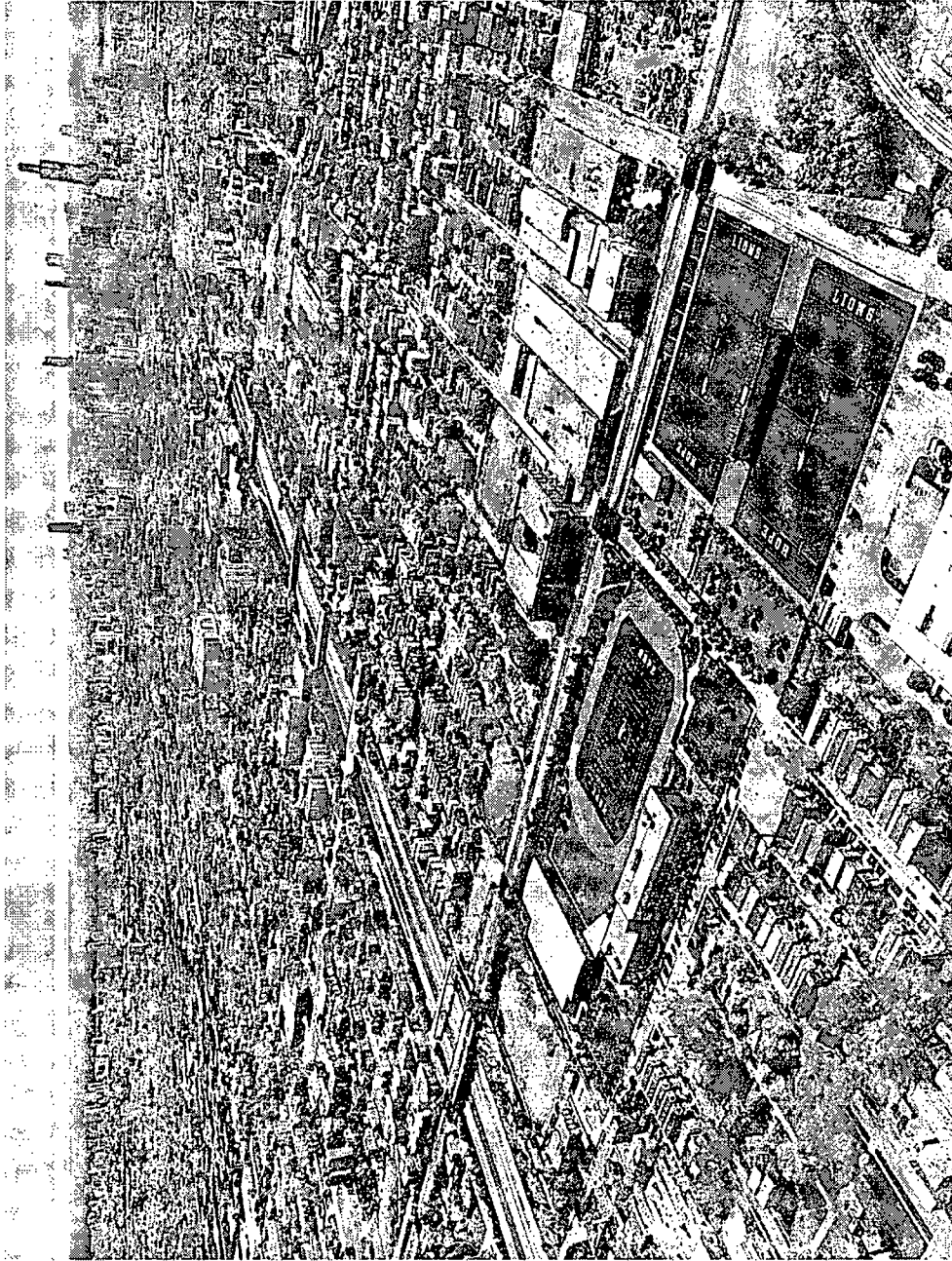
Gross Site Area:	958,340 sq. ft.
Area of Public Right of Way:	98,969 sq. ft.
Net Site Area:	859,371 sq. ft.
Proposed Floor Area Ratio:	1.0
Maximum Floor Area Ratio:	1.0
Allowed Uses:	All uses identified in Statement Number 5
Bleacher Seating:	3,864 bleacher seats (further defined below) <ul style="list-style-type: none"> • Athletic Field Occupancy: 2,340 seats • Fieldhouse Occupancy: 240 seats • School Stadium Occupancy: 1,284 seats
No. of Off-street Parking Spaces:	291 spaces (as further defined below) <ul style="list-style-type: none"> • Existing Lot 1: 62 Spaces • Existing Lot 2: 59 Spaces • Proposed Lot 3: 80 Spaces • Existing Lot 4: 75 Spaces • Proposed Lot 5: 15 Spaces <p style="text-align: right;">Total: 291 Spaces</p>
Bicycle Parking:	21 bicycle spaces (North) 32 bicycle spaces (South) <p style="text-align: right;">Total: 53 bicycle spaces</p>
No. of Loading Berths	One (1) 10' x 50' (school); Three (3) 10' x 50' (athletic fields)
Maximum Building Height:*	50' (proposed school) 45' (proposed field house) 63'-6" (proposed bell tower)*

***Only the proposed bell tower shall be permitted to exceed 50 ft., with a maximum height of 63'-6". The maximum heights of the proposed school and field house are noted above.**

Minimum Setbacks: In accordance with plans

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 731-99 South Washtenaw Ave./2605-59 West Harrison St.
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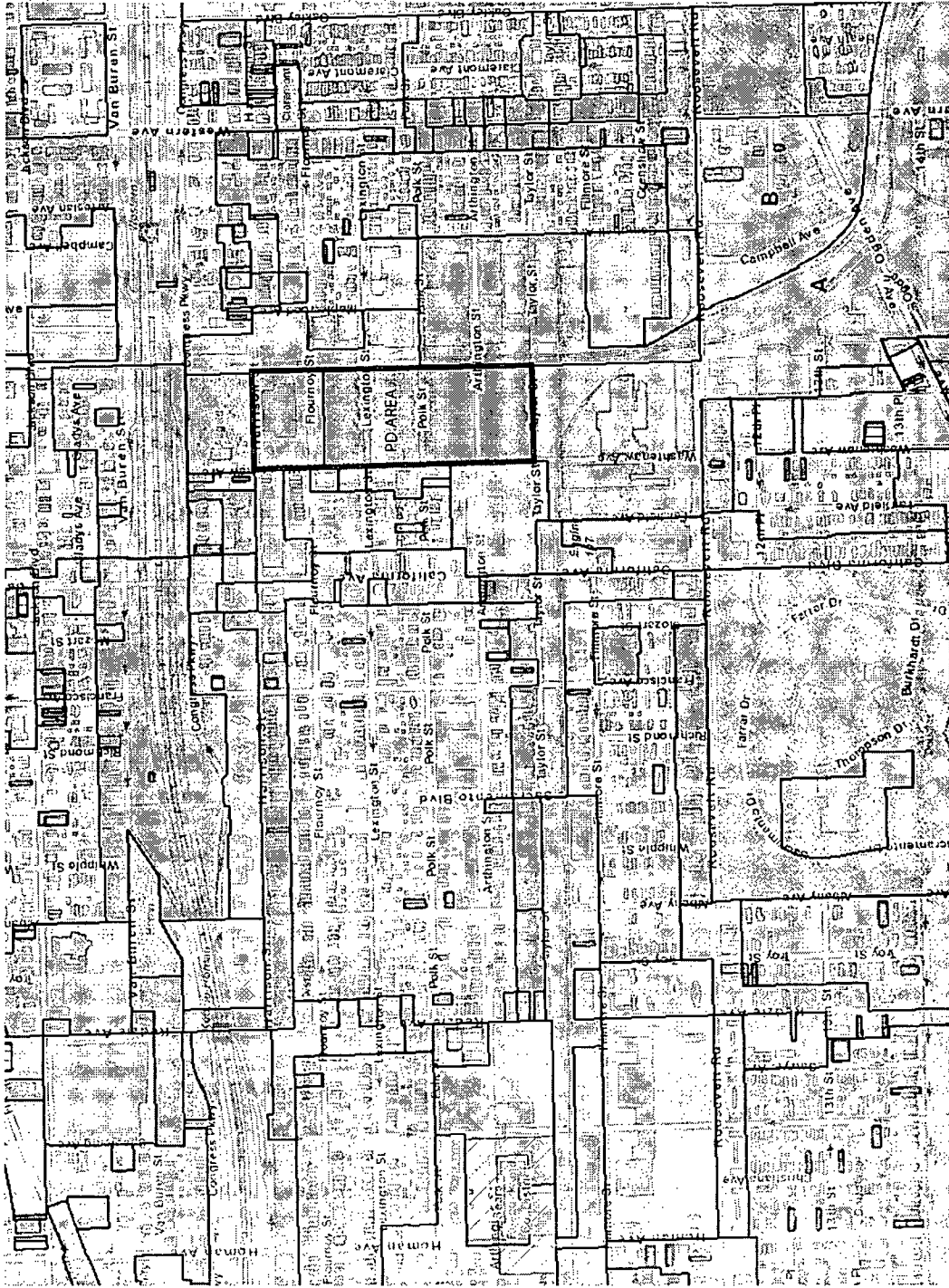


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CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 PLAN COMMISSION MEETING
 04.15.2021

<p>DATE: 04/15/2021</p> <p>PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION</p> <p>OWNER: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION</p> <p>ARCHITECT: [FIRM NAME]</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 04/15/2021</p>	<p>CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION</p> <p>731-799 S. Washburn Ave.,</p> <p>Chicago, IL 60612</p>
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COVER
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EXISTING ZONING DISTRICTS

	MANUFACTURING		BUSINESS		RESIDENTIAL		PD BOUNDARY
	PLANNED MANUFACTURING		COMMERCIAL		PARKS & OPEN SPACE		

EXISTING ZONING
G008

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S Washlenaw Ave.,
Chicago, IL 60612

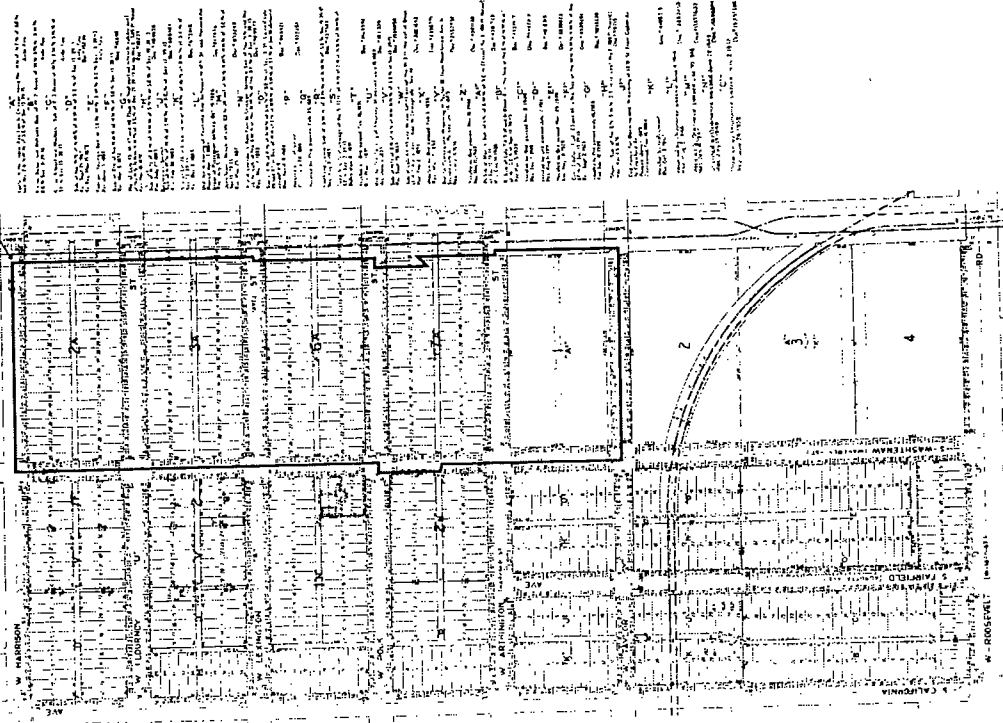
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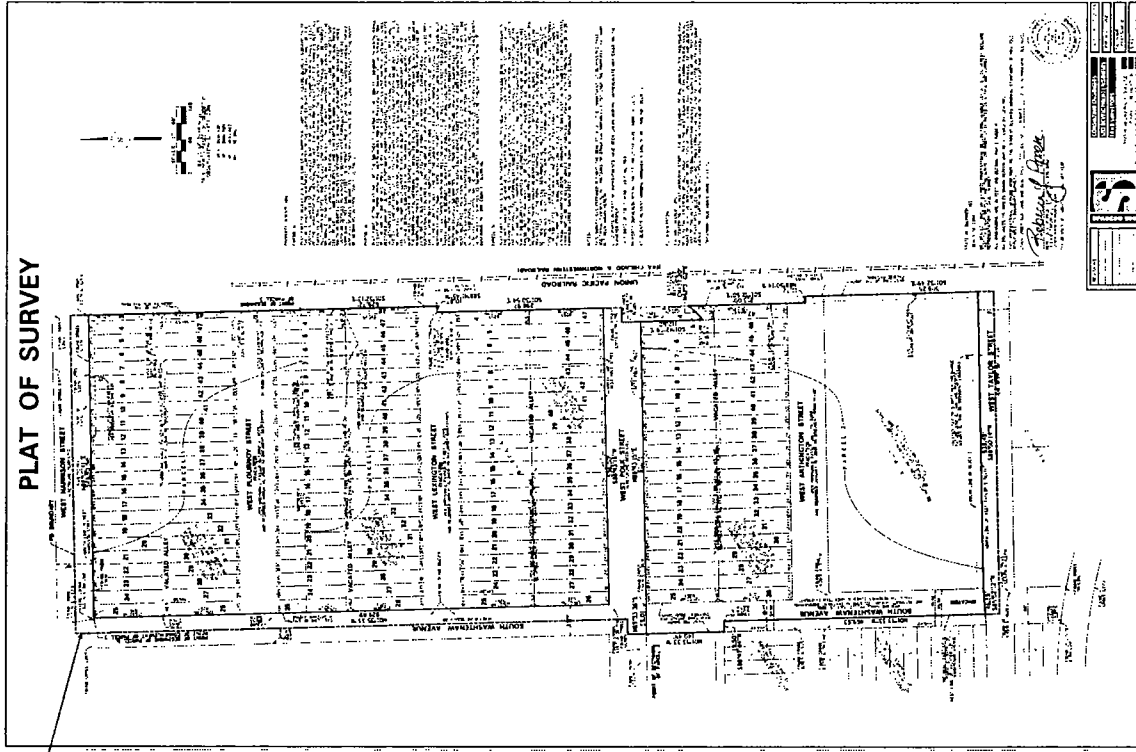
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PD BOUNDARY



Chicago 4 Page 7

PLAT OF SURVEY



PD BOUNDARY



PLANNED DEVELOPMENT
BOUNDARY

G010

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

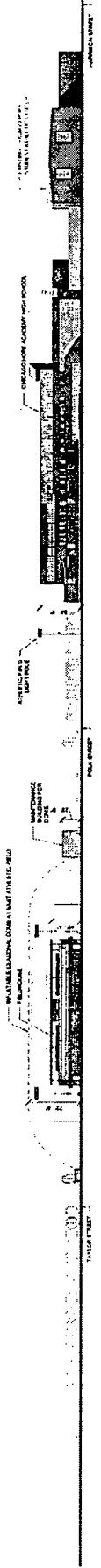
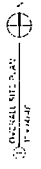
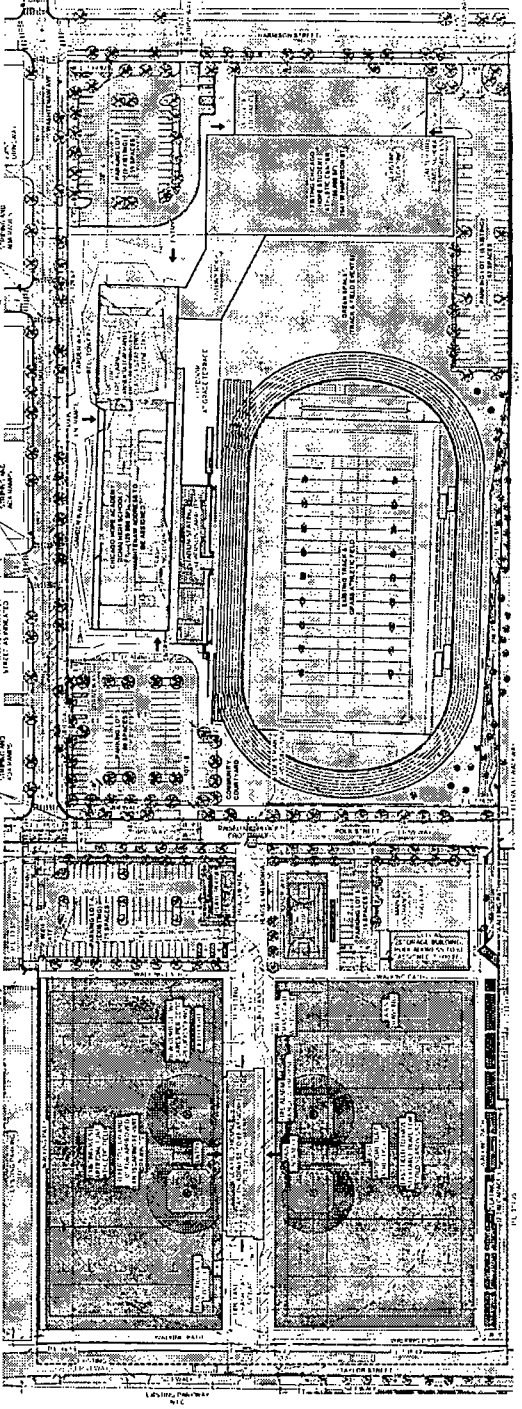
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Chicago, IL 60612

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STATE OF ILLINOIS
COUNTY OF COOK
PLANNING COMMISSION
JULY 15, 2011
BY: [illegible]
COMMISSIONER

FINAL FOR PUBLICATION

- 1. CHICAGO HOPE ACADEMY SITE DEVELOPMENT
- 2. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
- 3. ALL DISTANCES ARE MEASURED FROM THE CORNER OF THE LOT.
- 4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVE UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SIDEWALK UNLESS OTHERWISE NOTED.
- 7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED.
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- 9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE BUILDING UNLESS OTHERWISE NOTED.
- 10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
- 11. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROOF UNLESS OTHERWISE NOTED.
- 12. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE FLOOR UNLESS OTHERWISE NOTED.
- 13. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CEILING UNLESS OTHERWISE NOTED.
- 14. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STRUCTURE UNLESS OTHERWISE NOTED.



ELEVATED VIEW OF EAST FACILITY

ITEM	DESCRIPTION	AMOUNT
1	CONSTRUCTION	1,000,000
2	LANDSCAPING	500,000
3	PAVING	200,000
4	UTILITIES	100,000
5	MECHANICAL	300,000
6	ELECTRICAL	150,000
7	PLUMBING	100,000
8	INTERIORS	200,000
9	EXTERIORS	100,000
10	CONTINGENCY	100,000
11	TOTAL	3,650,000

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	10/15/11	ABC
2	REVISED	11/01/11	ABC
3	REVISED	12/15/11	ABC
4	REVISED	01/30/12	ABC
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OVERALL SITE PLAN
A100

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

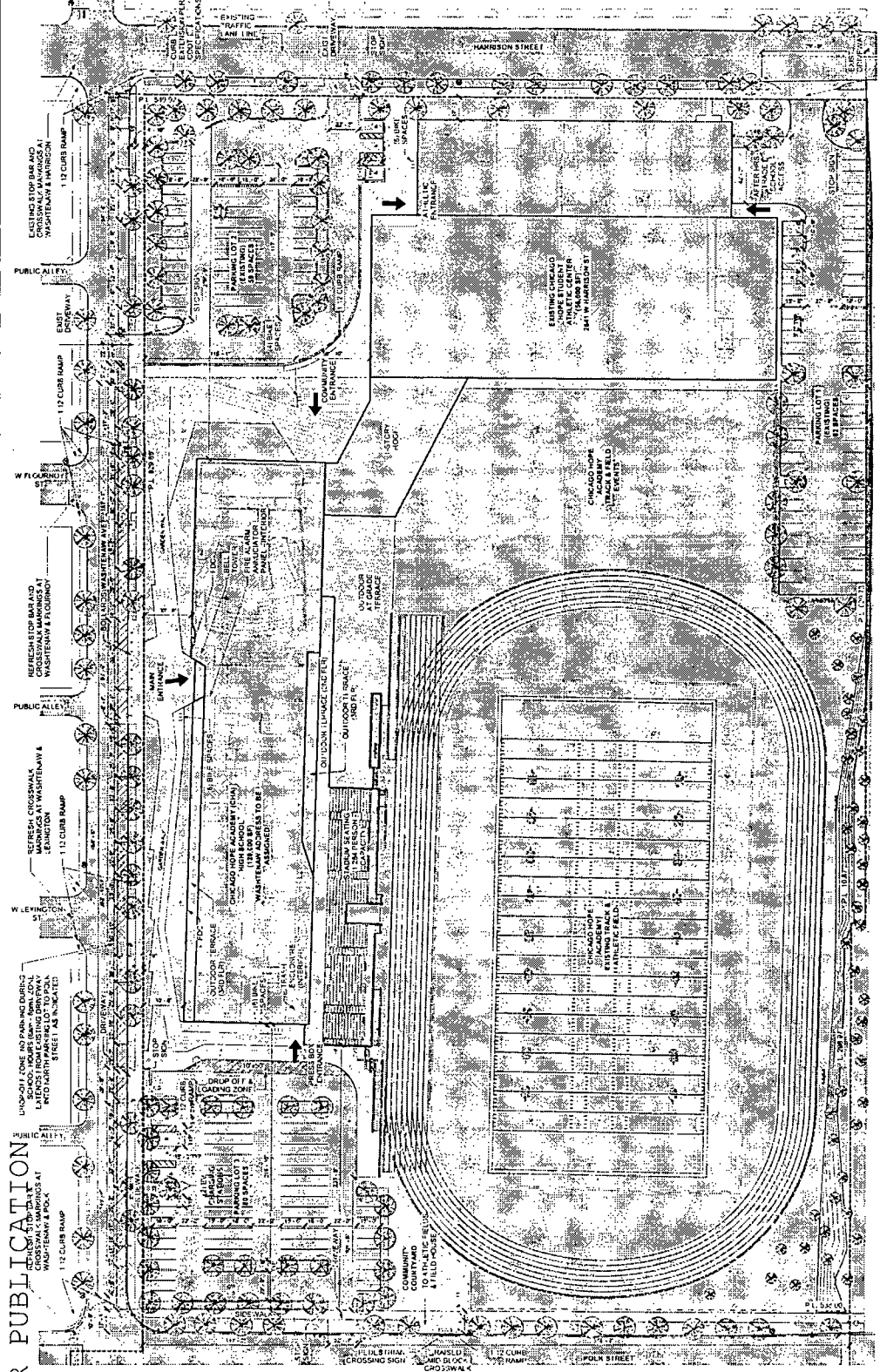
731-799 S Washlenaw Ave.
Chicago, IL 60612

NO.	DESCRIPTION	DATE	BY
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2	REVISED	11/01/11	ABC
3	REVISED	12/15/11	ABC
4	REVISED	01/30/12	ABC
5	REVISED	02/15/12	ABC
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98	REVISED	01/01/16	ABC
99	REVISED	01/15/16	ABC
100	REVISED	02/01/16	ABC

FINAL FOR PUBLICATION

CHICAGO FIRE DEPARTMENT SITE REVIEW CHECKLIST

1. Manual review of site plan, including all drawings.
2. Manual review of site plan, including all drawings.
3. Manual review of site plan, including all drawings.
4. Manual review of site plan, including all drawings.
5. Manual review of site plan, including all drawings.
6. Manual review of site plan, including all drawings.
7. Manual review of site plan, including all drawings.
8. Manual review of site plan, including all drawings.
9. Manual review of site plan, including all drawings.
10. Manual review of site plan, including all drawings.
11. Manual review of site plan, including all drawings.
12. Manual review of site plan, including all drawings.
13. Manual review of site plan, including all drawings.
14. Manual review of site plan, including all drawings.
15. Manual review of site plan, including all drawings.



LEGEND

EXISTING	NEW	REVISION
EXISTING CURB	NEW CURB	REVISION
EXISTING SIDEWALK	NEW SIDEWALK	REVISION
EXISTING DRIVEWAY	NEW DRIVEWAY	REVISION
EXISTING TRAILER	NEW TRAILER	REVISION
EXISTING SIGN	NEW SIGN	REVISION
EXISTING TREE	NEW TREE	REVISION
EXISTING PLANTING	NEW PLANTING	REVISION
EXISTING LIGHTING	NEW LIGHTING	REVISION
EXISTING FENCE	NEW FENCE	REVISION
EXISTING WALL	NEW WALL	REVISION
EXISTING DOOR	NEW DOOR	REVISION
EXISTING WINDOW	NEW WINDOW	REVISION
EXISTING ROOF	NEW ROOF	REVISION
EXISTING FLOOR	NEW FLOOR	REVISION
EXISTING CEILING	NEW CEILING	REVISION
EXISTING MECHANICAL	NEW MECHANICAL	REVISION
EXISTING ELECTRICAL	NEW ELECTRICAL	REVISION
EXISTING PLUMBING	NEW PLUMBING	REVISION
EXISTING HVAC	NEW HVAC	REVISION
EXISTING STRUCTURE	NEW STRUCTURE	REVISION
EXISTING EQUIPMENT	NEW EQUIPMENT	REVISION
EXISTING UTILITY	NEW UTILITY	REVISION
EXISTING LANDSCAPE	NEW LANDSCAPE	REVISION
EXISTING ACCESSIBILITY	NEW ACCESSIBILITY	REVISION
EXISTING SAFETY	NEW SAFETY	REVISION
EXISTING SECURITY	NEW SECURITY	REVISION
EXISTING COMMUNICATIONS	NEW COMMUNICATIONS	REVISION
EXISTING FIRE PROTECTION	NEW FIRE PROTECTION	REVISION
EXISTING ENERGY	NEW ENERGY	REVISION
EXISTING SUSTAINABILITY	NEW SUSTAINABILITY	REVISION

USE & AREA SCHEDULE

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE
1	OFFICE	10,000	10.0%
2	RETAIL	20,000	20.0%
3	RESTAURANT	5,000	5.0%
4	COMMUNITY CENTER	30,000	30.0%
5	PARKING	10,000	10.0%
6	LANDSCAPE	5,000	5.0%
7	ACCESSIBILITY	5,000	5.0%
8	SAFETY	5,000	5.0%
9	SECURITY	5,000	5.0%
10	COMMUNICATIONS	5,000	5.0%
11	FIRE PROTECTION	5,000	5.0%
12	ENERGY	5,000	5.0%
13	SUSTAINABILITY	5,000	5.0%
TOTAL	100,000	100.0%	

INTERESTS, EASEMENTS AND DEED REQUIREMENTS

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE
1	EXISTING SIDEWALK	10,000	10.0%
2	EXISTING DRIVEWAY	5,000	5.0%
3	EXISTING TRAILER	5,000	5.0%
4	EXISTING SIGN	5,000	5.0%
5	EXISTING TREE	5,000	5.0%
6	EXISTING PLANTING	5,000	5.0%
7	EXISTING LIGHTING	5,000	5.0%
8	EXISTING FENCE	5,000	5.0%
9	EXISTING WALL	5,000	5.0%
10	EXISTING DOOR	5,000	5.0%
11	EXISTING WINDOW	5,000	5.0%
12	EXISTING ROOF	5,000	5.0%
13	EXISTING FLOOR	5,000	5.0%
14	EXISTING CEILING	5,000	5.0%
15	EXISTING MECHANICAL	5,000	5.0%
16	EXISTING ELECTRICAL	5,000	5.0%
17	EXISTING PLUMBING	5,000	5.0%
18	EXISTING HVAC	5,000	5.0%
19	EXISTING STRUCTURE	5,000	5.0%
20	EXISTING EQUIPMENT	5,000	5.0%
21	EXISTING UTILITY	5,000	5.0%
22	EXISTING LANDSCAPE	5,000	5.0%
23	EXISTING ACCESSIBILITY	5,000	5.0%
24	EXISTING SAFETY	5,000	5.0%
25	EXISTING SECURITY	5,000	5.0%
26	EXISTING COMMUNICATIONS	5,000	5.0%
27	EXISTING FIRE PROTECTION	5,000	5.0%
28	EXISTING ENERGY	5,000	5.0%
29	EXISTING SUSTAINABILITY	5,000	5.0%
TOTAL	100,000	100.0%	

NOTE: SEE ALL CITY, STATE AND FEDERAL REGULATIONS FOR THE PROJECT.

SCALE: 1/8" = 1'-0"

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

731-799 S Washtenaw Ave.,
Chicago, IL 60612

OWNER: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

ARCHITECT: [Firm Name]

DATE: [Date]

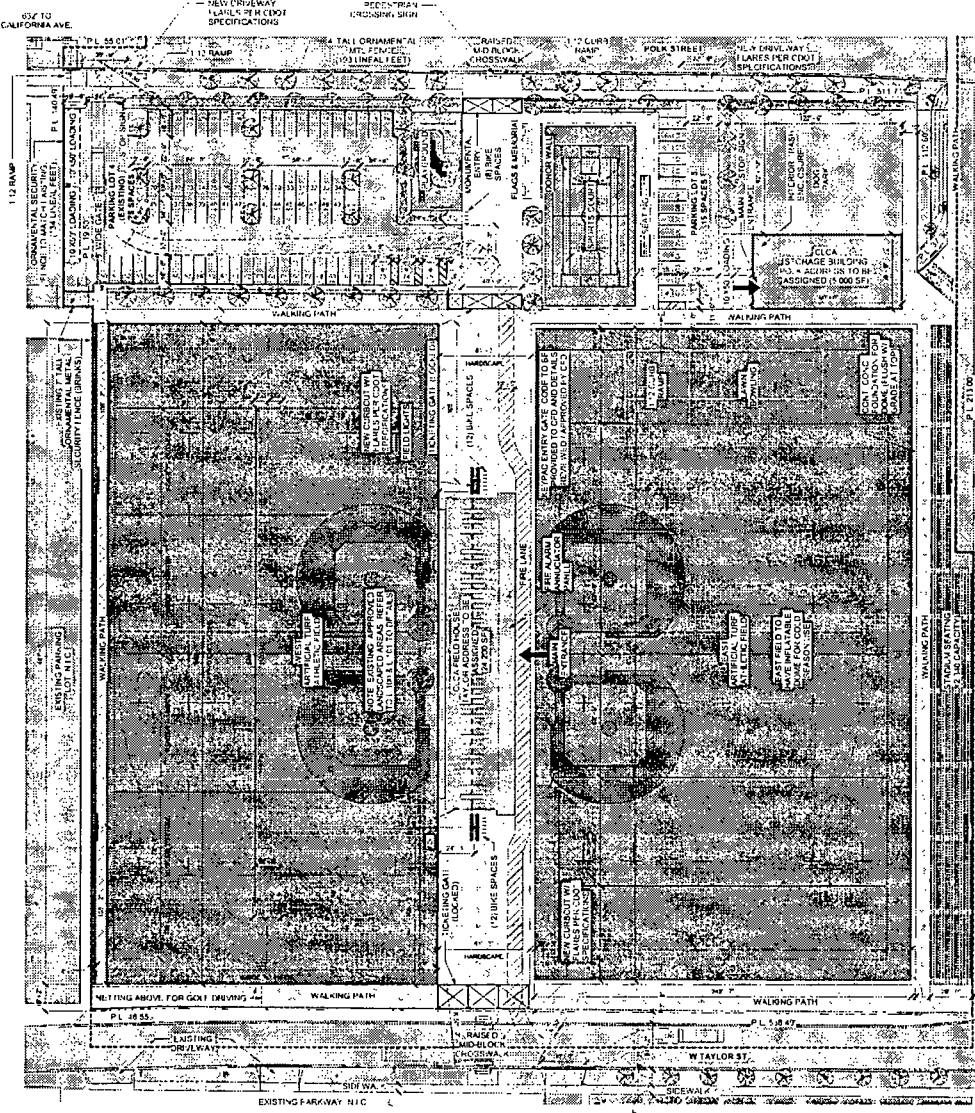
PROJECT NO.: [Project Number]

SCALE: 1/8" = 1'-0"

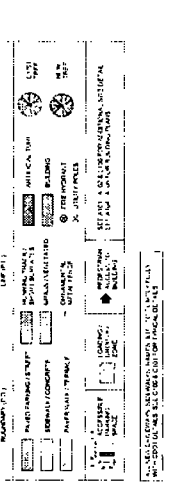
FINAL FOR PUBLICATION

CHICAGO AIA DEPARTMENT SITE REVIEW CHECKLIST

1. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
2. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
3. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
4. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
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9. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
10. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
11. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
12. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
13. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
14. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.
15. Verify the project name and address is correct in the Chicago Building Department's database. If not, correct it.



CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION



USE & AREA SCHEDULE

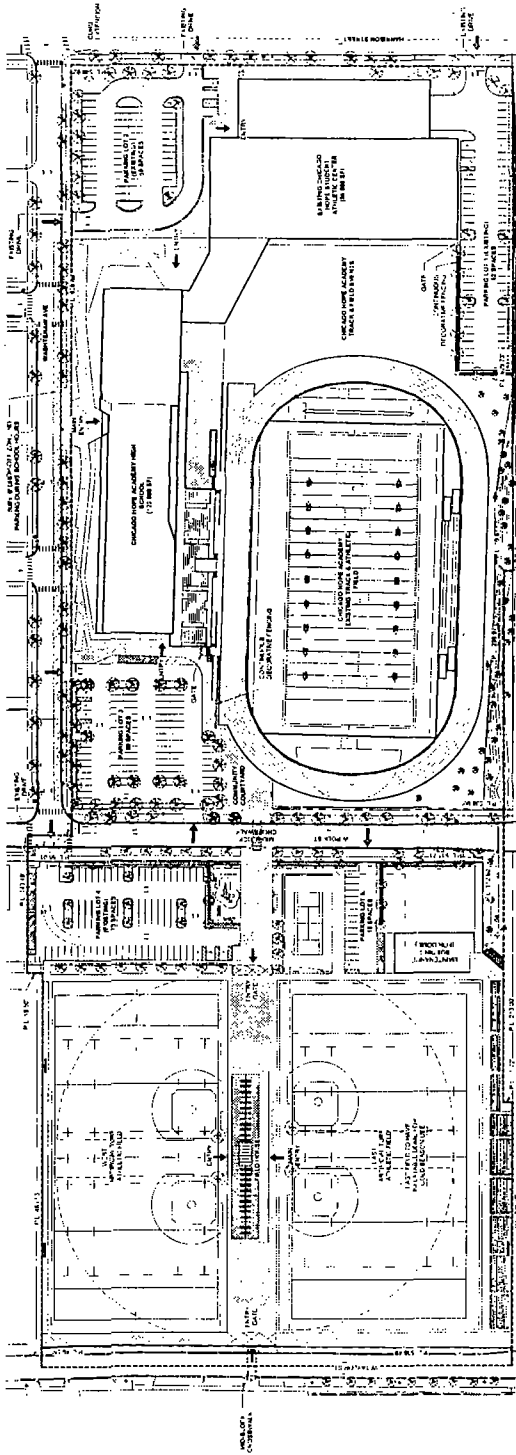
USE	AREA	SCHEDULE	REMARKS
OFFICE	15,000 SF	OFFICE	15,000 SF
RETAIL	5,000 SF	RETAIL	5,000 SF
PARKING	25 SPACES	PARKING	25 SPACES
WALKING PATH	10,000 SF	WALKING PATH	10,000 SF
LANDSCAPE	10,000 SF	LANDSCAPE	10,000 SF
UTILITIES	5,000 SF	UTILITIES	5,000 SF
TOTAL		TOTAL	

INTERIOR FINISHING AND TILE REQUIREMENTS

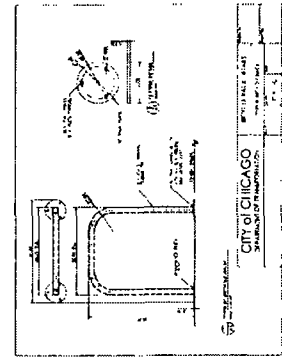
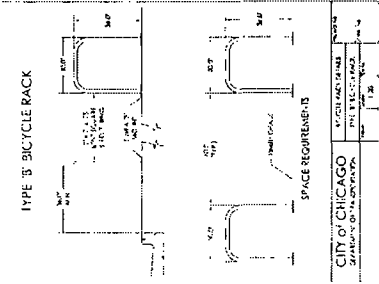
FINISH	AREA	REQUIREMENTS
WALLS	15,000 SF	Acoustic, Moisture Resistant
FLOORS	25,000 SF	Acoustic, Moisture Resistant
CEILING	15,000 SF	Acoustic, Moisture Resistant
BATHS	1,000 SF	Waterproof Membrane
KITCHEN	1,000 SF	Waterproof Membrane
RESTROOMS	1,000 SF	Waterproof Membrane
LOBBY	5,000 SF	Waterproof Membrane
REAR LOBBY	5,000 SF	Waterproof Membrane
STAIRS	5,000 SF	Waterproof Membrane
ELEVATOR	5,000 SF	Waterproof Membrane
MECHANICAL	5,000 SF	Waterproof Membrane
TELEPHONE	5,000 SF	Waterproof Membrane
SERVER	5,000 SF	Waterproof Membrane
MAIL ROOM	5,000 SF	Waterproof Membrane
RECEPTION	5,000 SF	Waterproof Membrane
CONFERENCE	5,000 SF	Waterproof Membrane
TRAINING	5,000 SF	Waterproof Membrane
WORK AREA	5,000 SF	Waterproof Membrane
STORAGE	5,000 SF	Waterproof Membrane
REPAIR	5,000 SF	Waterproof Membrane
WALKING PATH	10,000 SF	Waterproof Membrane
LANDSCAPE	10,000 SF	Waterproof Membrane
UTILITIES	5,000 SF	Waterproof Membrane
TOTAL		TOTAL

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washnaw Ave,
 Chicago, IL 60612

DATE: 12/1/2012
PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
LOCATION: 731-799 S Washnaw Ave, Chicago, IL 60612
OWNER: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
ARCHITECT: [Firm Name]
ENGINEER: [Firm Name]



PEDESTRIAN AND VEHICULAR ACCESS PLAN
1" = 480"



LEGEND

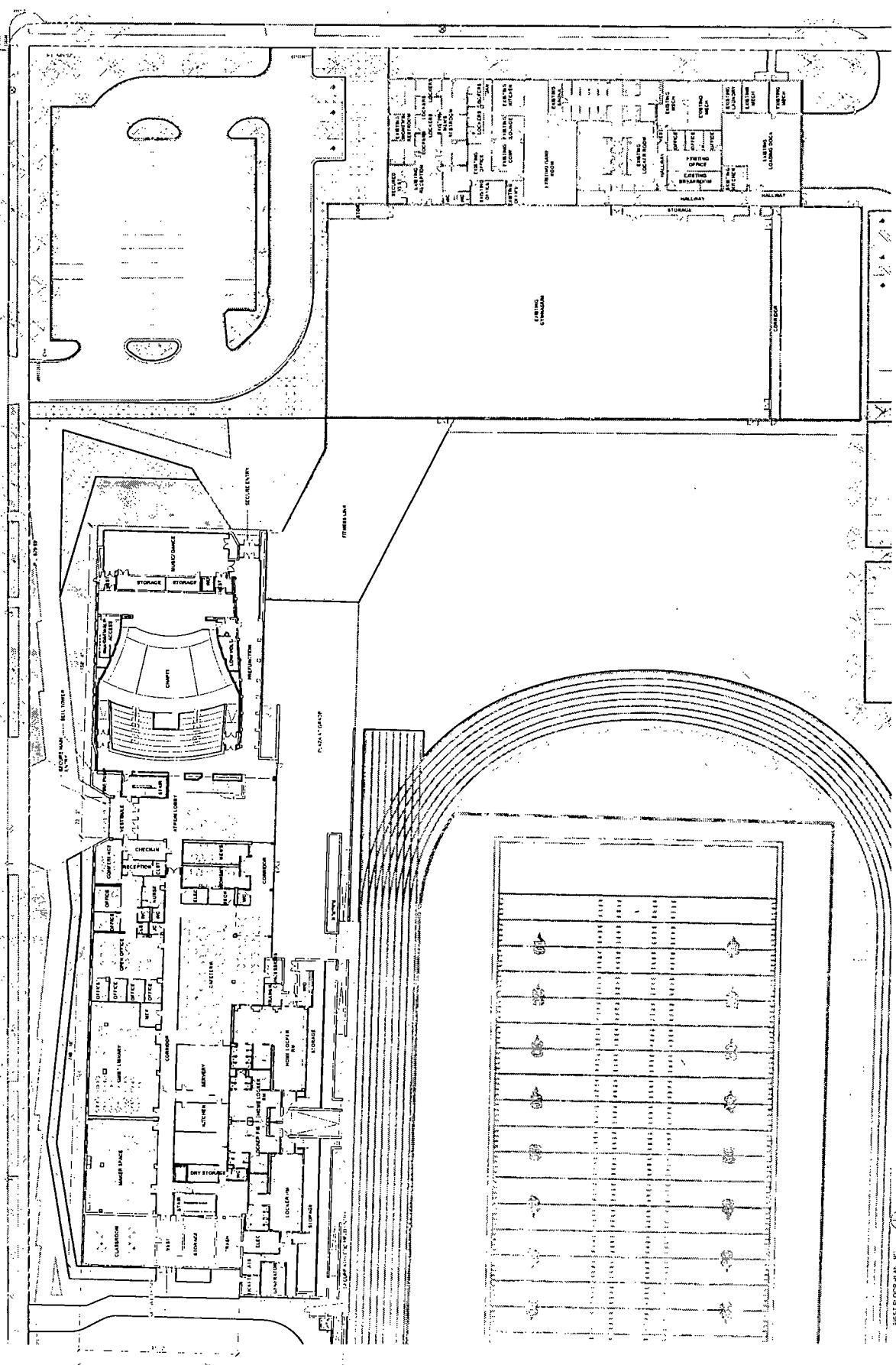
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[Symbol]	WALLS/DOOR/FLOOR (DIFF. MAT'L)	[Symbol]	VEHICULAR
[Symbol]	ROOF TYPE	[Symbol]	VEHICULAR DRIVE
[Symbol]	POUR CONCRETE/OTHER FINISHES	[Symbol]	VEHICULAR DRIVE
[Symbol]	CEILING	[Symbol]	VEHICULAR DRIVE
[Symbol]	MECHANICAL/ELECTRICAL	[Symbol]	VEHICULAR DRIVE
[Symbol]	MECHANICAL/ELECTRICAL	[Symbol]	VEHICULAR DRIVE
[Symbol]	MECHANICAL/ELECTRICAL	[Symbol]	VEHICULAR DRIVE
[Symbol]	MECHANICAL/ELECTRICAL	[Symbol]	VEHICULAR DRIVE
[Symbol]	MECHANICAL/ELECTRICAL	[Symbol]	VEHICULAR DRIVE

PROJECT	CHICAGO HOPE ACADEMY
DATE	7/10/14
DESIGNER	CITY OF CHICAGO
CLIENT	CHICAGO HOPE ACADEMY
LOCATION	731-799 S WASHLEW AVE
SCALE	1/8" = 1'-0"

PEDESTRIAN AND VEHICULAR ACCESS PLAN
A103

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S Washlenaw Ave.,
Chicago, IL 60612

FINAL FOR PUBLICATION



ARCHITECT
 CHICAGO HOPE ACADEMY
 731-799 S WASHINGTON AVE
 CHICAGO, IL 60612

OWNER
 CHICAGO HOPE ACADEMY
 731-799 S WASHINGTON AVE
 CHICAGO, IL 60612

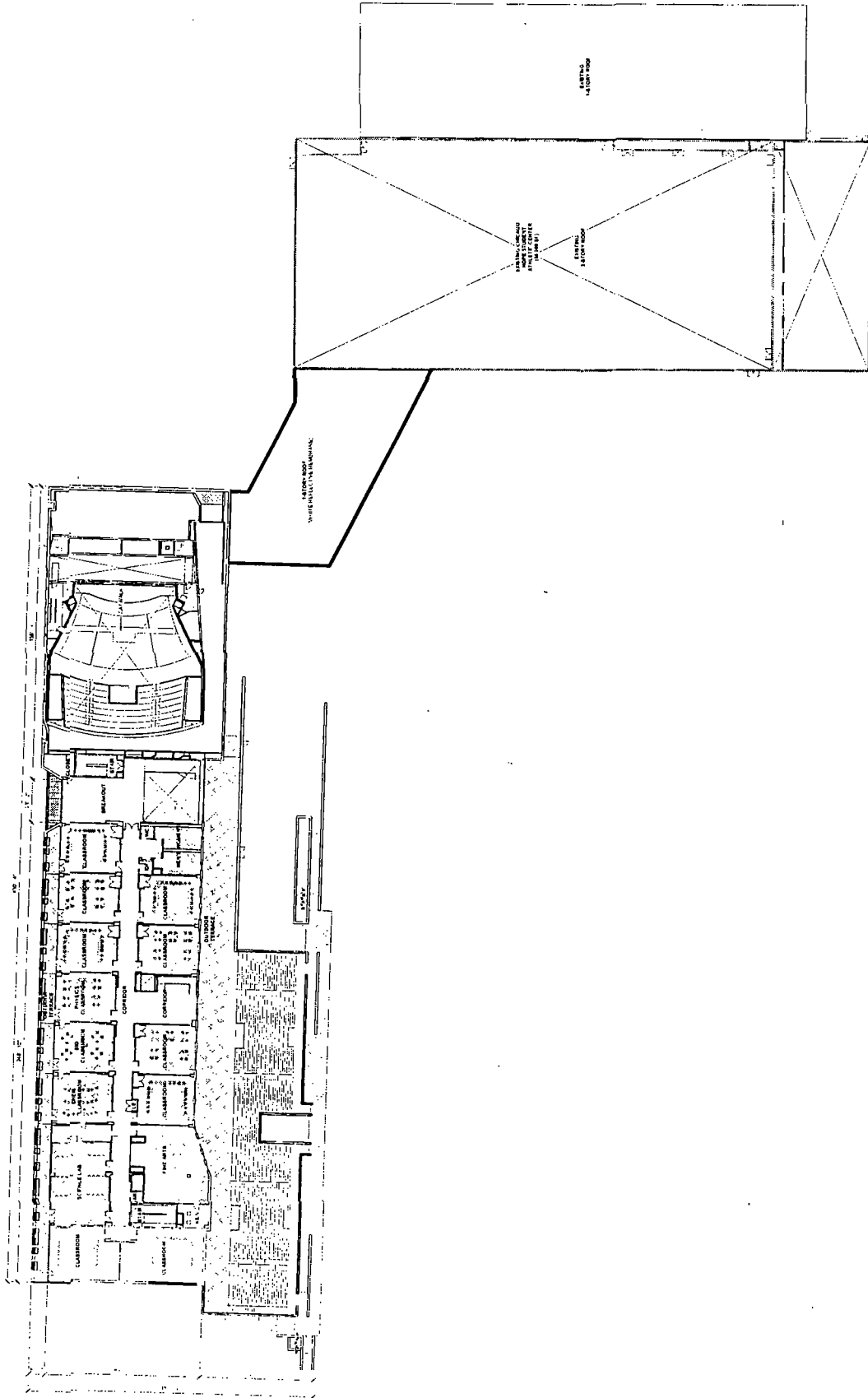
CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

731-799 S Washington Ave.,
 Chicago, IL 60612

NO. 1	DATE	BY
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NO. 3	DATE	BY
NO. 4	DATE	BY
NO. 5	DATE	BY
NO. 6	DATE	BY
NO. 7	DATE	BY
NO. 8	DATE	BY
NO. 9	DATE	BY
NO. 10	DATE	BY

FLOOR PLANS - CHICAGO HOPE ACADEMY
A104

FINAL FOR PUBLICATION



STANDARD DRAWING



FLOOR PLANS - CHICAGO HOPE
ACADEMY
A105

DATE: 02/25/2010
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
PROJECT NO.: 100-100-100

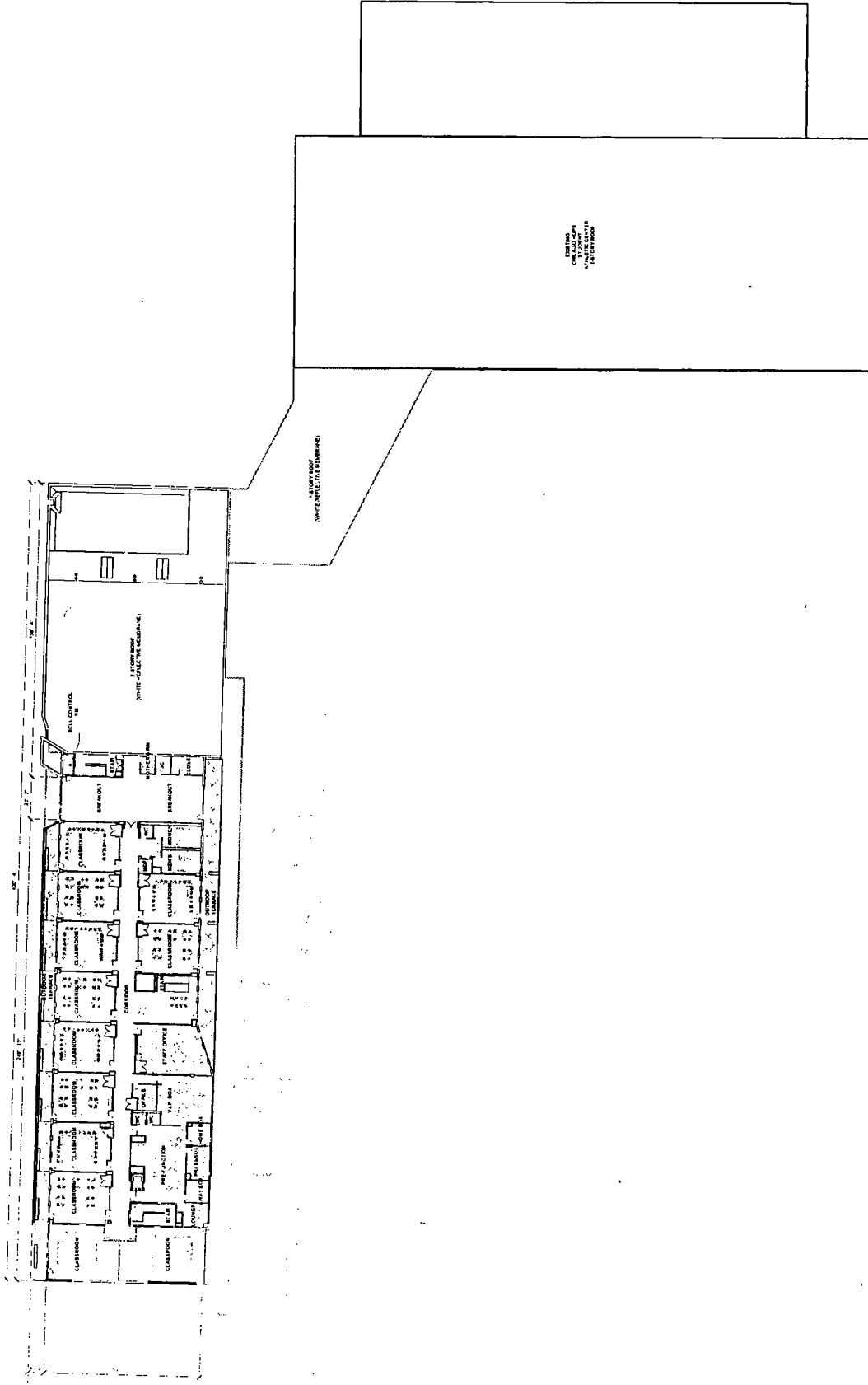
CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

731-799 S Washienaw Ave.
Chicago, IL 60612

DATE: 02/25/2010
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
PROJECT NO.: 100-100-100

PROJECT NO.: 100-100-100
DATE: 02/25/2010
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN

FINAL FOR PUBLICATION



FLOOR PLANS - CHICAGO HOPE ACADEMY
A106

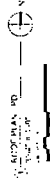
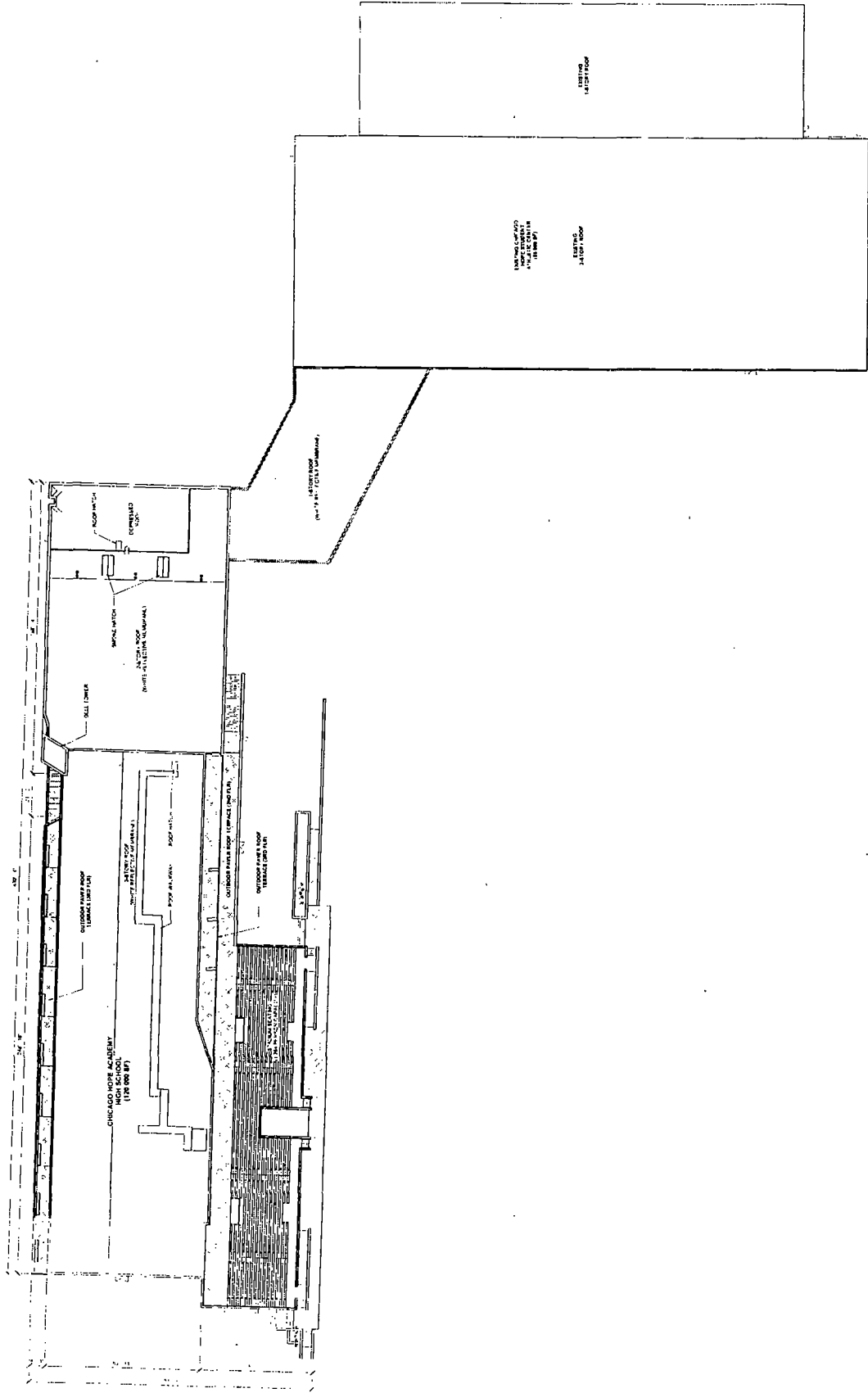
CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washnaw Ave.,
 Chicago, IL 60612

PROFESSIONAL ARCHITECT
 1111 N. LAUREL ST.
 CHICAGO, ILL. 60610
 TEL: (312) 467-1111
 FAX: (312) 467-1112
 WWW: WWW.HOK.COM

NO.	DATE	DESCRIPTION
1	10/15/09	ISSUED FOR PERMITTING
2	11/10/09	ISSUED FOR PERMITTING
3	11/10/09	ISSUED FOR PERMITTING
4	11/10/09	ISSUED FOR PERMITTING
5	11/10/09	ISSUED FOR PERMITTING
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8	11/10/09	ISSUED FOR PERMITTING
9	11/10/09	ISSUED FOR PERMITTING
10	11/10/09	ISSUED FOR PERMITTING

NO.	DATE	DESCRIPTION
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8	11/10/09	ISSUED FOR PERMITTING
9	11/10/09	ISSUED FOR PERMITTING
10	11/10/09	ISSUED FOR PERMITTING

FINAL FOR PUBLICATION



NO.	REVISION	DATE
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2	REVISED	02/16/00
3	REVISED	03/02/00
4	REVISED	03/02/00

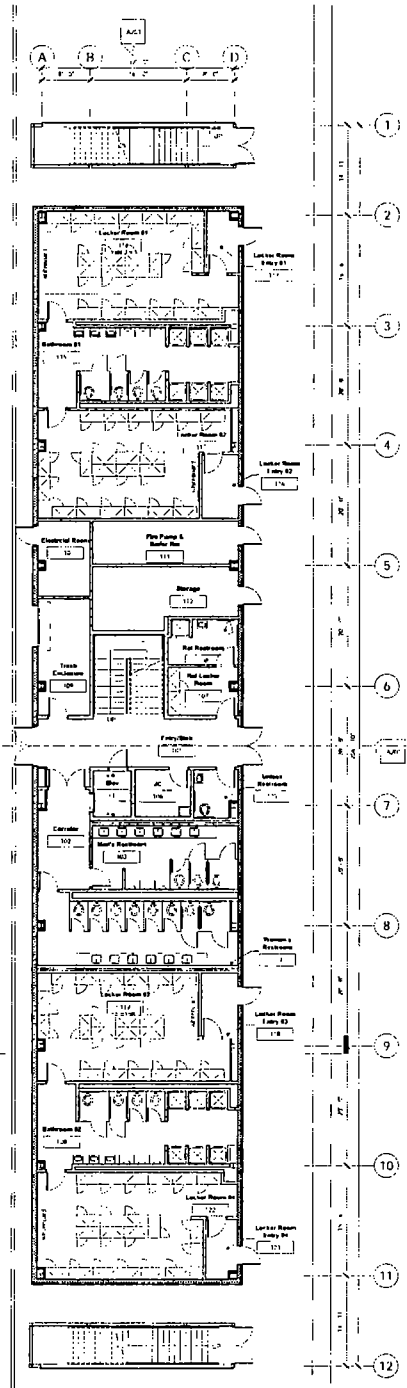
ROOF PLAN
A107

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S Washienaw Ave.,
Chicago, IL 60612

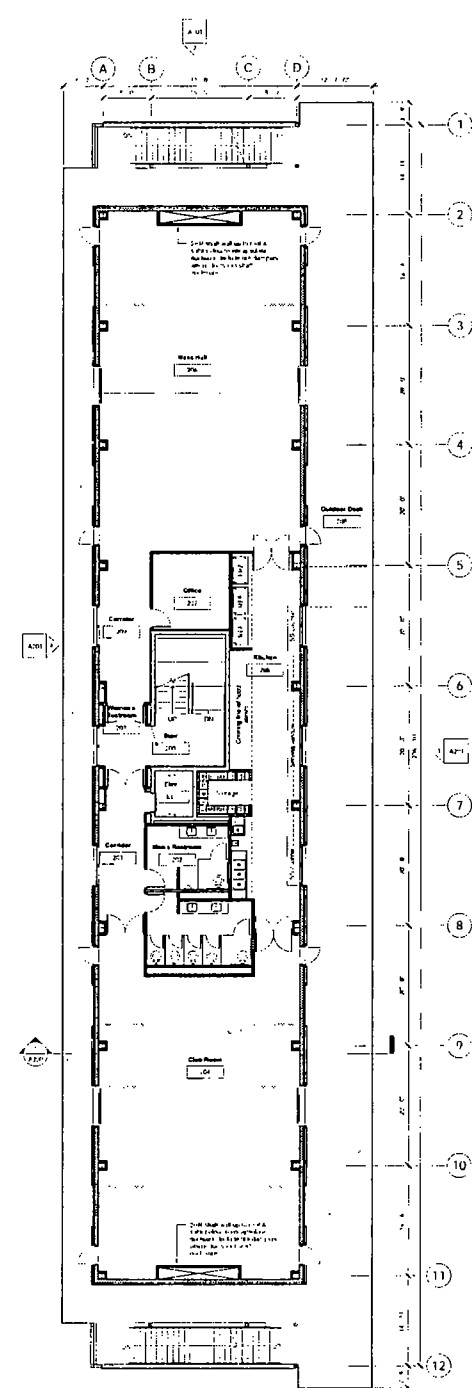
DESIGNED BY
ARCHITECT
CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S WASHIENAW AVE.
CHICAGO, ILLINOIS 60612

DATE
01/24/00
02/16/00
03/02/00
03/02/00

FINAL FOR PUBLICATION



11' 0" = 1" (FIELDHOUSE)
 1" = 10' 0" (FIELDHOUSE)
 N



11' 0" = 1" (FIELDHOUSE)
 1" = 10' 0" (FIELDHOUSE)
 N

NO.	DESCRIPTION
1	CLASSROOM
2	LIBRARY
3	COMPUTER LAB
4	GYMNASIUM
5	OFFICE
6	RECEPTION
7	STAIRS
8	ELEVATOR
9	RESTROOM
10	MEETING ROOM
11	STORAGE
12	MECHANICAL

DATE: 11/11/11
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 ADDRESS: 731-799 S. Washburn Ave., Chicago, IL 60612

SCALE: 1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
 1" = 1'-0"

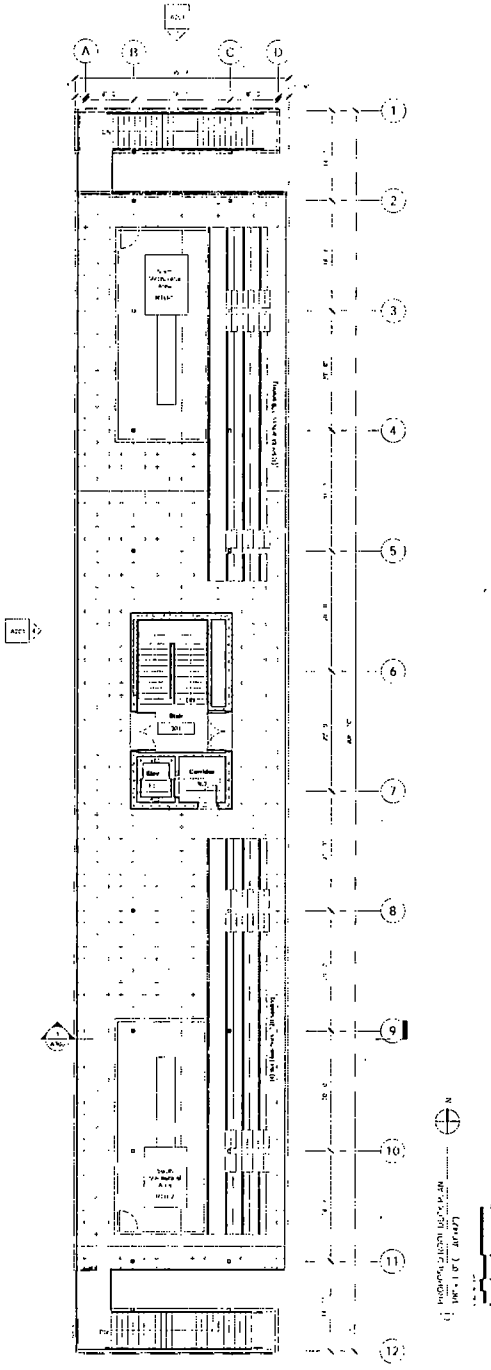
OWNER: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S. Washburn Ave.,
 Chicago, IL 60612

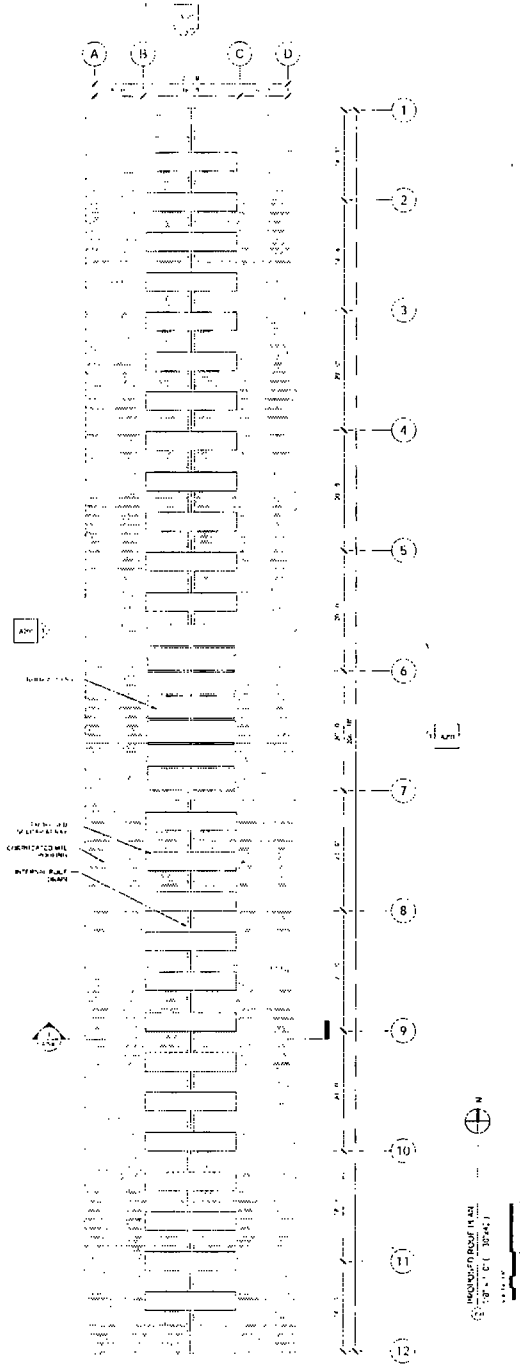
NO.	DESCRIPTION
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2	LIBRARY
3	COMPUTER LAB
4	GYMNASIUM
5	OFFICE
6	RECEPTION
7	STAIRS
8	ELEVATOR
9	RESTROOM
10	MEETING ROOM
11	STORAGE
12	MECHANICAL

FLOOR PLANS - CLCA
 FIELDHOUSE
A10

FINAL FOR PUBLICATION



NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/1/59
2	REVISION	10/1/59
3	REVISION	10/1/59
4	REVISION	10/1/59
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12	REVISION	10/1/59

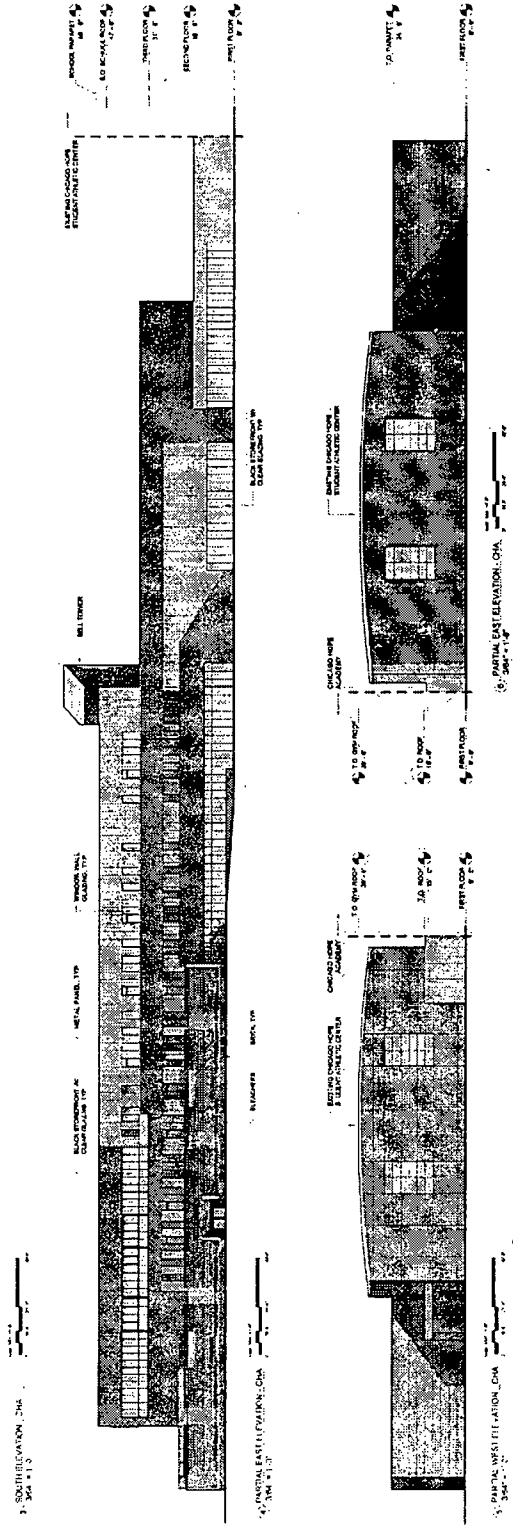
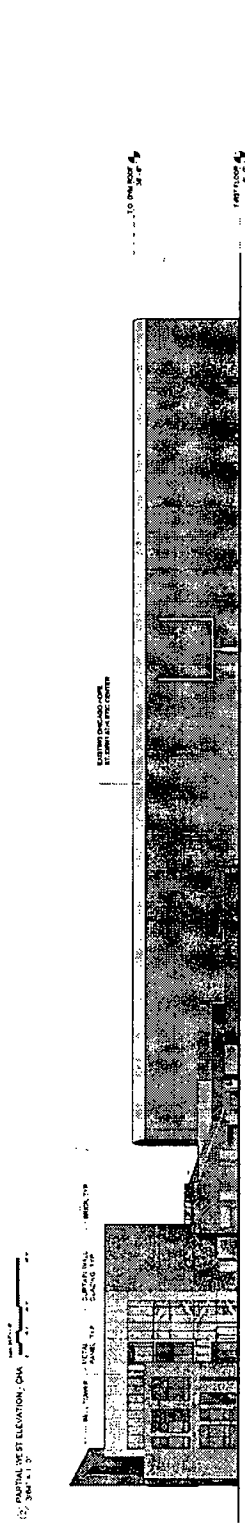
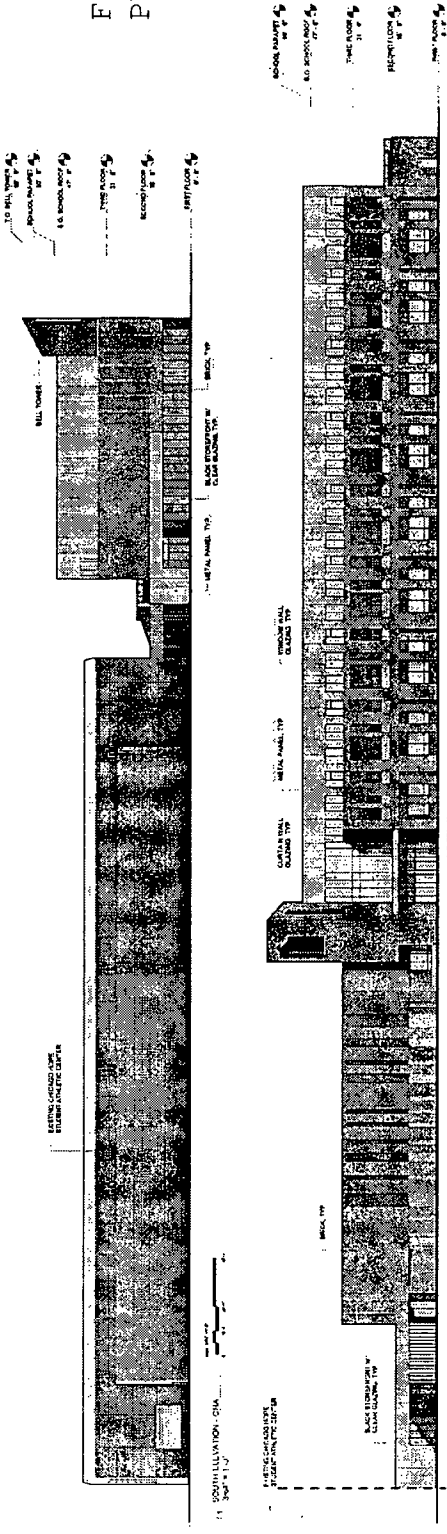


NO.	DESCRIPTION	DATE
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2	REVISION	10/1/59
3	REVISION	10/1/59
4	REVISION	10/1/59
5	REVISION	10/1/59
6	REVISION	10/1/59
7	REVISION	10/1/59
8	REVISION	10/1/59
9	REVISION	10/1/59
10	REVISION	10/1/59
11	REVISION	10/1/59
12	REVISION	10/1/59

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washlenaw Ave.,
 Chicago, IL 60612

FLOOR PLANS - CLCA
 FIELDHOUSE
 A109

FINAL FOR PUBLICATION



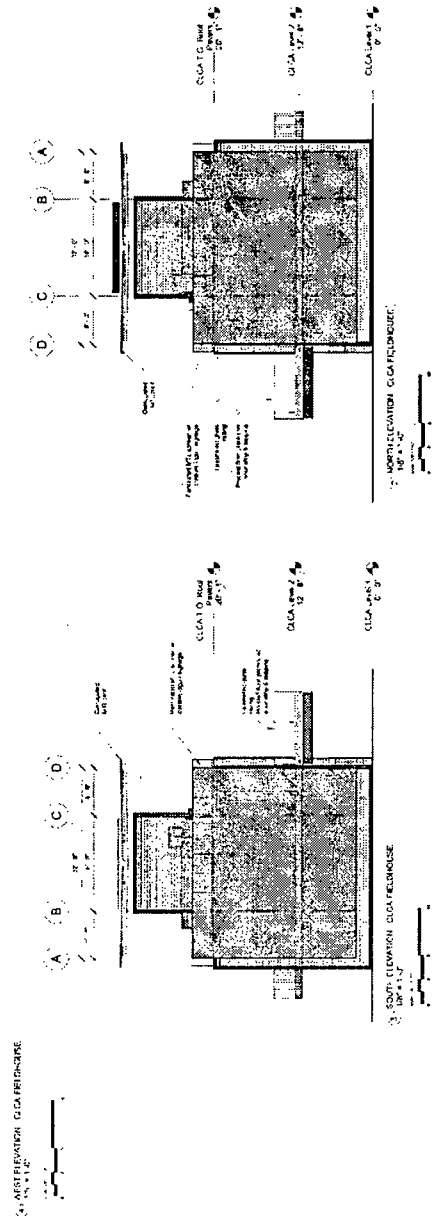
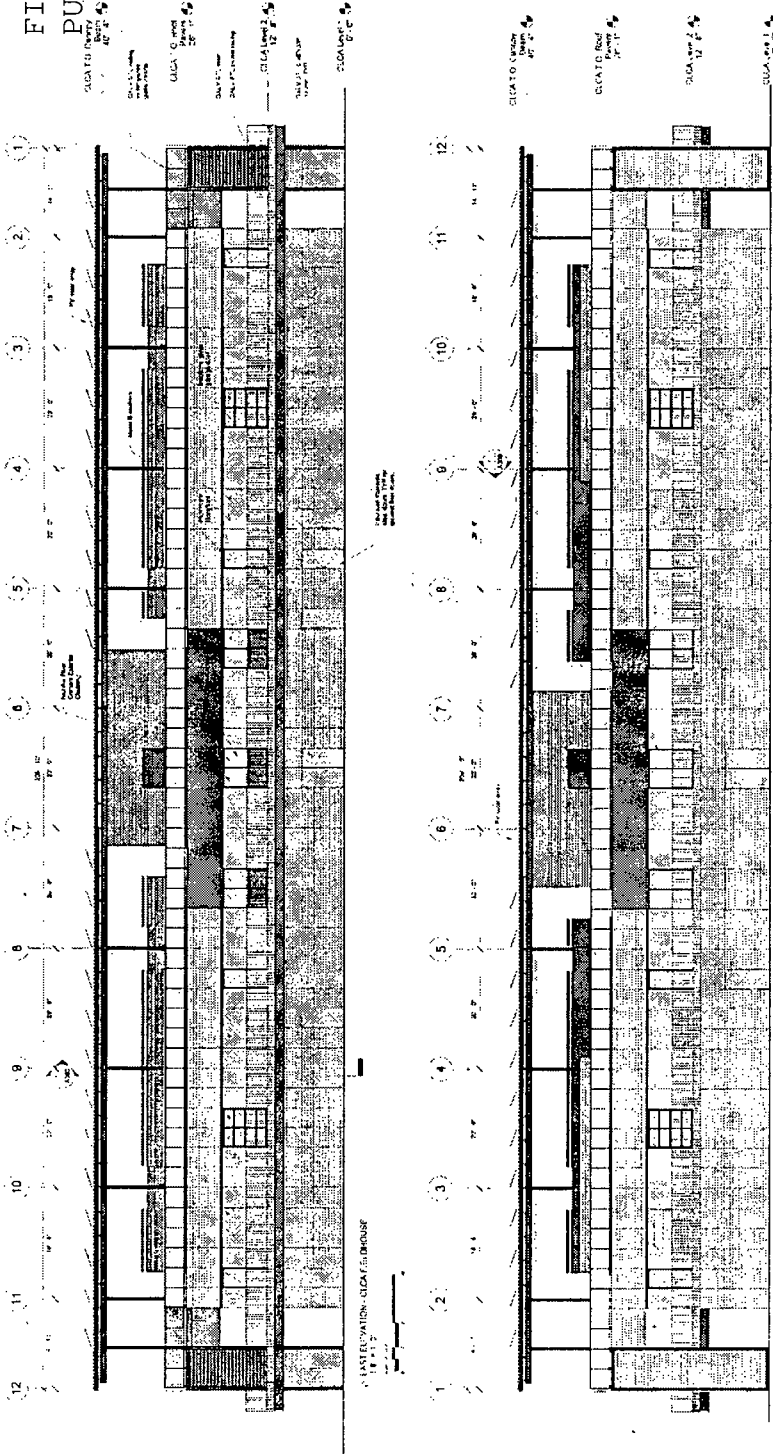
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2	REVISIONS	12/15/11
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4	FOR PERMITS	02/15/12
5	FOR PERMITS	03/15/12
6	FOR PERMITS	04/15/12
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97	FOR PERMITS	11/15/19
98	FOR PERMITS	12/15/19
99	FOR PERMITS	01/15/20
100	FOR PERMITS	02/15/20

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washlenaw Ave.
 Chicago, IL 60612

A200

DATE: 11/15/11
 DRAWN BY: J. W. HARRIS
 CHECKED BY: J. W. HARRIS
 PROJECT NO.: 11-001
 SHEET NO.: A200

FINAL FOR
PUBLICATION

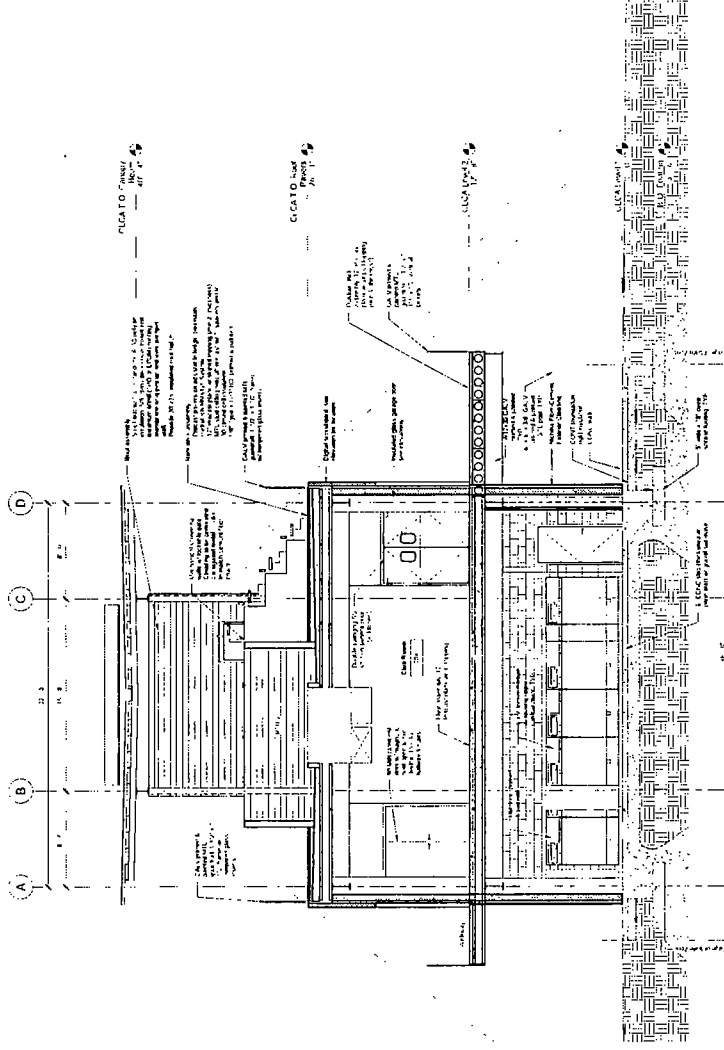


ELEVATIONS - CLCA
FIELDHOUSE
A201

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S Washlenaw Ave.
Chicago, IL 60612

OWNER
CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S WASHLENAW AVE
CHICAGO, ILLINOIS 60612
ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
111 W. MONROE ST.
CHICAGO, ILLINOIS 60603

FINAL FOR PUBLICATION



C. Shilling Architects
Chicago, IL

DATE	11/14/11
PROJECT	CLCA TO FINISH
CONTRACT NO.	11-11-11-001
ISSUE	11/14/11
BY	CS
CHECKED	CS
DATE	11/14/11

PROJECT	CLCA TO FINISH
CONTRACT NO.	11-11-11-001
ISSUE	11/14/11
BY	CS
CHECKED	CS
DATE	11/14/11

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

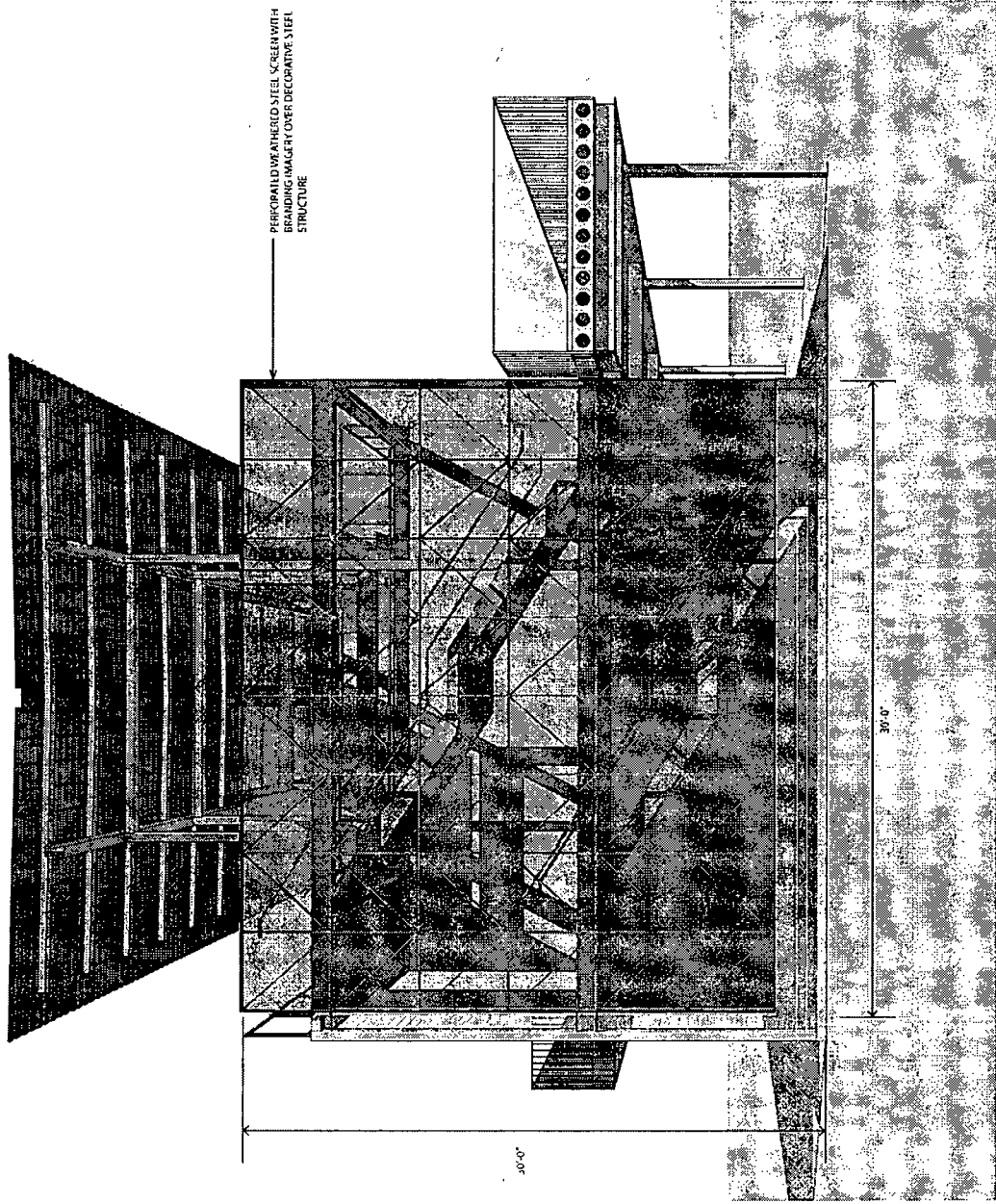
731-799 S Washleraw Ave.,
Chicago, IL 60612

NO.	11-11-11-001
DATE	11/14/11
PROJECT	CLCA TO FINISH
CONTRACT NO.	11-11-11-001
ISSUE	11/14/11
BY	CS
CHECKED	CS
DATE	11/14/11

BUILDING SECTION - CLCA
FIELDHOUSE

A202

FINAL FOR PUBLICATION



DATE: 11/11/11
 PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 ARCHITECT: [unreadable]
 DRAWING NO.: [unreadable]
 SCALE: [unreadable]
 SHEET: [unreadable]

DATE: 11/11/11
 PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 ARCHITECT: [unreadable]
 DRAWING NO.: [unreadable]
 SCALE: [unreadable]
 SHEET: [unreadable]

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

731-799 S Washlenaw Ave,
 Chicago, IL 60612

DATE: 11/11/11
 PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 ARCHITECT: [unreadable]
 DRAWING NO.: [unreadable]
 SCALE: [unreadable]
 SHEET: [unreadable]

METAL SCREEN - CLCA
 FIELDHOUSE
A203

FINAL FOR PUBLICATION

General Landscape Notes

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANTING SPECIFICATIONS AND THE ILLINOIS PLANTING SPECIFICATIONS.

2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANTING SPECIFICATIONS AND THE ILLINOIS PLANTING SPECIFICATIONS.

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Growth Medium Notes

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANTING SPECIFICATIONS AND THE ILLINOIS PLANTING SPECIFICATIONS.

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Maintenance

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANTING SPECIFICATIONS AND THE ILLINOIS PLANTING SPECIFICATIONS.

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Owner Statement of Compliance

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO PLANTING SPECIFICATIONS AND THE ILLINOIS PLANTING SPECIFICATIONS.

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Landscape Statement of Compliance

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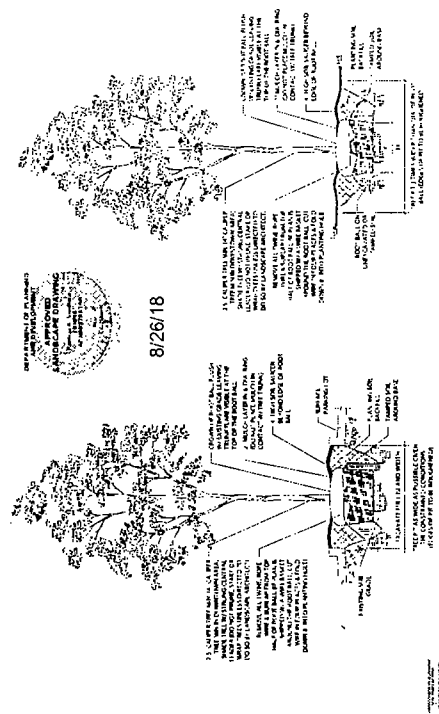
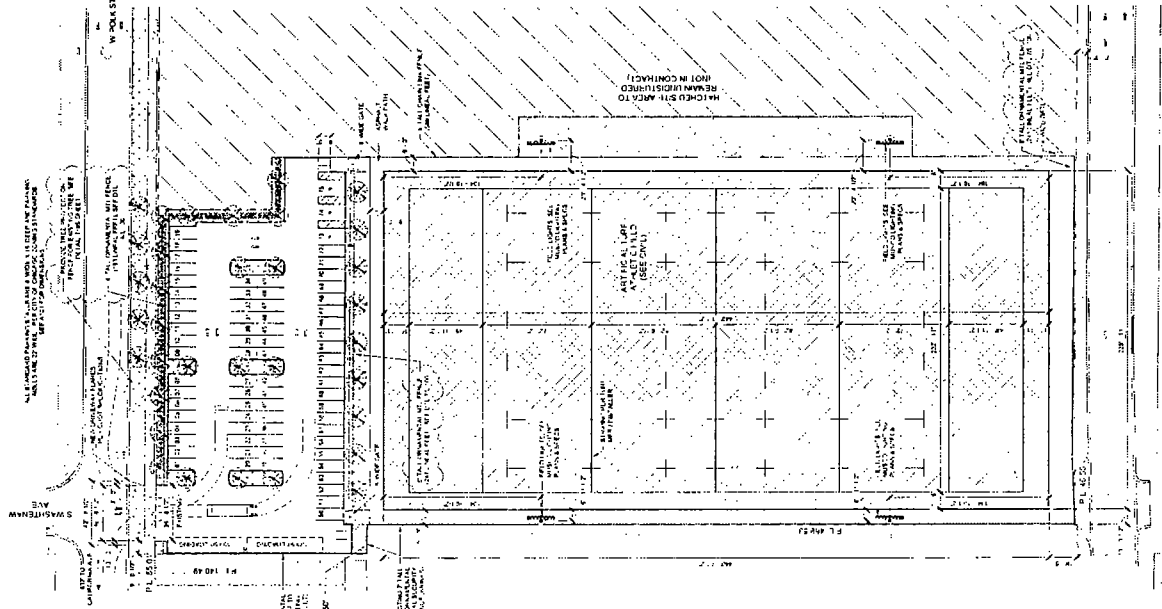
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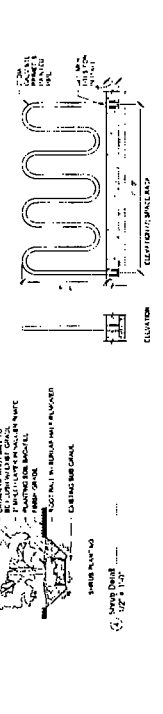
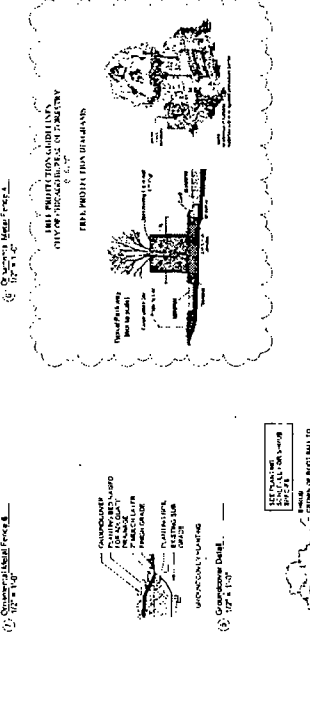
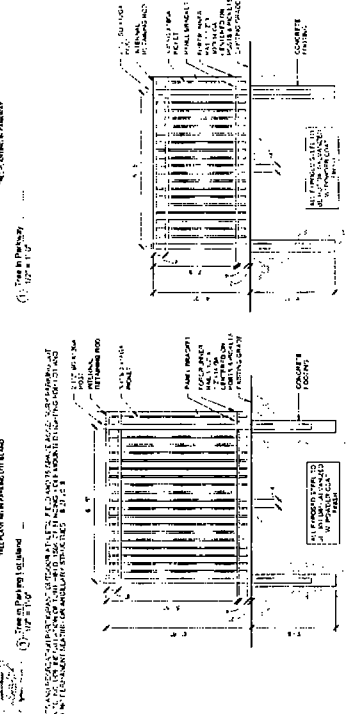
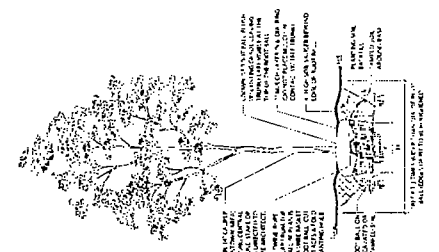
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8/26/18



CLCA ATHLETIC FIELD & PARKING LOT

2637 W POLK STREET
CHICAGO, IL 60612

LANDSCAPE DETAILS

L.100



DATE: 8/26/18
BY: [Signature]
TITLE: [Title]

DATE: 8/26/18
BY: [Signature]
TITLE: [Title]



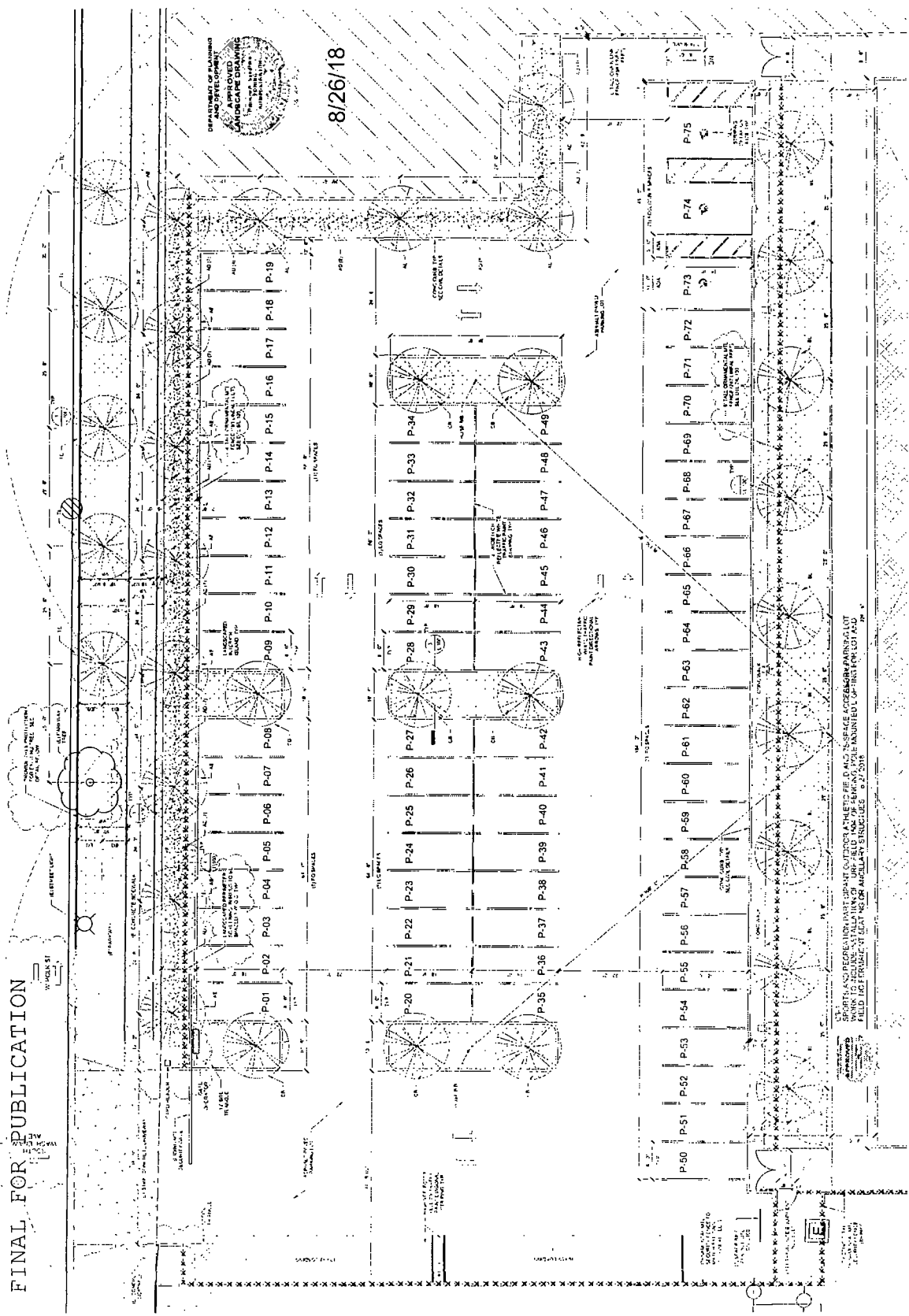
DATE: 8/26/18
 CONTRACT NUMBER: 18-000000
 PROJECT: CLCA ATHLETIC FIELD
 CITY ENGINEER: ROBERT J. SMITH
 PROJECT ENGINEER: ROBERT J. SMITH
 PROJECT NO.: 18-000000

CLCA ATHLETIC FIELD & PARKING LOT
 2637 W POLK STREET
 CHICAGO, IL 60612

DATE: 8/26/18
 PROJECT: CLCA ATHLETIC FIELD
 PROJECT NO.: 18-000000
 PROJECT ENGINEER: ROBERT J. SMITH
 PROJECT NO.: 18-000000

KEY PLAN
 LANDSCAPE PLAN

L.101



FINAL FOR PUBLICATION

PLANTING SCHEDULE

PLANTING POINT	PLANT	SIZE	QUANTITY	DATE
P-01 to P-05	DOGWOOD	12" DBH	5	2018
P-06 to P-10	DOGWOOD	12" DBH	5	2018
P-11 to P-15	DOGWOOD	12" DBH	5	2018
P-16 to P-20	DOGWOOD	12" DBH	5	2018
P-21 to P-25	DOGWOOD	12" DBH	5	2018
P-26 to P-30	DOGWOOD	12" DBH	5	2018
P-31 to P-35	DOGWOOD	12" DBH	5	2018
P-36 to P-40	DOGWOOD	12" DBH	5	2018
P-41 to P-45	DOGWOOD	12" DBH	5	2018
P-46 to P-50	DOGWOOD	12" DBH	5	2018
P-51 to P-55	DOGWOOD	12" DBH	5	2018
P-56 to P-60	DOGWOOD	12" DBH	5	2018
P-61 to P-65	DOGWOOD	12" DBH	5	2018
P-66 to P-70	DOGWOOD	12" DBH	5	2018
P-71 to P-75	DOGWOOD	12" DBH	5	2018

PLANTING SCHEDULE

SEE PLANTING SCHEDULE FOR SPECIFICATIONS AND NOTES.

TREE PROTECTION BARBERS

PLANTING SCHEDULE

PLANTING POINT	PLANT	SIZE	QUANTITY	DATE
P-01 to P-05	DOGWOOD	12" DBH	5	2018
P-06 to P-10	DOGWOOD	12" DBH	5	2018
P-11 to P-15	DOGWOOD	12" DBH	5	2018
P-16 to P-20	DOGWOOD	12" DBH	5	2018
P-21 to P-25	DOGWOOD	12" DBH	5	2018
P-26 to P-30	DOGWOOD	12" DBH	5	2018
P-31 to P-35	DOGWOOD	12" DBH	5	2018
P-36 to P-40	DOGWOOD	12" DBH	5	2018
P-41 to P-45	DOGWOOD	12" DBH	5	2018
P-46 to P-50	DOGWOOD	12" DBH	5	2018
P-51 to P-55	DOGWOOD	12" DBH	5	2018
P-56 to P-60	DOGWOOD	12" DBH	5	2018
P-61 to P-65	DOGWOOD	12" DBH	5	2018
P-66 to P-70	DOGWOOD	12" DBH	5	2018
P-71 to P-75	DOGWOOD	12" DBH	5	2018

Owner Statement of Compliance

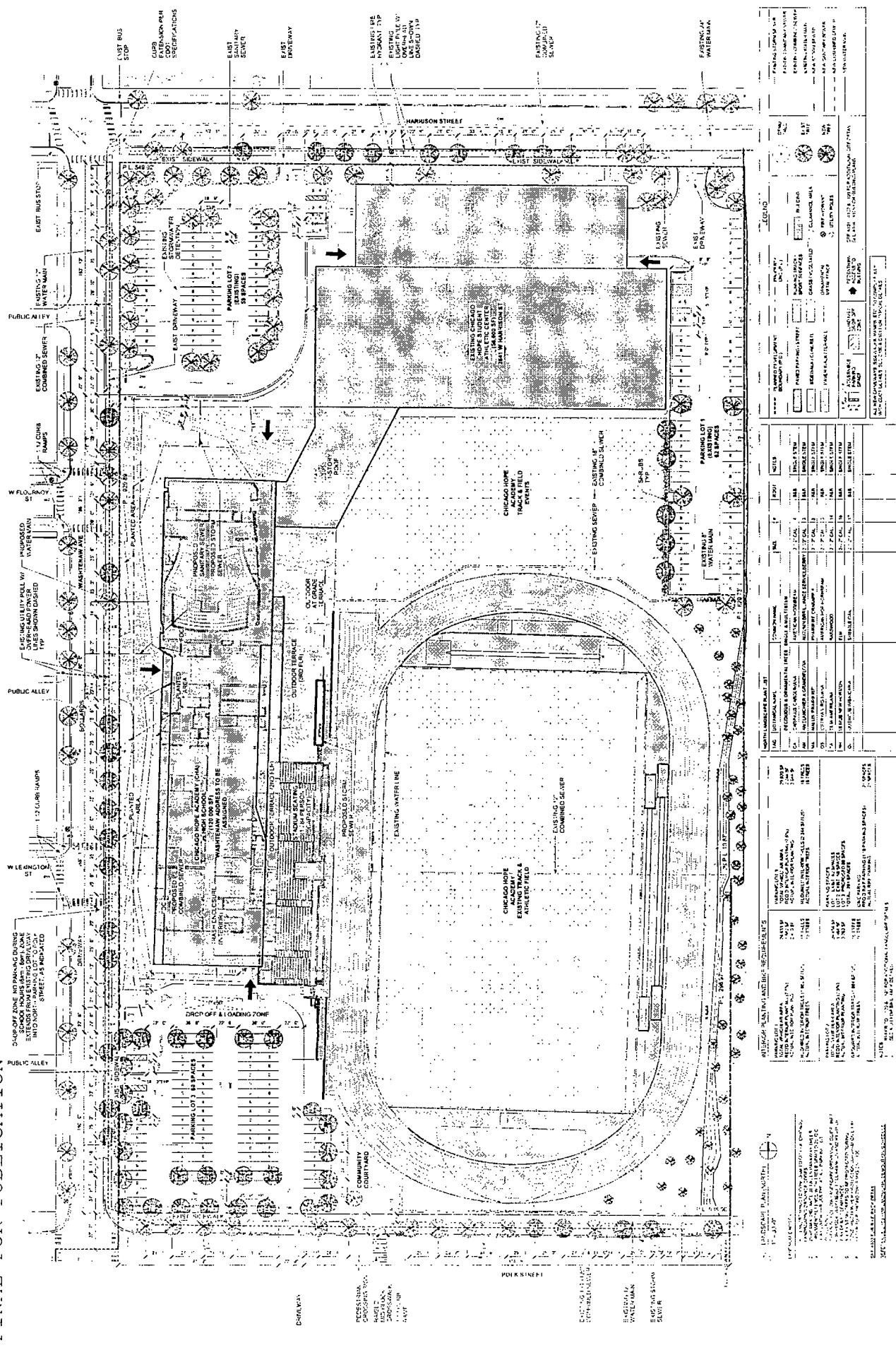
I, the undersigned, hereby certify that the information provided in this plan is true and correct to the best of my knowledge and belief.

DATE: 8/26/18

Landscape Statement of Compliance

I, the undersigned, hereby certify that the information provided in this plan is true and correct to the best of my knowledge and belief.

DATE: 8/26/18



CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washnaw Ave,
 Chicago, IL 60612

LEGEND

SYMBOL	DESCRIPTION
[Symbol]	PROPOSED PLANTING
[Symbol]	EXISTING PLANTING
[Symbol]	PROPOSED PAVEMENT
[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	EXISTING DRIVEWAY
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED BIKEWAY
[Symbol]	EXISTING BIKEWAY
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED LIGHT FIXTURE
[Symbol]	EXISTING LIGHT FIXTURE
[Symbol]	PROPOSED SIGNAGE
[Symbol]	EXISTING SIGNAGE

NOTES

- ALL PROPOSED PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS PLANTING STANDARDS.
- ALL PROPOSED PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS PAVEMENT STANDARDS.
- ALL PROPOSED DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS DRIVEWAY STANDARDS.
- ALL PROPOSED SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS SIDEWALK STANDARDS.
- ALL PROPOSED BIKEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS BIKEWAY STANDARDS.
- ALL PROPOSED FENCES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS FENCE STANDARDS.
- ALL PROPOSED LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS LIGHT FIXTURE STANDARDS.
- ALL PROPOSED SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS SIGNAGE STANDARDS.

PROJECT INFORMATION

PROJECT NAME	CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
PROJECT ADDRESS	731-799 S WASHNAW AVE, CHICAGO, IL 60612
CLIENT	CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
ARCHITECT	[Firm Name]
LANDSCAPE ARCHITECT	[Firm Name]
DATE	[Date]
SCALE	AS SHOWN

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	ISSUED FOR PERMIT
2	01/10/2024	REVISED PLANTING SPECIFICATIONS
3	02/05/2024	REVISED DRIVEWAY WIDTHS
4	03/20/2024	REVISED SIDEWALK MATERIALS
5	04/15/2024	REVISED SIGNAGE PLACEMENT
6	05/10/2024	REVISED LIGHT FIXTURE SPECIFICATIONS
7	06/05/2024	REVISED FENCE MATERIALS
8	07/01/2024	REVISED BIKEWAY WIDTHS
9	08/01/2024	REVISED PLANTING SPECIFICATIONS
10	09/01/2024	REVISED DRIVEWAY MATERIALS
11	10/01/2024	REVISED SIDEWALK MATERIALS
12	11/01/2024	REVISED SIGNAGE PLACEMENT
13	12/01/2024	REVISED LIGHT FIXTURE SPECIFICATIONS
14	01/01/2025	REVISED FENCE MATERIALS
15	02/01/2025	REVISED BIKEWAY WIDTHS
16	03/01/2025	REVISED PLANTING SPECIFICATIONS
17	04/01/2025	REVISED DRIVEWAY MATERIALS
18	05/01/2025	REVISED SIDEWALK MATERIALS
19	06/01/2025	REVISED SIGNAGE PLACEMENT
20	07/01/2025	REVISED LIGHT FIXTURE SPECIFICATIONS
21	08/01/2025	REVISED FENCE MATERIALS
22	09/01/2025	REVISED BIKEWAY WIDTHS
23	10/01/2025	REVISED PLANTING SPECIFICATIONS
24	11/01/2025	REVISED DRIVEWAY MATERIALS
25	12/01/2025	REVISED SIDEWALK MATERIALS
26	01/01/2026	REVISED SIGNAGE PLACEMENT
27	02/01/2026	REVISED LIGHT FIXTURE SPECIFICATIONS
28	03/01/2026	REVISED FENCE MATERIALS
29	04/01/2026	REVISED BIKEWAY WIDTHS
30	05/01/2026	REVISED PLANTING SPECIFICATIONS

APPROVED FOR PERMIT

DATE: 12/15/2023

SCALE: AS SHOWN

PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

ADDRESS: 731-799 S WASHNAW AVE, CHICAGO, IL 60612

CLIENT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

ARCHITECT: [Firm Name]

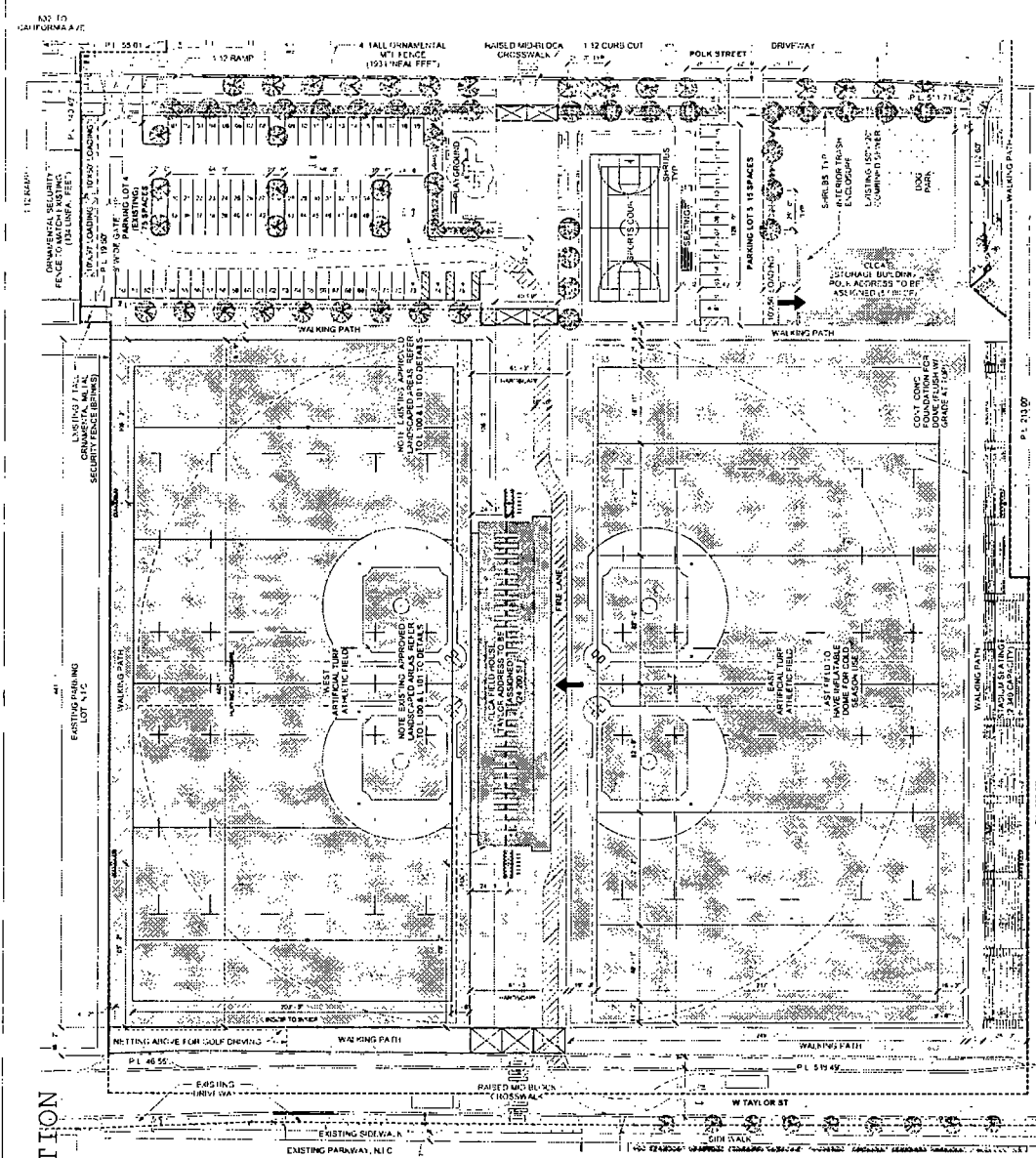
LANDSCAPE ARCHITECT: [Firm Name]

DATE: [Date]

SCALE: AS SHOWN

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	ASPH			
2	CONC			
3	GRASS			
4	WOOD			
5	PAINT			
6	IRON			
7	STEEL			
8	CEMENT			
9	SAND			
10	GRAVEL			
11	BRICK			
12	TILE			
13	GLASS			
14	PLASTER			
15	ROOFING			
16	INSULATION			
17	WATER			
18	ELECTRIC			
19	MECHANICAL			
20	PLUMBING			
21	LANDSCAPE			
22	PAVING			
23	CONCRETE			
24	FOUNDATION			
25	STRUCTURE			
26	MECHANICAL			
27	ELECTRIC			
28	PLUMBING			
29	PAVING			
30	CONCRETE			
31	FOUNDATION			
32	STRUCTURE			

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LEGEND

[Symbol]	EXISTING SIDEWALK
[Symbol]	RAISED SIDEWALK
[Symbol]	NEW SIDEWALK
[Symbol]	EXISTING DRIVEWAY
[Symbol]	RAISED DRIVEWAY
[Symbol]	NEW DRIVEWAY
[Symbol]	EXISTING PARKING
[Symbol]	NEW PARKING
[Symbol]	EXISTING FENCE
[Symbol]	NEW FENCE
[Symbol]	EXISTING PLANTING
[Symbol]	NEW PLANTING
[Symbol]	EXISTING TREE
[Symbol]	NEW TREE
[Symbol]	EXISTING SHRUB
[Symbol]	NEW SHRUB

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	ASPH			
2	CONC			
3	GRASS			
4	WOOD			
5	PAINT			
6	IRON			
7	STEEL			
8	CEMENT			
9	SAND			
10	GRAVEL			
11	BRICK			
12	TILE			
13	GLASS			
14	PLASTER			
15	ROOFING			
16	INSULATION			
17	WATER			
18	ELECTRIC			
19	MECHANICAL			
20	PLUMBING			
21	LANDSCAPE			
22	PAVING			
23	CONCRETE			
24	FOUNDATION			
25	STRUCTURE			
26	MECHANICAL			
27	ELECTRIC			
28	PLUMBING			
29	PAVING			
30	CONCRETE			
31	FOUNDATION			
32	STRUCTURE			

SCALE: 1/8" = 1'-0"

DATE: 12/15/2018

PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

LOCATION: 731-799 S WASHLENAW AVE., CHICAGO, IL 60612

OWNER: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

ARCHITECT: [Firm Name]

LANDSCAPE ARCHITECT: [Firm Name]

DATE: 12/15/2018

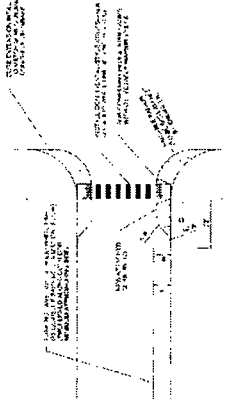
LANDSCAPE PLAN - SOUTH

L.103

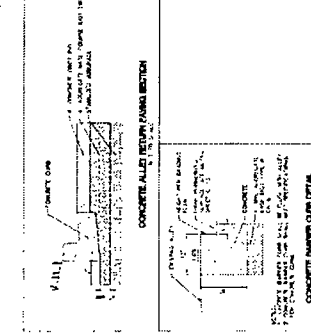
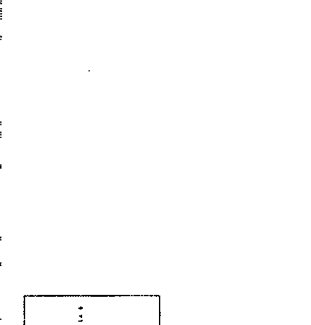
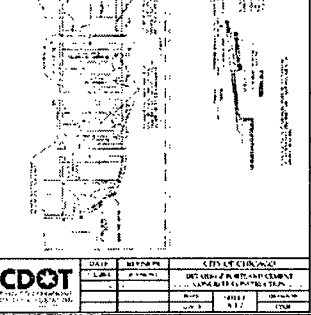
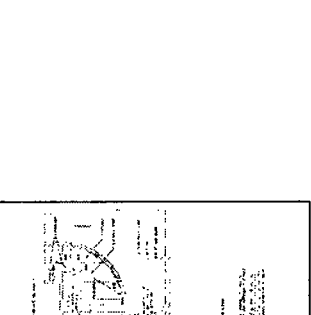
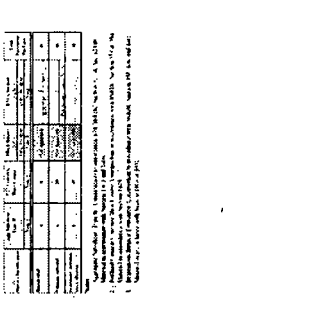
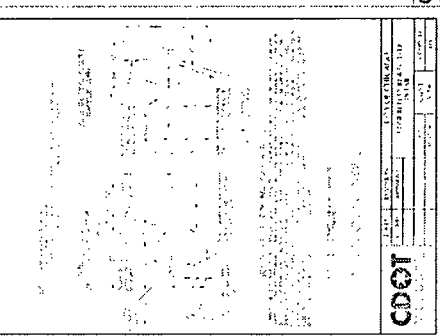
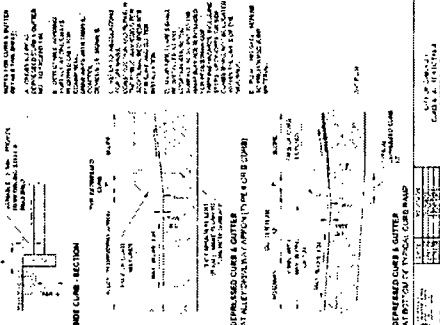
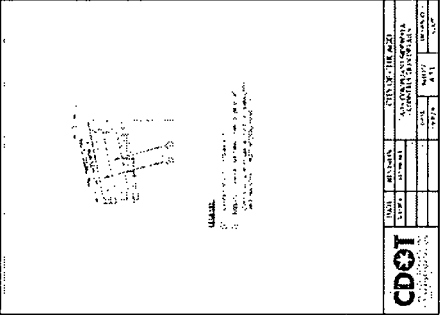
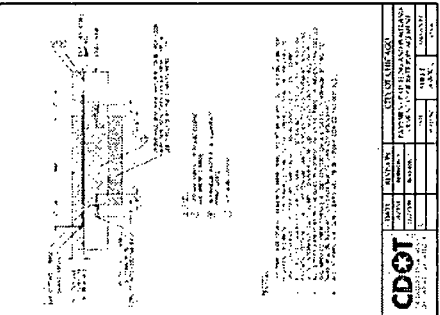
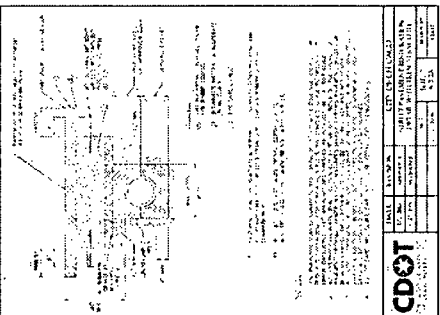
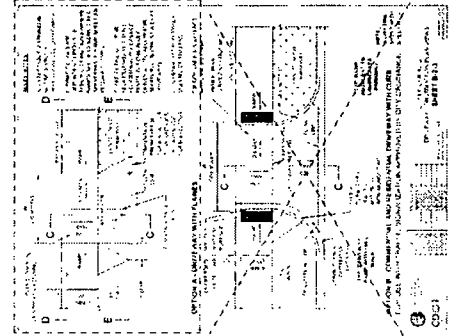
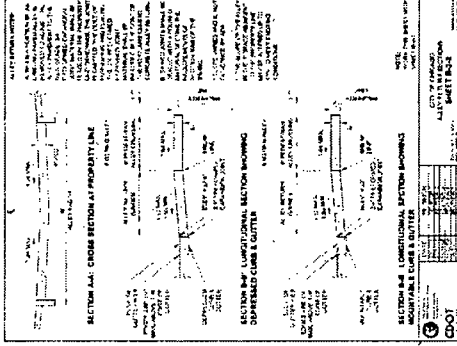
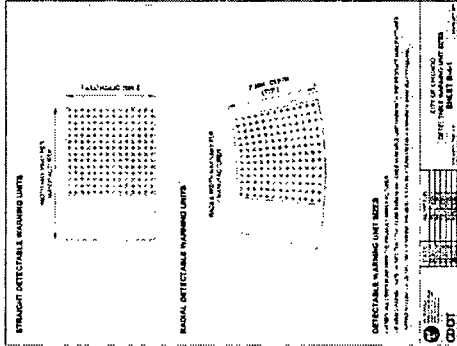
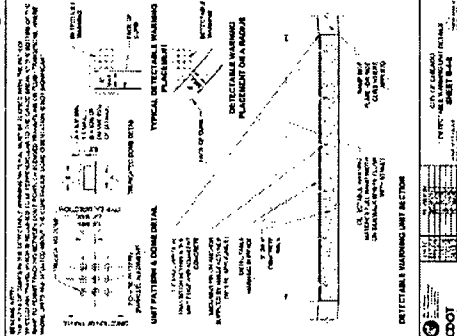
CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION

731-799 S Washlenaw Ave., Chicago, IL 60612

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CITY OF CHICAGO
 DEPARTMENT OF PUBLIC WORKS
 DIVISION OF STREET CONSTRUCTION
 312.462.3100
 312.462.3101
 312.462.3102
 312.462.3103
 312.462.3104
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 312.462.3150



NO.	REVISION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR CONSTRUCTION	11/15/11	J. J. ...	J. J. ...	J. J. ...
2	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
3	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
4	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
5	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
6	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
7	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
8	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
9	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...
10	REVISED TO REFLECT CHANGES	11/15/11	J. J. ...	J. J. ...	J. J. ...

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washenaw Ave.,
 Chicago, IL 60612

TYPICAL CDDT DETAILS
C100

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
 731-799 S Washenaw Ave.,
 Chicago, IL 60612

FINAL FOR PUBLICATION

SECTION 8-A

CDOT

SECTION 8-B

CDOT

SECTION 8-C

CDOT

SECTION 8-D

CDOT

SECTION 8-E

CDOT

SECTION 8-F

CDOT

SECTION 8-G

CDOT

SECTION 8-H

CDOT

SECTION 8-I

CDOT

SECTION 8-J

CDOT

SECTION 8-K

CDOT

SECTION 8-L

CDOT

APPROVED DETECTABLE WARNING PRODUCTS

APPROVED PRODUCT	MANUFACTURER	TYPE
AD-1	AD	AD
AD-2	AD	AD
AD-3	AD	AD
AD-4	AD	AD

CDOT

SECTION 8-M

CDOT

TYPICAL CDOT DETAILS
C101

CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
731-799 S Washlenaw Ave.,
Chicago, IL 60612

PROJECT: CHICAGO HOPE ACADEMY + CHICAGO LIONS CHARITABLE ASSOCIATION
DRAWING NO.: C101
DATE: 11/2017
BY: [Signature]
CHECKED BY: [Signature]

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Chicago Sustainable Development Policy 2017 01.12

Compliance Options	Points Required	Sustainable Strategies Menu										Solid Waste	Work Force	Wildlife		
		Health	Energy	Stormwater	Landscapes	Green Roofs	Water	Transportation								
Compliance Paths																
All Options Available	0	20	40	60	80	100	20	40	60	80	100	20	40	60	80	100
LEED Platinum	95	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
LEED Gold	80	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
LEED Silver	80	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Green Globes 4-Globes	80	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Green Globes 3-Globes	80	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Green Globes 2-Globes	70	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Living Building Challenge Petal	100	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Living Building Challenge Petal	90	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
Engage Green Communities*	60	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40
PassiveHouse	70	40	40	40	40	40	40	40	40	40	40	40	40	40	40	40

*Only area back to affordable housing projects funded by DPD's Housing Bureau

Planned Development Projects (PD) - New Construction: 100 points required
 TIF Funded Development Projects (TIF) - New Construction: 100 points required
 DPD Housing, Multi-family (5 units) Projects (DPD-H MF) - New Construction: 100 points required
 PD, TIF, DPD-H MF and Class L - Renovation Projects*: 25 points required
 Moderate Renovation Projects: 50 points required
 Substantial Renovation Projects: 50 points required

*Does not apply to TIF as source of less than \$1M (including but not limited to TIF-NIP, TIF Purchase Rehab, Streamlined TIF and SBIF programs)


Moderate Renovation Projects = projects including partial or minor upgrades to building systems and minor repairs to the exterior envelope
 Substantial Renovation Projects = projects including new anchor upgrades building systems and extensive repairs to the exterior envelope



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

MEMORANDUM

To: Alderman Thomas Tunney
Chairman, City Council Committee on Zoning

From: 
Maurice D. Cox
Chicago Plan Commission

Date: April 20, 2021

Re: Proposed Planned Development for the property generally located at 731 to 799 S Washtenaw Ave, 2605 to 2659 W Harrison and 2647 W Polk.

On April 15, 2020, the Chicago Plan Commission recommended approval of the proposed planned development submitted by, Chicago Hope Academy and Chicago Lions Charitable Association. A copy of the proposed planned development is attached. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development, Bureau of Zoning and Land Use recommendation and a copy of the resolution. If you have any questions in this regard, please do not hesitate to contact me at 744-9476

Cc: Steve Valenziano
PD Master File (Original PD, copy of memo)