



# City of Chicago



SO2014-8015

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	10/8/2014
<b>Sponsor(s):</b>	City Clerk (transmitted by)
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 5-I at 2808-2814 W North Ave - App No. 18176
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

#18176-T1

VOLUNTARY  
TYPE F

**ORDINANCE**

***BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:***

***SECTION 1.*** Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B3-1 Community Shopping District symbols and indications as shown on Map No. 5-1 in the area bound by

the alley next north of and parallel to West North Avenue; a line 64 feet west of and parallel to North California Avenue; West North Avenue; and a line 164 feet west of and parallel to North California Avenue

to those of a B2-2 Neighborhood Mixed-Use District and a corresponding uses district is hereby established in the area above described.

***SECTION 2.*** This ordinance shall be in force and effect from and after its passage and due publication.

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Common address of property:

2808-2814 West North Avenue

**NARRATIVE**  
**SHEET 1 of 2**

**2808 West North Avenue (Building 1)**

Proposed Zoning: B2-2 Neighborhood Mixed-Use District

Lot Area: 8,750 sq. ft.

The applicant seeks a zoning change to permit the development of a four-story, eight-unit residential building with no commercial space. On-site parking for eight vehicles will be provided at the rear of the lot. The proposed building will each reach a height of 44'-11".

- |     |                                   |                                    |
|-----|-----------------------------------|------------------------------------|
| (a) | Floor area ratio:                 | 1.92 FAR (16,800 sq. ft.)          |
| (b) | Lot Area Per Dwelling Unit        | 1093.75 sq. ft. per D.U. (8 units) |
| (c) | The amount of off-street parking: | 8                                  |
| (d) | Setbacks:                         |                                    |
|     | a. Front Setback:                 | 7'-0"                              |
|     | b. Rear Setback:                  | 72'-0"                             |
|     | c. Side Setbacks:                 |                                    |
|     | East Side:                        | 3'-0"                              |
|     | West Side:                        | 3'-0"                              |
| (e) | Building Height:                  | 44'-11"                            |

**FINAL FOR PUBLICATION**

**NARRATIVE**  
**SHEET 2 of 2**

**2814 West North Avenue (Building 2)**

Proposed Zoning: B2-2 Neighborhood Mixed-Use District

Lot Area: 8,750 sq. ft.

The applicant seeks a zoning change to permit the development of a four-story, eight-unit residential building with no commercial space. On-site parking for eight vehicles will be provided at the rear of the lot. The proposed building will each reach a height of 44'-11".

- (a) Floor area ratio: 1.92 FAR (16,800 sq. ft.)
- (b) Lot Area Per Dwelling Unit 1093.75 sq. ft. per D.U. (8 units)
- (c) The amount of off-street parking: 8
- (d) Setbacks:
  - a. Front Setback: 7'-0"
  - b. Rear Setback: 72'-0"
  - c. Side Setbacks:
    - East Side: 3'-0"
    - West Side: 3'-0"
- (e) Building Height: 44'-11"

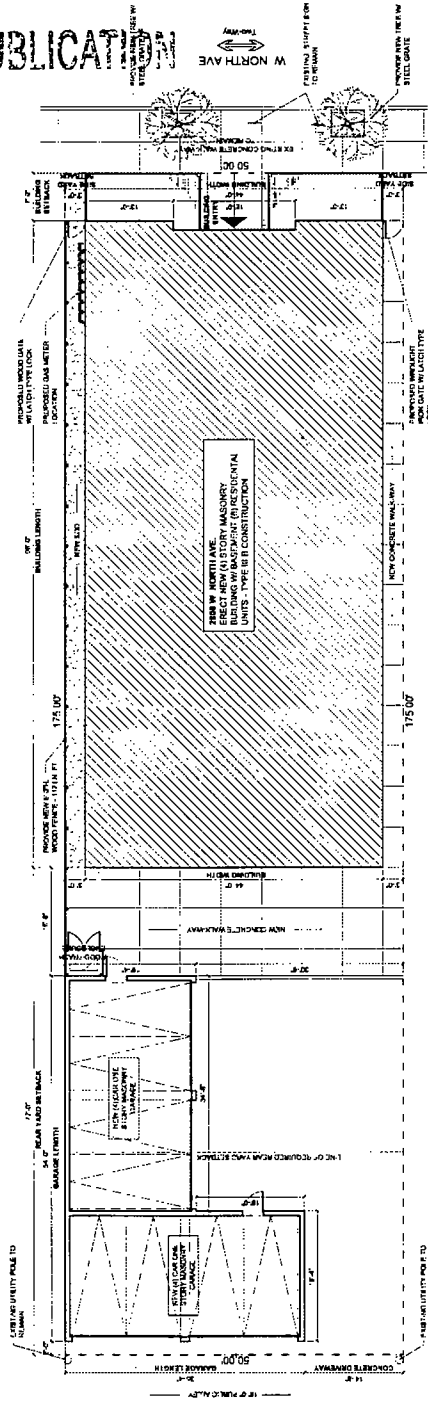
**FINAL FOR PUBLICATION**

2808 W. NORTH AVE.

CHICAGO

ILLINOIS

FINAL FOR PUBLICATION



1 SITE PLAN  
CS10 1/8" = 1'-0"

<p><b>noah</b> properties</p> <p>2808 W. NORTH AVE CHICAGO, ILLINOIS 60641</p>	<p><b>2808 W. North Ave.</b> Chicago, Illinois</p>	<p><b>X I O S</b> ARCHITECTS AND CONSULTANTS</p> <p>1838 WEST COLUMBIA STREET CHICAGO, ILLINOIS 60611 PHONE: (312) 943-8000 FAX: (312) 943-8001 WWW.XIOS.COM</p>	<p>PROJECT NO. 2808 W. NORTH AVE</p> <p>PROJECT NAME COVER SHEET AND SITE PLAN</p> <p>DATE 12/15/10</p> <p>SCALE 1/8" = 1'-0"</p> <p>PROJECT NO. 2808 W. NORTH AVE</p> <p>PROJECT NAME COVER SHEET AND SITE PLAN</p> <p>DATE 12/15/10</p>	<p>REGISTERED ARCHITECT ILLINOIS ARCHITECTS BOARD</p> <p>STATE OF ILLINOIS ARCHITECTS BOARD</p> <p>EXPIRES 12/31/2014</p>	<p>REGISTERED ARCHITECT ILLINOIS ARCHITECTS BOARD</p> <p>STATE OF ILLINOIS ARCHITECTS BOARD</p> <p>EXPIRES 12/31/2014</p>
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**LEGEND**

- (1) WALL SECTION
- (2) CONCRETE WALL SECTION
- (3) CONCRETE WALL SECTION
- (4) CONCRETE WALL SECTION
- (5) CONCRETE WALL SECTION

**NOTES**

A. PROVIDE SLOPE WITH ACCESS TO SLOPE OR GRADE AT ALL EXTERIOR WALLS.

B. PROVIDE CONCRETE FOUNDATION WITH SLOPE TO GRADE AT ALL EXTERIOR WALLS.

C. METAL STAIRS TO BE 48" HIGH BY 16" WIDE WITH 1/4" DIA. TREADS AND 1/4" DIA. RISERS.

D. ALL BRICK EXTERIOR WALLS TO BE 4" THICK WITH 1/2" COURSE OF WEATHER RESISTIVE INSULATION ON ALL EXTERIOR WALLS.

E. PROVIDE WEATHER RESISTIVE INSULATION ON ALL EXTERIOR WALLS.

F. PROVIDE WEATHER RESISTIVE INSULATION ON ALL EXTERIOR WALLS.

**CHICAGO GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND CODES.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND CODES.

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5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND CODES.

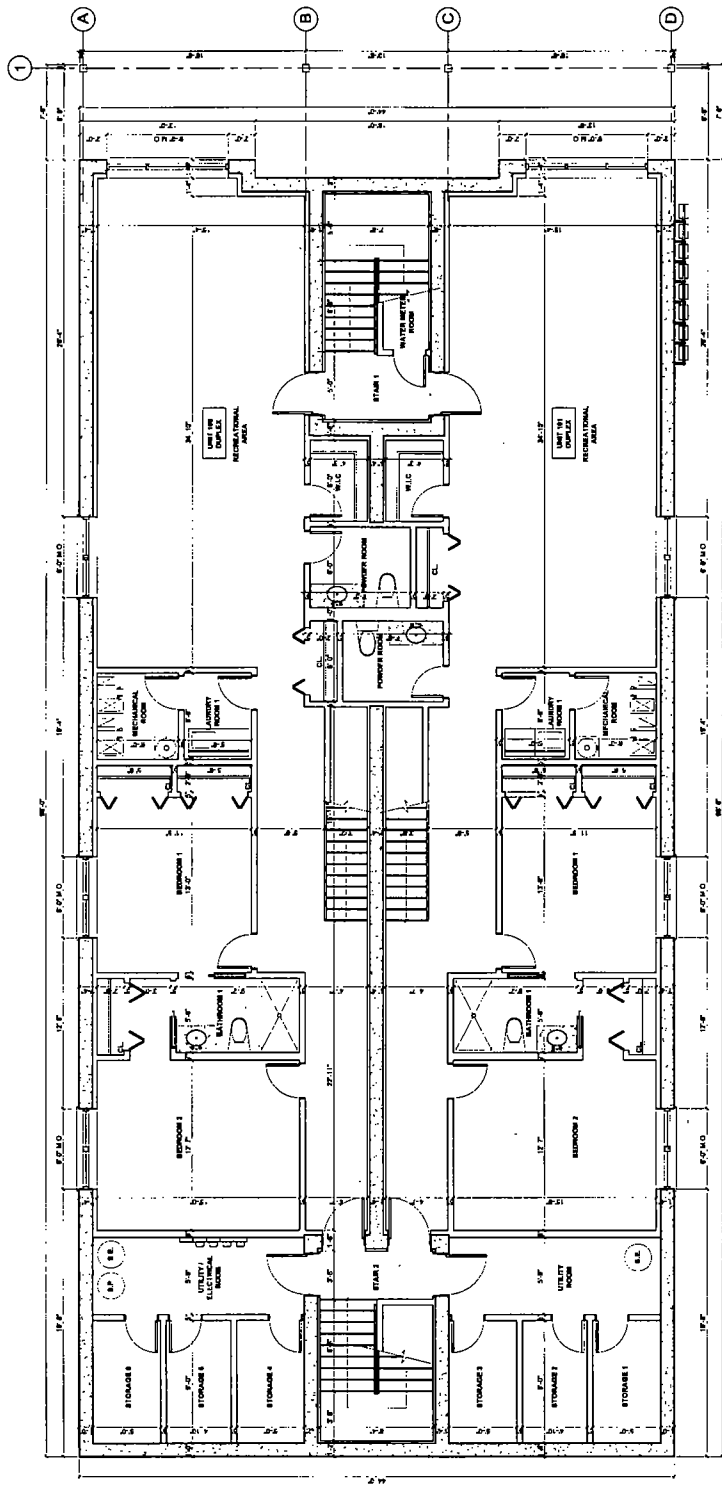
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND CODES.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND CODES.

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1 BASEMENT PLAN  
 A10 1/8" = 1'-0"

**COMMENTS**

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**OWNER**

NO.	DATE	DESCRIPTION
1	12/15/2011	ISSUED FOR PERMIT
2	01/10/2012	ISSUED FOR PERMIT
3	02/10/2012	ISSUED FOR PERMIT
4	03/10/2012	ISSUED FOR PERMIT
5	04/10/2012	ISSUED FOR PERMIT
6	05/10/2012	ISSUED FOR PERMIT
7	06/10/2012	ISSUED FOR PERMIT
8	07/10/2012	ISSUED FOR PERMIT
9	08/10/2012	ISSUED FOR PERMIT
10	09/10/2012	ISSUED FOR PERMIT

**OWNER**

noah properties  
 2808 W. NORTH AVE.  
 CHICAGO, ILLINOIS 60641

**PROJECT**

2808 W. North Ave.  
 Chicago, Illinois

**ARCHITECT**

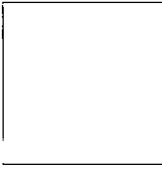
XIOS  
 1111 W. WABASH  
 CHICAGO, ILLINOIS 60601  
 TEL: (312) 329-1111  
 FAX: (312) 329-1111

**PROJECT NO.** BDR-440  
**DATE** 12/15/2011  
**SCALE** 1/8" = 1'-0"  
**TITLE** BASEMENT PLAN

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**DATE** 12/15/2011  
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**DATE** 12/15/2011  
**SCALE** 1/8" = 1'-0"  
**TITLE** BASEMENT PLAN

# FINAL FOR PUBLICATION



**LEGEND**

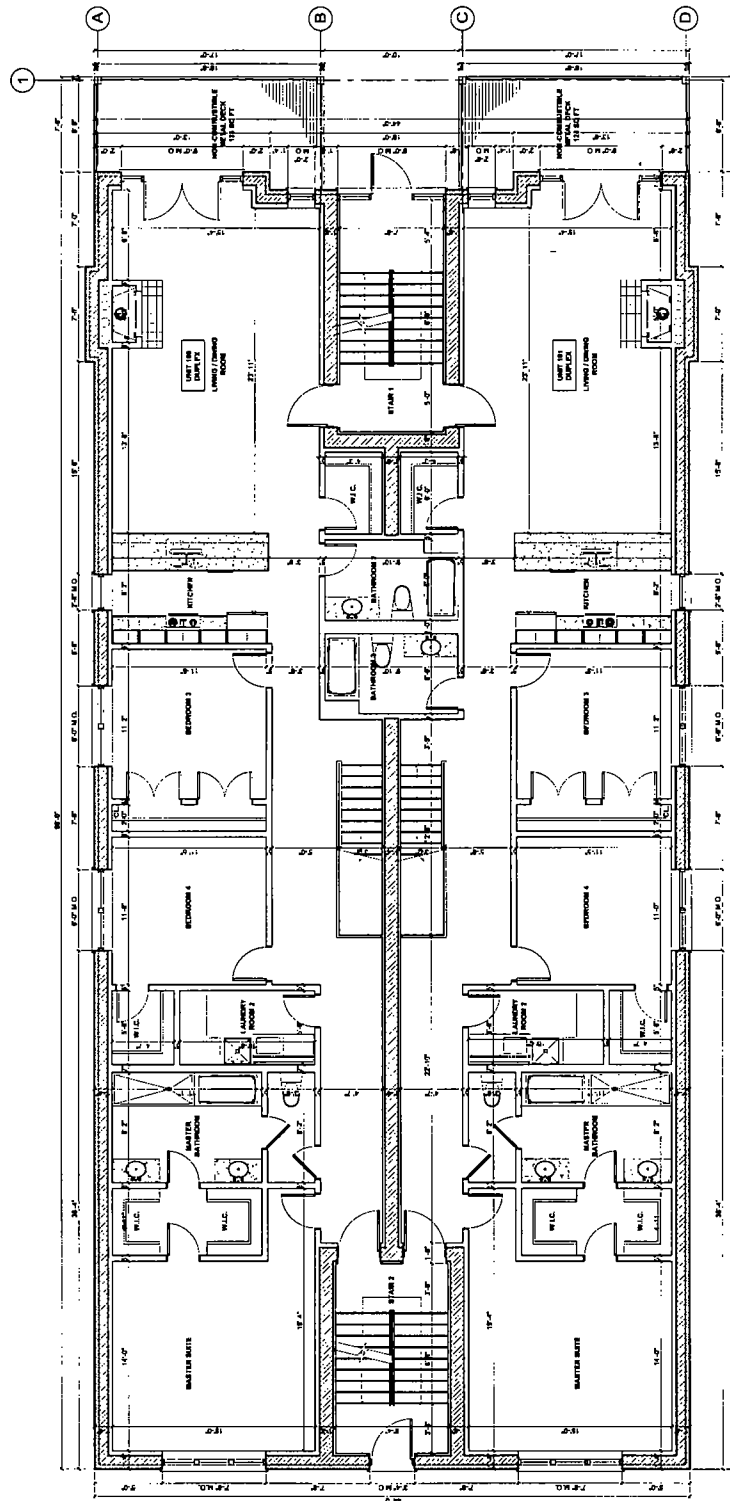
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- ☉ WINDOW EJECTION TO ROOF
- ☉ WINDOW EJECTION TO EXTERIOR

**CHICAGO GENERAL NOTES**

MEET THE OWNER'S ARCHITECTS AND CITY APPROVAL OF THE WORK SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND DEPARTMENT OF BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND DEPARTMENT OF BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND DEPARTMENT OF BUILDING.

**NOTES**

PROVIDE INSULATION IN ALL CLOSET WALLS AND PARTITION WALLS TO BE CONSTRUCTED WITH INSULATION. PROVIDE INSULATION IN ALL CLOSET WALLS AND PARTITION WALLS TO BE CONSTRUCTED WITH INSULATION. PROVIDE INSULATION IN ALL CLOSET WALLS AND PARTITION WALLS TO BE CONSTRUCTED WITH INSULATION.



1 FIRST FLOOR PLAN  
 AT 1/8" = 1'-0"

CONTRACTOR: NOAH PROPERTIES 2808 W. NORTH AVE. CHICAGO, ILLINOIS 60641	NO. DATE 11 11/11	DESCRIPTION FIRST FLOOR PLAN	OWNER: NOAH PROPERTIES 2808 W. NORTH AVE. CHICAGO, ILLINOIS 60641	BILL OF MATERIALS ARCHITECT: X I O S ARCHITECTS 315 W. WAB CHICAGO, ILLINOIS 60601	PROJECT NO. 2808 W. NORTH AVE. CHICAGO, ILLINOIS 60641	SHEET NO. A1.1

**FINAL FOR PUBLICATION**

**LEGEND**

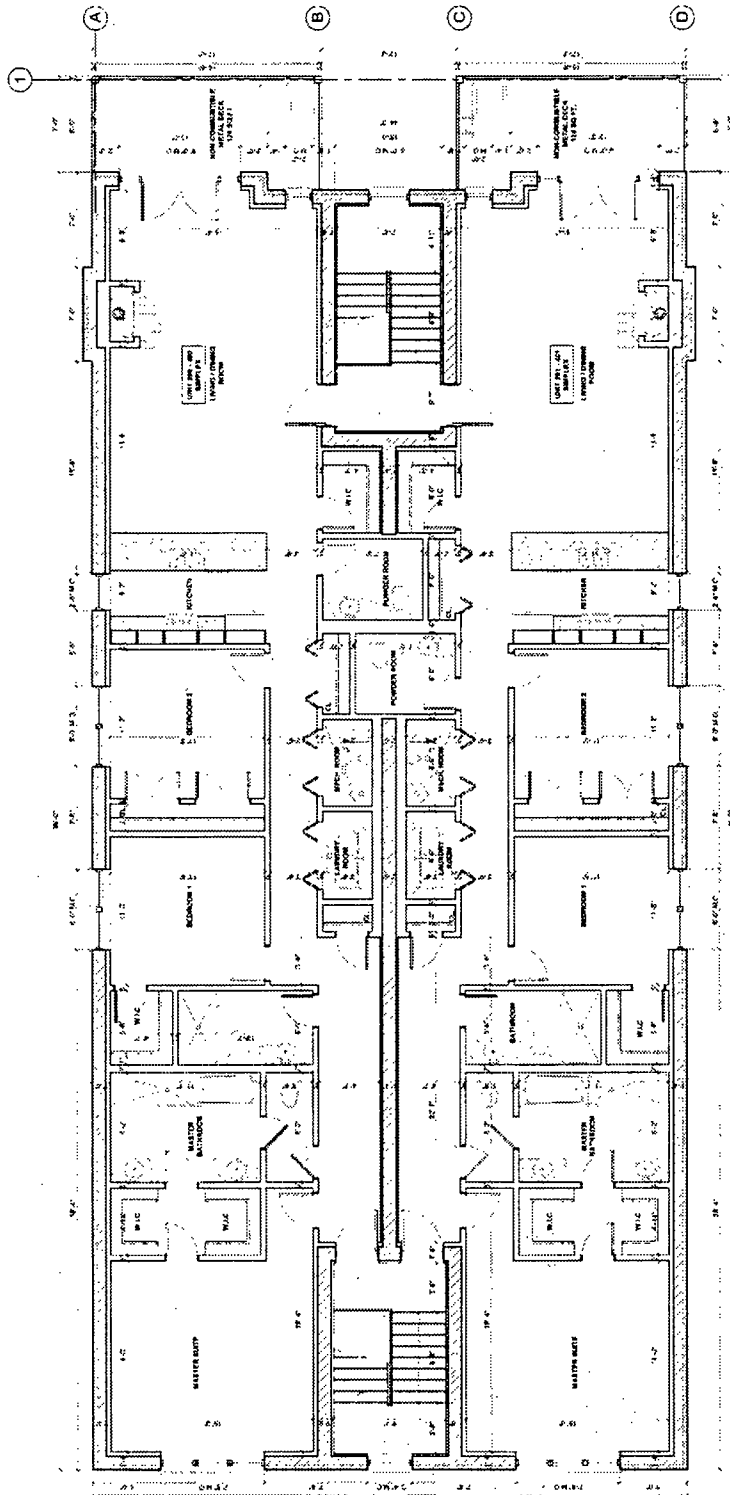
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**CHICAGO GENERAL NOTES:**

1. SEE THE GENERAL SPECIFICATIONS AND CONDITIONS ON THE FIRST FLOOR PLAN FOR A COMPLETE LIST OF REQUIREMENTS.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL WALLS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
4. ALL FLOORS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
5. ALL CEILING ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
6. ALL ROOF ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
7. ALL WINDOWS ARE TO BE ALUMINUM UNLESS OTHERWISE NOTED.
8. ALL DOORS ARE TO BE STEEL UNLESS OTHERWISE NOTED.
9. ALL STAIRS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
10. ALL ELEVATIONS ARE TO FACE UNLESS OTHERWISE NOTED.
11. ALL FINISHES ARE TO BE AS NOTED UNLESS OTHERWISE NOTED.
12. ALL MATERIALS ARE TO BE AS NOTED UNLESS OTHERWISE NOTED.
13. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
14. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
15. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF BOILER AND PRESSURIZED VESSEL SAFETY AND ALL APPLICABLE LOCAL ORDINANCES.
16. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF ELECTRICAL SAFETY AND ALL APPLICABLE LOCAL ORDINANCES.
17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF MECHANICAL SAFETY AND ALL APPLICABLE LOCAL ORDINANCES.
18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF PLUMBING SAFETY AND ALL APPLICABLE LOCAL ORDINANCES.
19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF FIRE AND ALARM SAFETY AND ALL APPLICABLE LOCAL ORDINANCES.
20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF SAFETY AND HEALTH AND ALL APPLICABLE LOCAL ORDINANCES.
21. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF ACCESSIBILITY AND ALL APPLICABLE LOCAL ORDINANCES.
22. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF GREEN BUILDING AND ALL APPLICABLE LOCAL ORDINANCES.

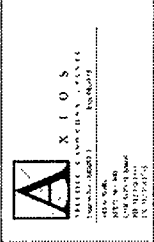
**NOTES:**

- A. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- B. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- C. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF BOILER AND PRESSURIZED VESSEL SAFETY AND ALL APPLICABLE LOCAL ORDINANCES.
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- I. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF ACCESSIBILITY AND ALL APPLICABLE LOCAL ORDINANCES.
- J. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF GREEN BUILDING AND ALL APPLICABLE LOCAL ORDINANCES.

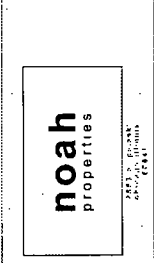


1 SECOND - FOURTH FLOOR PLAN  
A17

PROJECT NO. B2K 40  
DATE: 11/20/17  
DRAWN BY: WJC  
CHECKED BY: WJC  
SCALE: AS SHOWN  
PROJECT NAME: SECOND - FOURTH FLOOR PLAN  
A1.2



2808 W. North Ave.  
Chicago, Illinois



NO.	DATE	DESCRIPTION
1	11/20/17	Initial Issue
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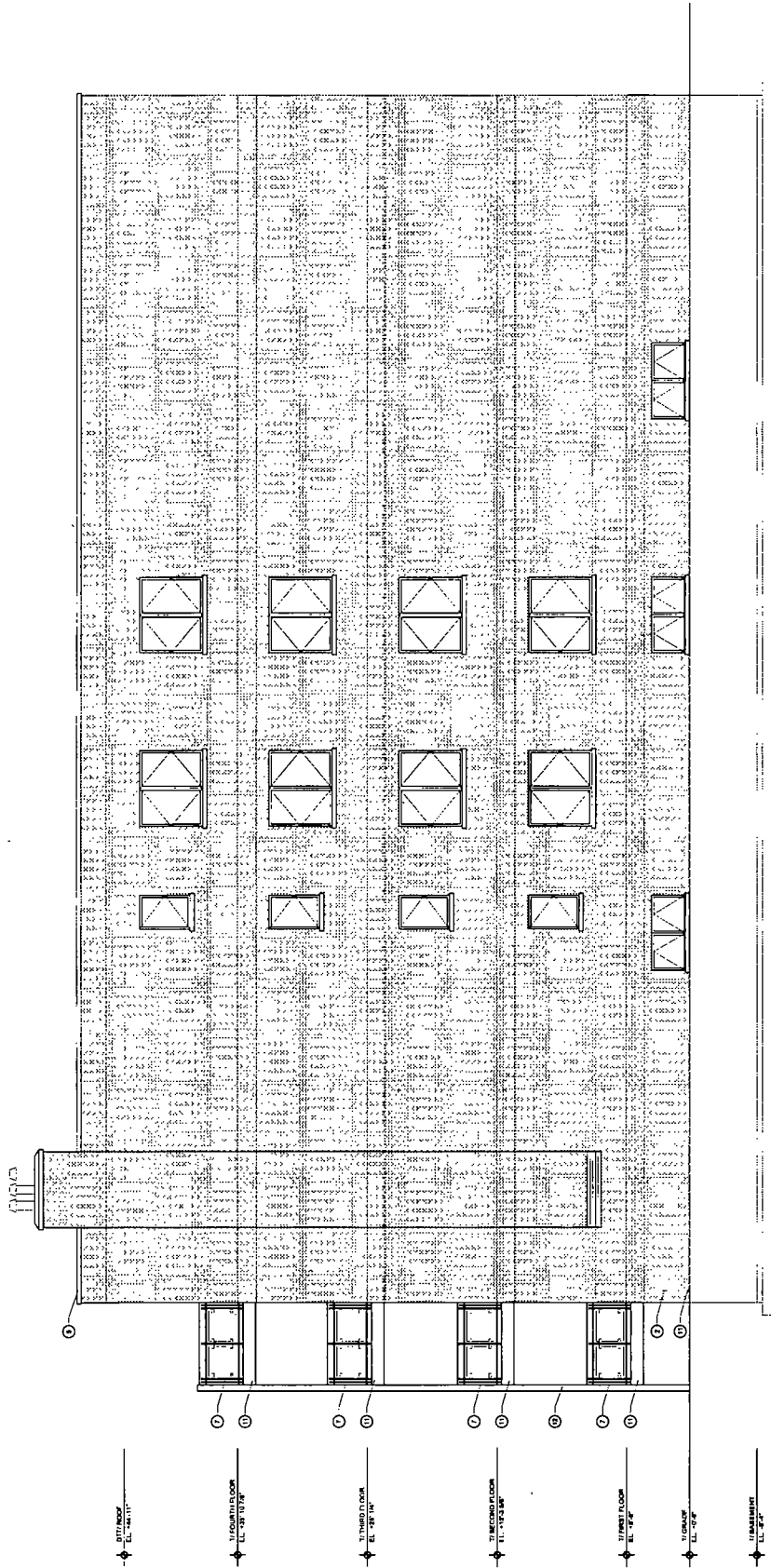




FINAL FOR PUBLICATION

- NOTES**
1. REFER TO SET OF FINISHED FLOOR (FFP)
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- MATERIALS LEGEND**
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  99. EXPOSED CONCRETE FOUNDATION
  100. EXPOSED CONCRETE FOUNDATION



**OWNER'S RELEASE**  
 I, THE UNDERSIGNED, HEREBY RELEASE, DEFEND, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT, ENGINEER, CONTRACTOR, SUBCONTRACTOR, AND ALL OTHERS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY ANY OF THEM IN CONNECTION WITH THE PERFORMANCE OF THEIR PROFESSIONAL SERVICES UNDER THIS AGREEMENT, WHETHER OR NOT SUCH CLAIMS, DAMAGES, LOSSES AND EXPENSES ARE CAUSED IN WHOLE OR IN PART BY THE NEGLIGENCE, ACTIVE OR PASSIVE, OF ANY OF THEM.

**NO. DATE**  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**DESCRIPTION**  
 PROJECT: \_\_\_\_\_

**OWNER**  
 NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

**ARCHITECT**  
 NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

**ENGINEER**  
 NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

**CONTRACTOR**  
 NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

**PROJECT**  
 PROJECT: **2808 W. North Ave. Chicago, Illinois**

**noah properties**  
 1511 S. LAKE STREET, SUITE 1000 CHICAGO, IL 60605

**BILL O. KOKALIAS ARCHITECT**  
 1814 N. LAKE STREET, SUITE 1000 CHICAGO, IL 60614  
 PHONE: (773) 327-1111 FAX: (773) 327-1111

**FORMER'S 10-2011**

**EAST ELEVATION**

**BOOK 440**  
 SHEET 17 C  
 EAST ELEVATION

**A2.1**

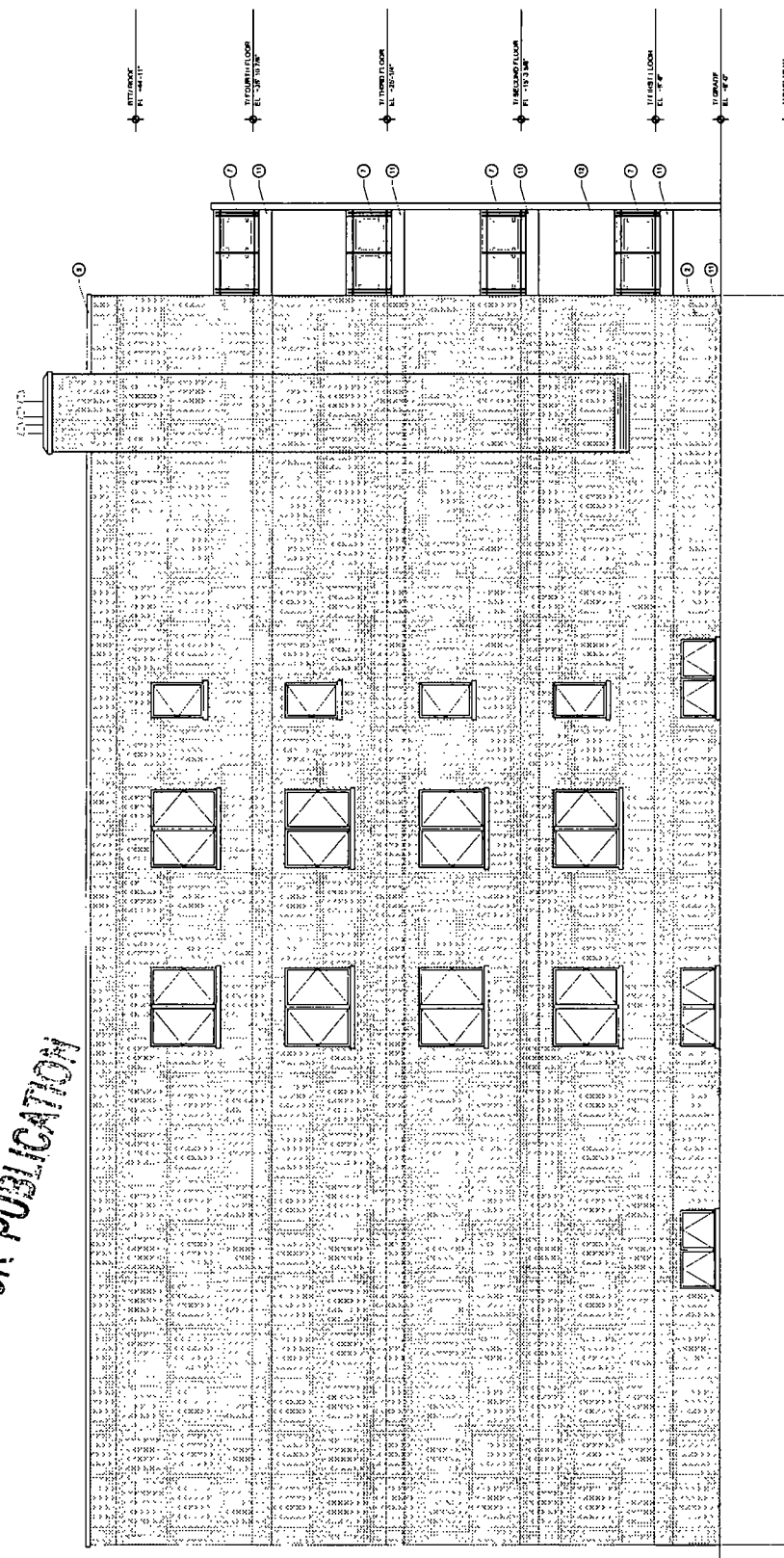
### MATERIALS LEGEND

1. EXPOSED CONCRETE: FORMWORK
2. EXPOSED CONCRETE: FORMWORK
3. EXPOSED FACE: BRICK: COLOR WHITE
4. EXPOSED FACE: BRICK: COLOR BLACK
5. EXPOSED FACE: BRICK: COLOR RED
6. EXPOSED FACE: BRICK: COLOR BROWN
7. EXPOSED FACE: BRICK: COLOR TAN
8. EXPOSED FACE: BRICK: COLOR GREY
9. EXPOSED FACE: BRICK: COLOR PURPLE
10. EXPOSED FACE: BRICK: COLOR BLUE
11. EXPOSED FACE: BRICK: COLOR GREEN
12. EXPOSED FACE: BRICK: COLOR YELLOW
13. EXPOSED FACE: BRICK: COLOR ORANGE
14. EXPOSED FACE: BRICK: COLOR LIGHT BLUE
15. EXPOSED FACE: BRICK: COLOR LIGHT GREEN
16. EXPOSED FACE: BRICK: COLOR LIGHT PURPLE
17. EXPOSED FACE: BRICK: COLOR LIGHT ORANGE
18. EXPOSED FACE: BRICK: COLOR LIGHT BLUE-GREEN
19. EXPOSED FACE: BRICK: COLOR LIGHT PURPLE-GREEN
20. EXPOSED FACE: BRICK: COLOR LIGHT ORANGE-GREEN

### NOTES

1. REFER TO TOP OF PRECEDING FLOOR (PPF)
2. ALL DIMENSIONS: VERTICAL: FINISH FLOOR TO FINISH FLOOR  
HORIZONTAL: FINISH TO FINISH
3. MAKEUP TO REFER TO FINISH PLUMBING AND FINISH SCHEDULE FOR UTILITIES AND LOCATIONS REFER TO ARCHITECTURE CONTRACTOR IN GENERAL CONTRACTOR AND HVAC CONTRACTOR CONTRACT
4. MAKEUP SHALL PROVIDE MAKEUP FOR BALCONY AT ALL LOCATIONS INDICATED BY ARCHITECTURE CONTRACTOR TO MAKEUP. PROVIDE AS IN FINISH SCHEDULE.
5. PROVIDE AS IN FINISH SCHEDULE AT ALL LOCATIONS INDICATED BY ARCHITECTURE CONTRACTOR TO MAKEUP. PROVIDE AS IN FINISH SCHEDULE.
6. MAKEUP SHALL PROVIDE MAKEUP FOR BALCONY AT ALL LOCATIONS INDICATED BY ARCHITECTURE CONTRACTOR TO MAKEUP. PROVIDE AS IN FINISH SCHEDULE.
7. MAKEUP SHALL PROVIDE MAKEUP FOR BALCONY AT ALL LOCATIONS INDICATED BY ARCHITECTURE CONTRACTOR TO MAKEUP. PROVIDE AS IN FINISH SCHEDULE.
8. MAKEUP SHALL PROVIDE MAKEUP FOR BALCONY AT ALL LOCATIONS INDICATED BY ARCHITECTURE CONTRACTOR TO MAKEUP. PROVIDE AS IN FINISH SCHEDULE.

FINAL FOR PUBLICATION



WEST ELEVATION  
X12

NO. 410	NO. 410
NO. 410	NO. 410
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NO. 410	NO. 410

WEST ELEVATION

NO. 410

NO. 410

NO. 410

NO. 410

NO. 410

NO. 410

NO. 410

NO. 410

M. J. KOPALAS ARCHITECTS

1111 N. WILSON AVENUE, CHICAGO, IL 60642

TEL: (312) 281-1111 FAX: (312) 281-1112

2808 W. North Ave.  
Chicago, Illinois

noah properties

1355 N. ELSTON STREET, CHICAGO, IL 60642

NO.	DATE	DESCRIPTION

OWNER RELEASE

I, THE UNDERSIGNED, OWNER OF THE ABOVE PROJECT, HEREBY RELEASE THE ARCHITECT FROM ALL LIABILITY FOR THE DESIGN AND CONSTRUCTION OF THE ABOVE PROJECT. THE ARCHITECT'S ONLY OBLIGATION IS TO PROVIDE THE SERVICES OF AN ARCHITECT AS SET FORTH IN THIS AGREEMENT.

DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

DATE OF THIS RELEASE: \_\_\_\_\_

BY: \_\_\_\_\_

DATE: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

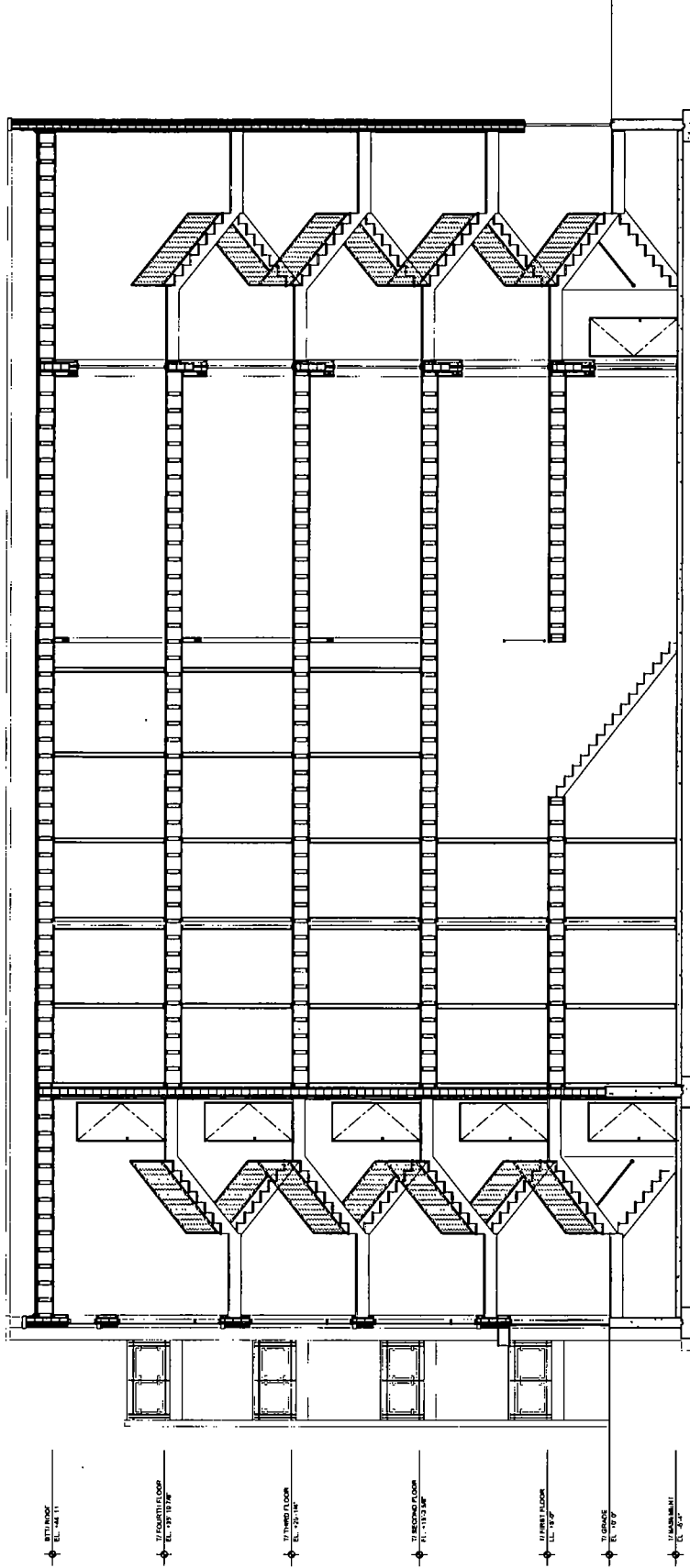
PROJECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

DATE OF THIS RELEASE: \_\_\_\_\_

FINAL FOR PUBLICATION



1 BUILDING SECTION  
A3.0

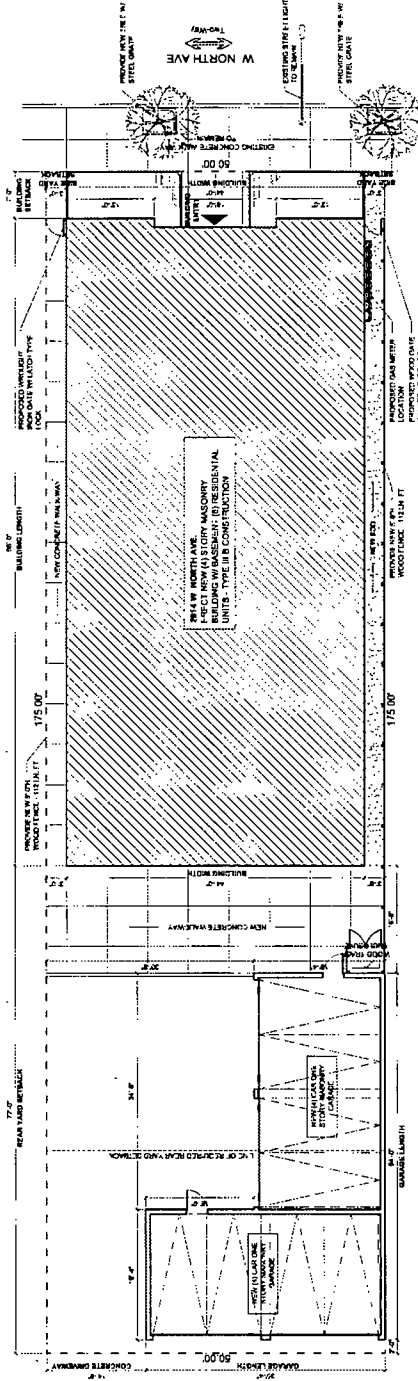
COMMENT: THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.	OWNER: NOAH PROPERTIES 2808 W. NORTH AVE. CHICAGO, ILLINOIS 60641	PROJECT: 2808 W. North Ave. Chicago, Illinois	ARCHITECT: X I O S ARCHITECTURE AND CONSULTANTS 1978 W. Wabash Chicago, IL 60641 PH: 312.281.1333 FX: 312.281.1335	REGISTERED PROFESSIONAL ARCHITECT STATE OF ILLINOIS NO. 0212854	BUILDING SECTION A3.0

# 2814 W. NORTH AVE.

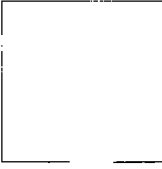
ILLINOIS

CHICAGO

FINAL FOR PUBLICATION



<p>COMMENT:</p> <p>THIS COVER SHEET IS TO BE USED TO IDENTIFY THE PROJECT AND TO BE KEPT WITH THE PROJECT RECORDS. IT IS NOT TO BE USED AS A SUBSTITUTE FOR THE PROJECT RECORDS. THE PROJECT RECORDS SHALL BE KEPT FOR THE LIFE OF THE PROJECT AND SHALL BE MADE AVAILABLE TO THE PUBLIC UPON REQUEST.</p>	<p>NO. DATE</p> <p>DESCRIPTION</p>	<p>OWNER</p>	<p>PROJECT</p> <p><b>2814 North Ave.</b> <b>Chicago, Illinois</b></p>	<p>noah properties</p> <p>151 N. Wabash Chicago, Illinois 60601 312.467.1111 www.noahproperties.com</p>	<p>ARCHITECT</p> <p><b>X J I O S</b> ARCHITECTS AND CONSULTANTS 151 N. Wabash Chicago, Illinois 60601 312.467.1111 www.xjos.com</p>	<p>ARCHITECT</p> <p><b>BILL O. ROCKWELL</b> ARCHITECT 151 N. Wabash Chicago, Illinois 60601 312.467.1111 www.xjos.com</p>	<p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p>	<p>BOOK NO.</p> <p>DATE</p> <p>SCALE</p>	<p>COVER SHEET AND SITE PLAN</p> <p><b>CS1.0</b></p>
	<p>DATE RELEASE</p> <p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p>	<p>OWNER</p>					<p>PROJECT NO.</p> <p>DATE</p> <p>SCALE</p>	<p>BOOK NO.</p> <p>DATE</p> <p>SCALE</p>	



**LEGEND**

1. MEET THE OWNER'S ARCHITECTS AND COST APPROVAL OR THE WORK SHALL BE COMPLETED AT THE CONTRACTOR'S DISCRETION. ALL CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF BUILDING. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

**CHICAGO GENERAL NOTES**

1. ALL EXTERIOR FINISHES TO BE CLASS 1 CURT-LAKE BRICK PAINTING.

2. ALL EXTERIOR FINISHES TO BE CLASS 1 CURT-LAKE BRICK PAINTING.

3. ALL EXTERIOR FINISHES TO BE CLASS 1 CURT-LAKE BRICK PAINTING.

4. ALL EXTERIOR FINISHES TO BE CLASS 1 CURT-LAKE BRICK PAINTING.

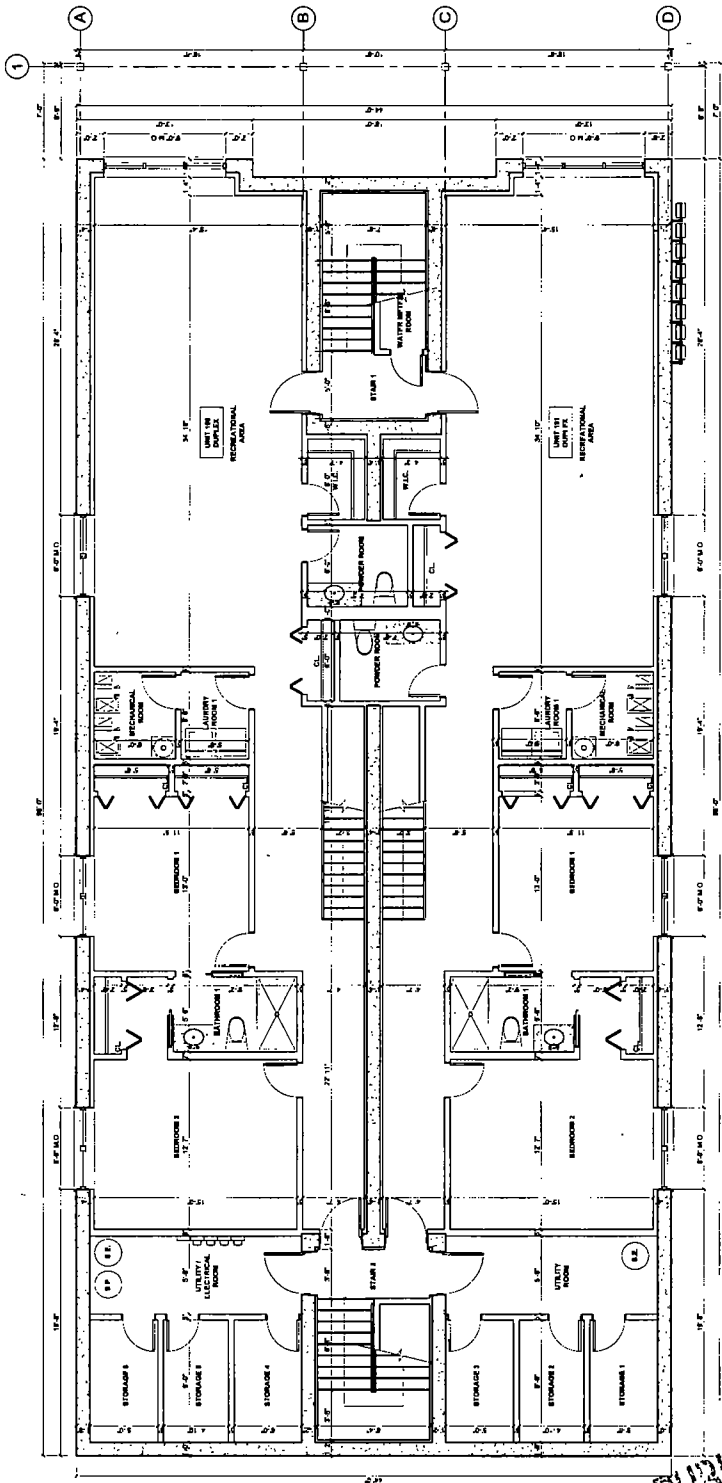
**NOTES**

A. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

B. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

C. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

D. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.



1. BASEMENT PLAN  
A1.0

**FINAL FOR PUBLICATION**

<p><b>noah properties</b> 1601 N. LAUREL CHICAGO, ILLINOIS 60614</p>	<p><b>PROJECT</b> 2814 North Ave. Chicago, Illinois</p>	<p><b>OWNER</b> X I O S ARCHITECTURE AND CONSULTANTS 1831 W. WILSON CHICAGO, ILLINOIS 60614 PH: 312.281.1111 FX: 312.281.1115</p>	<p><b>ARCHITECT</b> X I O S ARCHITECTURE AND CONSULTANTS 1831 W. WILSON CHICAGO, ILLINOIS 60614 PH: 312.281.1111 FX: 312.281.1115</p>	<p><b>REVISIONS</b></p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION										<p><b>BOOK 440</b> SHEET W.C.</p>
				NO.	DATE	DESCRIPTION											
<p><b>BASEMENT PLAN</b></p>				<p><b>A1.0</b></p>													



**LEGEND**

- 1. CONSTRUCTION
- 2. FINISH
- 3. MECHANICAL
- 4. ELECTRICAL
- 5. PLUMBING
- 6. PAINT
- 7. GLASS
- 8. METAL
- 9. WOOD
- 10. OTHER

**CHICAGO GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

2. ALL CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CHICAGO DEPARTMENT OF BUILDING.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CHICAGO DEPARTMENT OF BUILDING.

4. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE CHICAGO DEPARTMENT OF BUILDING PRIOR TO INSTALLATION.

5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

**NOTES**

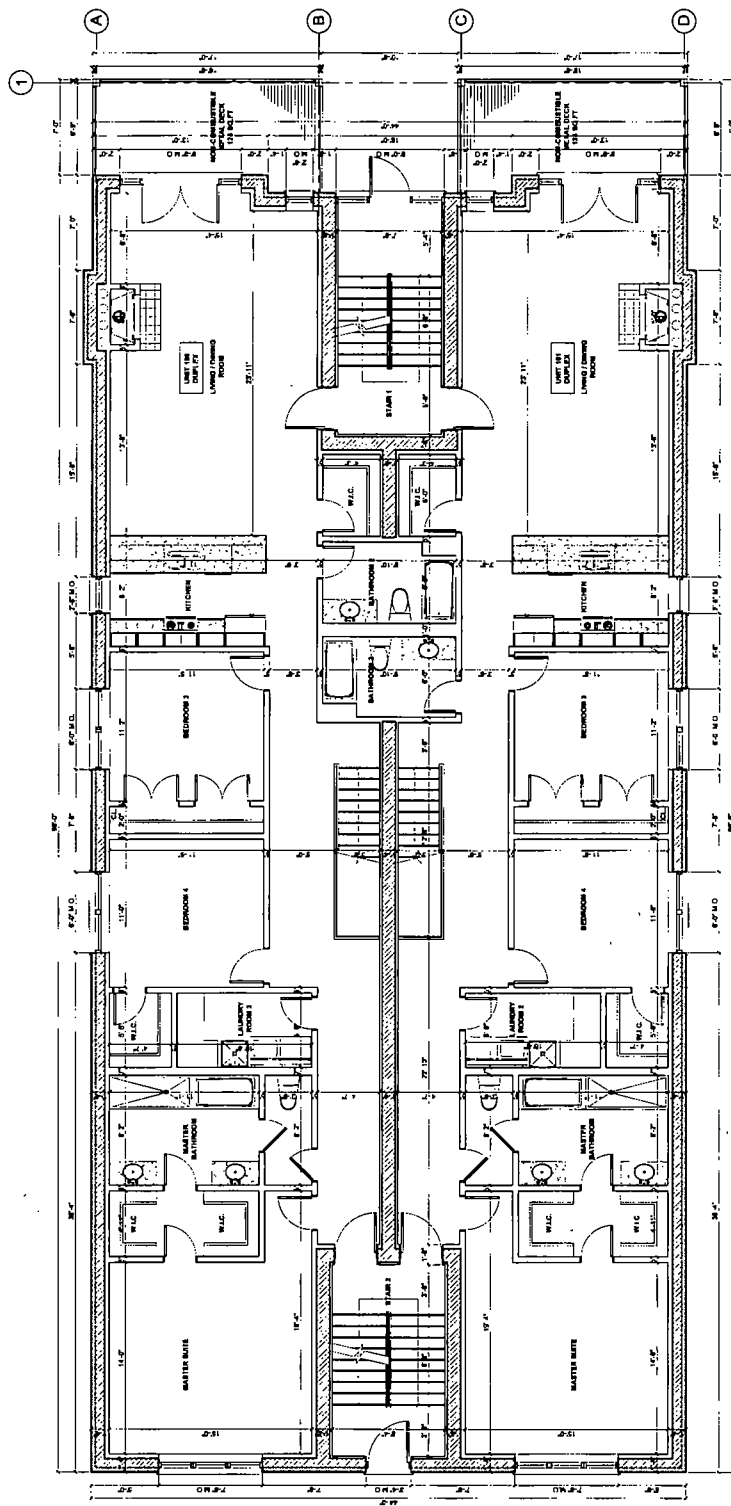
A. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

B. ALL CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CHICAGO DEPARTMENT OF BUILDING.

C. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CHICAGO DEPARTMENT OF BUILDING.

D. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE CHICAGO DEPARTMENT OF BUILDING PRIOR TO INSTALLATION.

E. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.



**FIRST FLOOR PLAN**  
Scale: 1/8" = 1'-0"

<p><b>noah properties</b> 1833 N. HALSTED CHICAGO, ILLINOIS 60641</p>		<p><b>2814 North Ave.</b> Chicago, Illinois</p>		<p><b>BILL C. ROYALIAS</b> ARCHITECT 1833 N. HALSTED CHICAGO, ILLINOIS 60641 PH: 312.762.1111 FX: 312.762.1111</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>	
<p><b>OWNER RELEASE:</b> I, THE UNDERSIGNED, HEREBY RELEASE THE ARCHITECT FROM ALL LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM ANY AND ALL CONTRACTS, AGREEMENTS, OR NEGLIGENCE OF ANY KIND, INCLUDING NEGLIGENCE OF THE ARCHITECT, IN CONNECTION WITH THE DESIGN AND CONSTRUCTION OF THE PROJECT, AND I AGREE TO HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THE ARCHITECT IN CONNECTION WITH THE DESIGN AND CONSTRUCTION OF THE PROJECT.</p>		<p><b>NO.</b>    <b>DATE</b>    <b>DESCRIPTION</b></p> <p>1    11/15/11    1833 N. HALSTED</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>	
<p><b>COPYRIGHT:</b> THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>		<p><b>PROJECT NO.</b> NO. 1833</p> <p><b>DATE:</b> NOV. 15, 2011</p>	

**FINAL FOR PUBLICATION**

**A1.1**

**NOTES:**

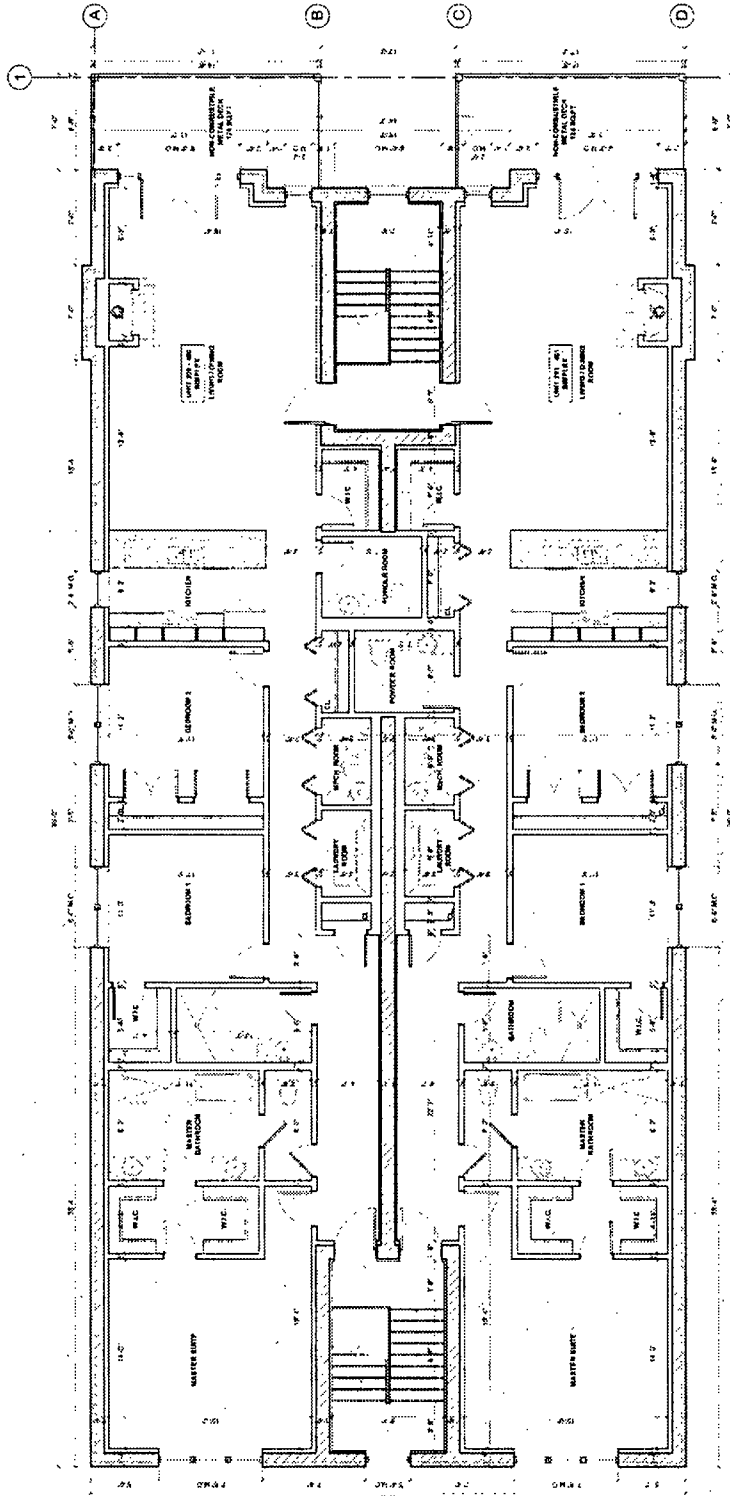
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10. PROVIDE SCHEDULED ACCESS TO THE UNIT AND TO THE COMMON AREAS AND TO THE COMMON AREAS.

**CHICAGO GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2014 EDITION.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2014 EDITION.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2014 EDITION.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2014 EDITION.
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9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2014 EDITION.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2014 EDITION.

**LEGEND**

- 1. 1/4" = 1'-0" SCALE
- 2. 1/4" = 1'-0" SCALE
- 3. 1/4" = 1'-0" SCALE
- 4. 1/4" = 1'-0" SCALE
- 5. 1/4" = 1'-0" SCALE
- 6. 1/4" = 1'-0" SCALE
- 7. 1/4" = 1'-0" SCALE
- 8. 1/4" = 1'-0" SCALE
- 9. 1/4" = 1'-0" SCALE
- 10. 1/4" = 1'-0" SCALE



1 SECOND - FOURTH FLOOR PLAN  
A1.2

**FINAL FOR PUBLICATION**

<p>DATE: 01-20-17 REVISION: 1</p>		<p>DESCRIPTION: SECOND - FOURTH FLOOR PLAN</p>	
<p>PROJECT: 2814 NORTH AVE. CHICAGO, ILLINOIS</p>		<p>ARCHITECT: BILL C. KOPIAS ARCHITECT</p>	
<p>CLIENT: AN J O S</p>		<p>SCALE: 1/4" = 1'-0"</p>	
<p>NOAH PROPERTIES</p>		<p>PROJECT NO. 17-01-001</p>	
<p>2814 NORTH AVE. CHICAGO, ILLINOIS</p>		<p>ARCHITECT'S SEAL</p>	





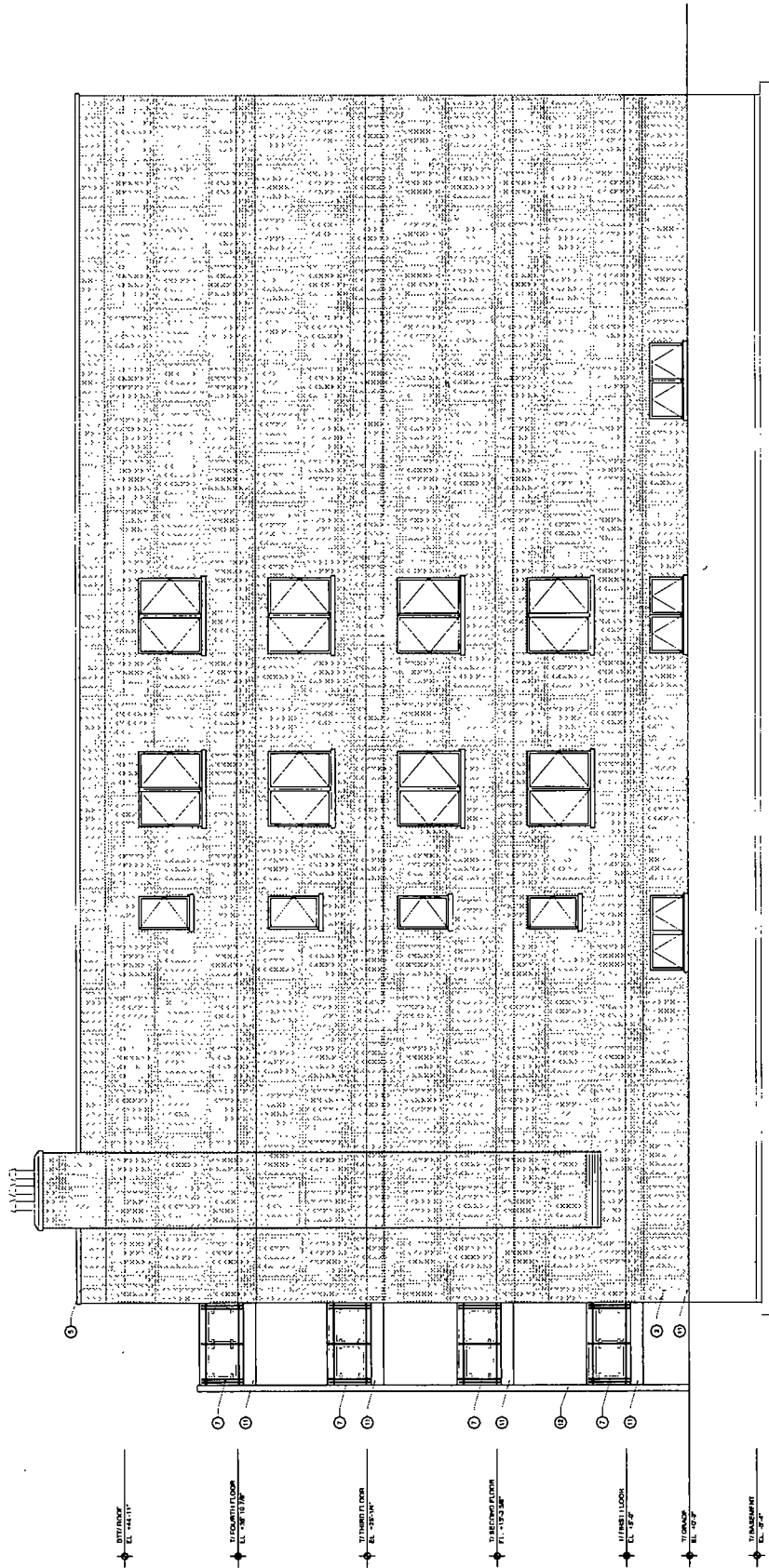
# FINAL FOR PUBLICATION

**NOTES**

- HEIGHTS TO TOP OF FINISHED FLOOR (TYP.)
- MADE TO FIT OVER ALL MASONRY WITH SLOTTED JOINT FLASHING
- INSTALL TO MATCH EXISTING
- MARKER TO BE SET TO FINISH IN ASH AND METAL BOARDS FOR FINISHED AND LOCATIONS NOT TO MECHANICAL IN GENERAL CONTRACTOR AND HVAC CONTRACTOR WORKSHOP
- MARKER SHALL PROVIDE MARKING TYPE SPALLS AT ALL POINTS WHERE MECHANICAL CONTRACTOR WORKS
- PROVIDE 4/8" DIAMETER STIFFENERS IN FINISHED WOODEN ROOF DECKS TYP. @ FINISH LOCATIONS

**MATERIALS LEGEND**

- EXPOSED CONCRETE FOUNDATION
- MODULAR FACE BRICK - COLOR WHITE
- PRE-FINISH PANELING SYSTEM - COLOR BY
- STOCK 48" X 120" HORIZONTAL DWP
- PRE-FINISH ALUMINUM COMPOUND COLOR WHITE
- PRE-FINISH ALUMINUM COMING LIGHT W/ ROUGH FOOT AND STAIN MAT
- NON-COMBUSTIBLE METAL CANOPY SYSTEM
- TEMPERED GLASS UNITS SET @ 6" @ 6"
- EXTERNAL LIGHT FIXTURE
- ELECTRICAL SERVICE DROP
- MS WATER LOCATION
- NON-COMBUSTIBLE METAL BALCONY
- STOCK 48" X 120" HORIZONTAL DWP
- STOCK 48" X 120" HORIZONTAL DWP
- STOCK 48" X 120" HORIZONTAL DWP
- NON-COMBUSTIBLE METAL CANOPY SYSTEM
- PRE-FINISH ALUMINUM COMING LIGHT W/ ROUGH FOOT AND STAIN MAT
- TEMPERED GLASS UNITS SET @ 6" @ 6"

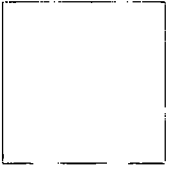


1 EAST ELEVATION  
7/21

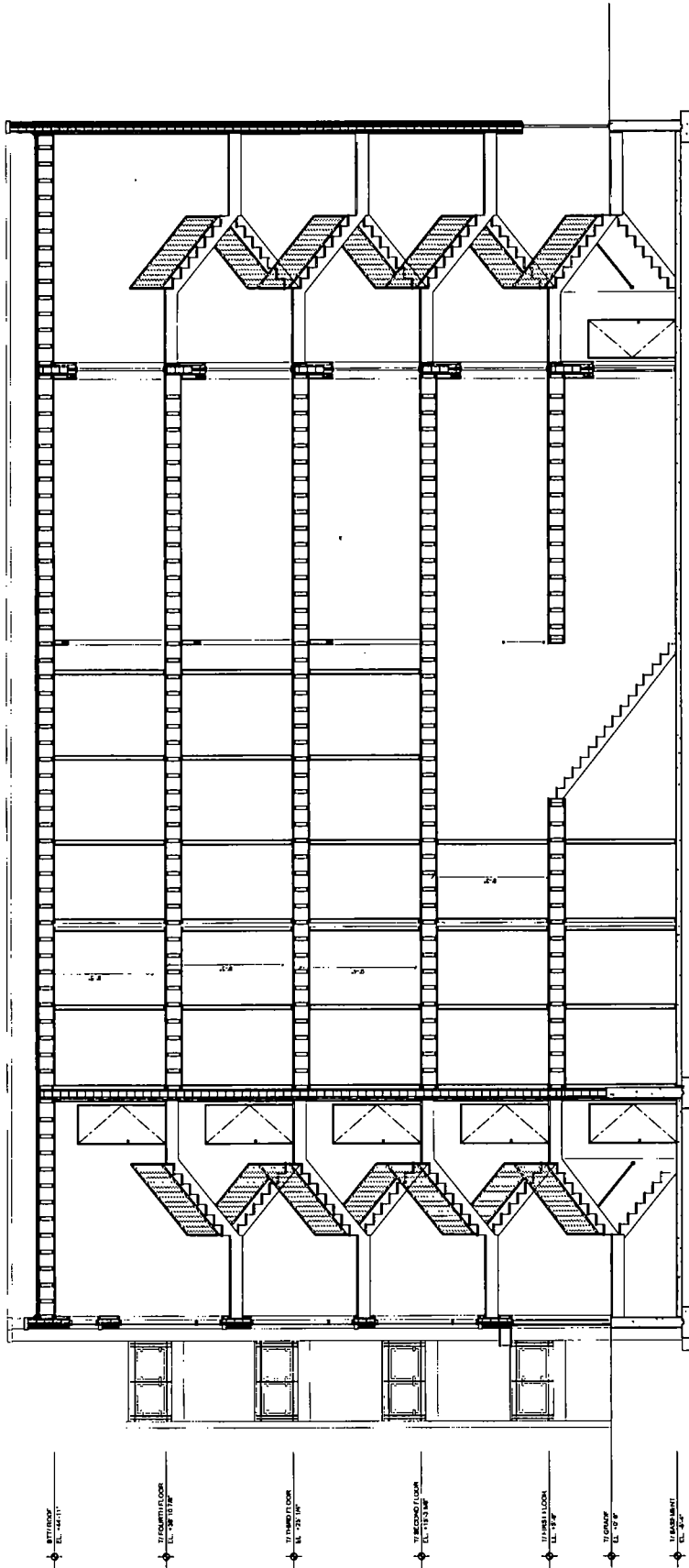
<p><b>noah properties</b></p> <p>1811 N. LA SALLE ST., SUITE 200 CHICAGO, IL 60610</p>	<h2>2814 North Ave.</h2> <h3>Chicago, Illinois</h3>	<p><b>X I O S</b></p> <p>ARCHITECTURE</p> <p>1811 N. LA SALLE ST., SUITE 200 CHICAGO, IL 60610 TEL: 312.784.1315</p>	<p><b>BILL C. KOKALIAS</b> ARCHITECT</p> <p>1811 N. LA SALLE ST., SUITE 200 CHICAGO, IL 60610 TEL: 312.784.1315</p>	<p>BOOK 440 PAGE 10 DATE 11/11/11</p>
<p>PROJECT: EAST ELEVATION</p>		<p>DATE: 11/11/11</p>		<p>SCALE: 1/8" = 1'-0"</p>
<p>NO. DATE DESCRIPTION</p>		<p>REVISIONS</p>		
<p>COMMENTS</p>		<p>PROJECT: 2814 NORTH AVENUE, CHICAGO, ILLINOIS</p>		

**A2.1**





FINAL FOR PUBLICATION



1 BUILDING SECTION  
 3/30 Date: 11/17

<p>CONTRACTOR          THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.</p>	<p>NO DATE          1 11/17/17</p>	<p>DESCRIPTION          Building Section</p>	<p>OWNER          noah          properties          2814 N. NORTH AVE.          CHICAGO, IL 60641</p>	<p>PROJECT          2814 North Ave.          Chicago, Illinois</p>	<p>ARCHITECT          X I O S          ARCHITECTURE          1800 N. LAUREL ST. SUITE 200          CHICAGO, IL 60610          PH: 312.261.2300          WWW.XIOSARCHITECT.COM</p>	<p>REGISTERED ARCHITECT          BILL C. KORALIAS          158 N. LAUREL ST. SUITE 200          CHICAGO, IL 60610          PH: 312.261.2300          WWW.XIOSARCHITECT.COM</p>	<p>REGISTERED ARCHITECT          BILL C. KORALIAS          158 N. LAUREL ST. SUITE 200          CHICAGO, IL 60610          PH: 312.261.2300          WWW.XIOSARCHITECT.COM</p>	<p>REGISTERED ARCHITECT          BILL C. KORALIAS          158 N. LAUREL ST. SUITE 200          CHICAGO, IL 60610          PH: 312.261.2300          WWW.XIOSARCHITECT.COM</p>	<p>REGISTERED ARCHITECT          BILL C. KORALIAS          158 N. LAUREL ST. SUITE 200          CHICAGO, IL 60610          PH: 312.261.2300          WWW.XIOSARCHITECT.COM</p>
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A3.0

BOX 440