



City of Chicago



O2018-8031

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	10/31/2018
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 5-H at 2332-2334 N Elston Ct - App No. 19838T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

19838-T1
INTRO DATE
OCT 31, 2018

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1: Title 17 of the Municipal Code of Chicago, Chicago Zoning Ordinance, is amended by changing all the B2-2 Neighborhood Mixed-Use District symbols and indications as shown on Map No. 5-H in the area bounded by:

North Elston Court;

a line 100 feet southeast of and parallel to the southeast line of North Winchester Avenue;

the public alley next southwest of and parallel to North Elston Court;

a line 50 feet southeast of and parallel to the southeast line of North Winchester Avenue

to those of B2-2 Neighborhood Mixed-Use District, which is hereby established in the area described.

SECTION 2: This ordinance shall take effect upon its passage and due publication.

Common Address(es): 2332-2334 North Elston Court

NARRATIVE AND PLANS

Re: 2332–2334 North Elston Court

The Applicant seeks a change in zoning from B2-2 Neighborhood Mixed-Use District (Type 1) to B2-2 Neighborhood Mixed-Use District (Type 1), as amended.

The subject property has been a residence since 1889. The proposal is to construct two new multi-unit residential buildings, each with 3 dwelling units and three parking spaces, to replace the existing residential building.

**Entire Site
2332–2334 North Elston Court**

Entire Site Lot Area: (The 'of record' dimensions are 50 feet x 125 feet; the survey dimensions are also 50 feet x 125 feet)	6,250 square feet
Entire Site Floor Area Ratio: (Total 13,668 square feet building area)	2.2

**Zoning Lot 1
(North Zoning Lot)
2334 North Elston Court**

Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Lot Area:	3,125 square feet
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Floor Area Ratio: (6,864 square feet building area)	2.2
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Dwelling Units:	3
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Minimum Lot Area Per Dwelling Unit:	1,040
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Off-Street Parking:	3 parking spaces
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Front Setback:	0 feet 0 inches
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Side Setback (northwest side yard):	3 feet 0 inches
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Side Setback (southeast side yard):	0 feet 0 inches
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Rear Setback:	30 feet 0 inches
Zoning Lot 1 (North Zoning Lot / 2334 N. Elston Ct.) Building Height: (Per § 17-17-0311, and excluding allowable rooftop features.)	44 feet 6 inches

**Zoning Lot 2
(South Zoning Lot)
2332 North Elston Court**

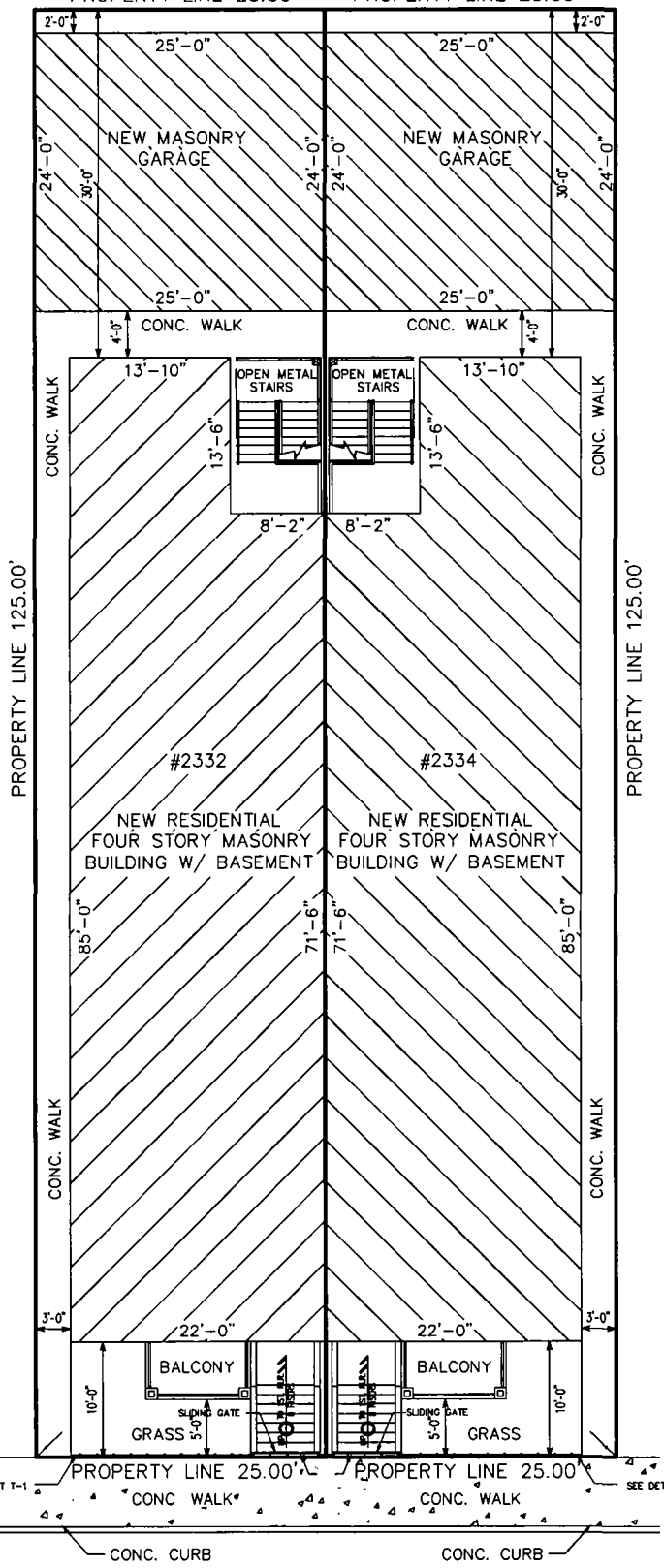
Zoning Lot 2 (South Zoning Lot / 2332 N. Elston Ct.) Lot Area:	3,125 square feet
Zoning Lot 2 (South Zoning Lot / 2332 N. Elston Ct.) Floor Area Ratio: (6,864 square feet building area)	2.2
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Zoning Lot 2 (South Zoning Lot / 2332 N. Elston Ct.) Rear Setback:	30 feet 0 inches
Zoning Lot 2 (South Zoning Lot / 2332 N. Elston Ct.) Building Height: (Per § 17-17-0311, and excluding allowable rooftop features.)	44 feet 6 inches

16' PUBLIC ALLEY

16' PUBLIC ALLEY

PROPERTY LINE 25.00'

PROPERTY LINE 25.00'



N. ELSTON AVE.



SITE PLAN
SCALE: N.T.S.



#	DATE	DESCRIPTION

**NEW
RESIDENTIAL
MASONRY
BUILDING**

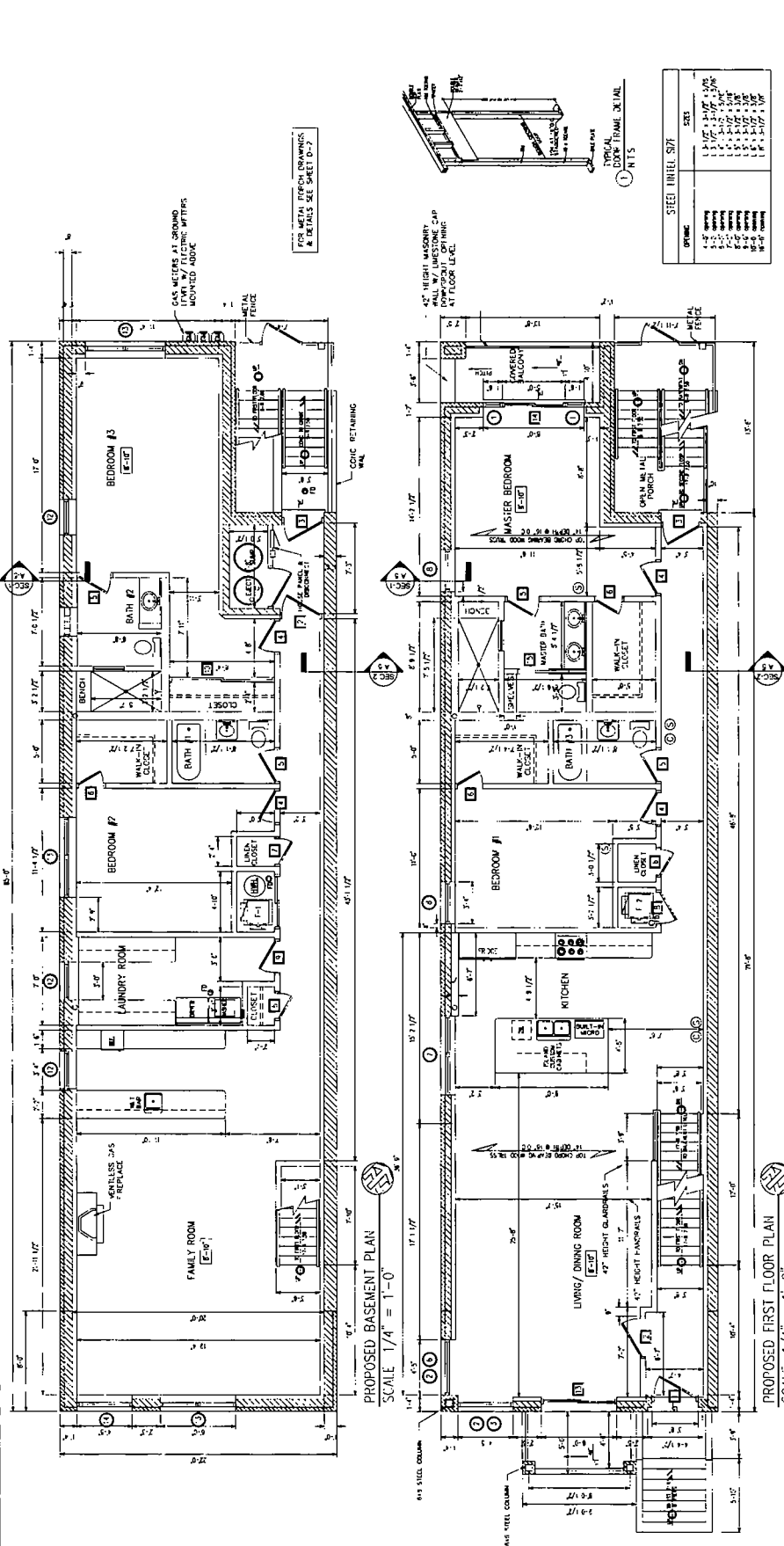
2332 N. ELSTON AVE.
CHICAGO, IL 60614

DATE 4/2/2018

DRAWN BY JIP

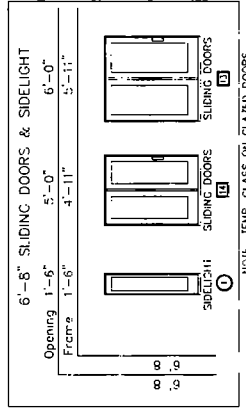
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PROJECT #



PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



6'-8" SLIDING DOORS & SIDELIGHT
Opening: 1'-6" 5'-0" 6'-0"
Frame: 1'-6" 4'-11" 5'-11"

WALL CONSTRUCTION
SEE ARCHITECT SPECIFICATIONS FOR THE EXACT
DETAILS OF THE WALL CONSTRUCTION.
ALL WALLS ARE 8" THICK.
SEE STRUCTURAL DRAWINGS FOR WALL
CONSTRUCTION DETAILS.
SEE FINISHES AND FRAME SCHEDULES FOR
WALL FINISHES AND FRAME SCHEDULES.
SEE FINISHES AND FRAME SCHEDULES FOR
WALL FINISHES AND FRAME SCHEDULES.
SEE FINISHES AND FRAME SCHEDULES FOR
WALL FINISHES AND FRAME SCHEDULES.

ELECTRICAL LEGEND

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- INTERCOM/VIDEO/ALARM

DOOR SCHEDULE

NO.	SIZE	DOOR	FRAME	FINISH	REMARKS
1	3'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
2	3'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
3	3'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
4	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
5	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
6	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
7	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
8	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
9	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
10	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
11	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
12	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
13	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
14	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1
15	2'-0" x 6'-8"	S.C. WOOD	WOOD	WOOD	LOOKSET, BL. COORD. 1

WINDOW SCHEDULE

NO.	SIZE	FRAME	FINISH	REMARKS
1	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
2	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
3	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
4	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
5	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
6	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
7	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
8	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
9	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
10	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
11	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
12	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
13	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
14	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD
15	1'-6" x 6'-8"	S.C. WOOD	WOOD	WOOD

- ALL WINDOW DOORS TO HAVE SHOWN WINDOW FINISHES. FINISHES TO BE WATERPROOFING AT ALL JOISTS & FLOOR JOISTS.
- ALL SET DOORS TO OPERATE WITHOUT THE USE OF A KEY FROM THE OPERATOR'S END.
- ALL HARDWARE TO BE COMMERCIAL GRADE HEAVY DUTY.
- PROVIDE LATCH CLIP ON ALL EXTERIOR DOORS. VERIFY BY OWNER OF ANY ADDITIONAL HARDWARE.
- UNLESS NOTED OTHERWISE, ALL DOORS TO BE FACTORY AIR FLOW.

WINDOWS COMPANY BRAND OR "EQUA OR EQUAL" OR EQUAL
VERIFY OPERATING BY INSTALLING OTHER MANUFACTURERS

FOR APPROVAL STAMPS

IPSA
Architecture & Design

ARCHITECTURAL CONSTRUCTION SERVICES
1188 WEST GRAND AVENUE
CHICAGO, ILLINOIS 60642
PHONE # (312) 243-2500
FAX # (312) 243-9970

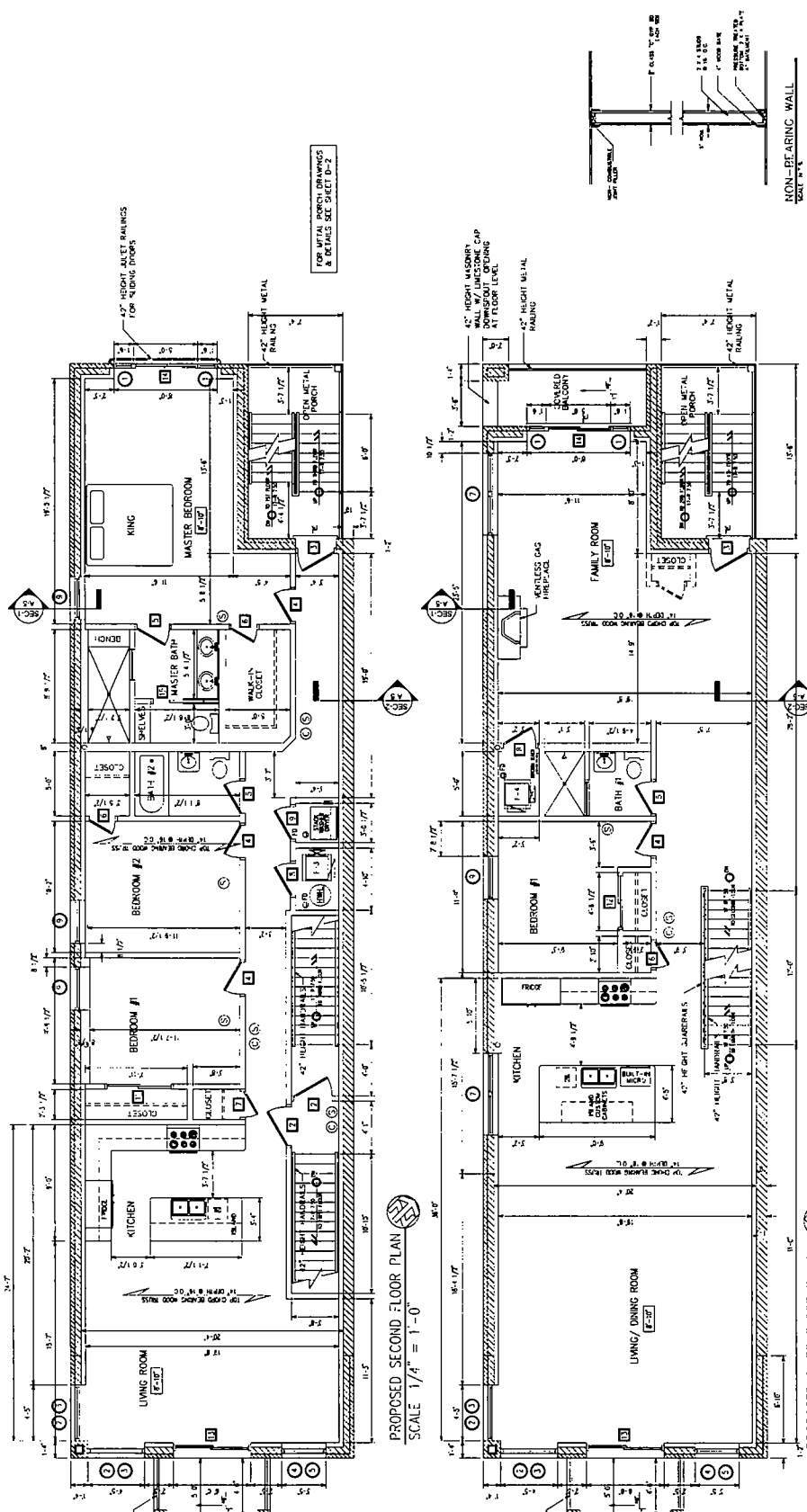
NO.	DATE	DESCRIPTION	REVISIONS

**NEW
RESIDENTIAL
MASONRY
BUILDING**

2332 N ELSTON AVE
CHICAGO, IL 60614

DATE: 4/2/2008
DRAWN BY: JP
CHECKED BY: SV
PROJECT #

A-2



PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

PROPOSED THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL LEGEND

⊙	CERAMIC MONITOR DETECTOR
⊙	MIXED USE LINE INTERCONNECTED, A/R-WEMPED

WALL CONSTRUCTION

SEE SPECIFICATIONS FOR THE FLOOR FINISHES AND WALLS TO BE CONSTRUCTED IN THIS CASE.

SEE SPECIFICATIONS FOR THE FLOOR FINISHES AND WALLS TO BE CONSTRUCTED IN THIS CASE.

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DOOR SCHEDULE

NO.	REL.	DOOR	FRAME	FINISH	SWINGS
1	3'-4" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
2	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
3	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
4	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
5	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
6	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
7	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
8	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
9	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
10	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
11	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
12	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
13	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
14	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP
15	3'-0" x 6'-0"	S.C. WOOD	WOOD	WOOD	LOCKSET, BLANK, REVERSE, RHT. O-ZER, 1 HP

WINDOW SCHEDULE

NO.	SIZE	BL. HT.	FRAME	FINISH	SWINGS
1	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
2	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
3	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
4	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
5	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
6	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
7	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
8	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
9	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
10	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
11	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
12	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
13	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
14	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2
15	1'-0" x 3'-0"	3'-0"	WOOD	WOOD	FIXED, LOCATED ABOVE WINDOW # 1 & 2

WALLS
DOORS

- All interior doors to have "knockers" and "locks".
- All exterior doors to have "knockers" and "locks".
- All windows to be conventional double-hung unit.
- Provide lock doors on all entry doors, restrooms, closets, etc. for any additional windows.
- Use heavy-duty lock on all exterior doors.

WINDOW SCHEDULE BASED ON SIZES OF FRAME OR GLASS. VERIFY OPENING IF INSTALLING OTHER MANUFACTURERS.

ONE APPROVAL STAMPS

IPSA
Architecture & Design

ARCHITECTS & CONSTRUCTION SERVICES
1165 WEST GRAND AVENUE
CHICAGO, ILLINOIS 60642
PHONE # (312) 243-2500
FAX # (312) 243-9970

**NEW
RESIDENTIAL
MASONRY
BUILDING**

2332 N ELSTON AVE.
CHICAGO, IL 60614

DATE 4/2/2018

DRAWN BY JP

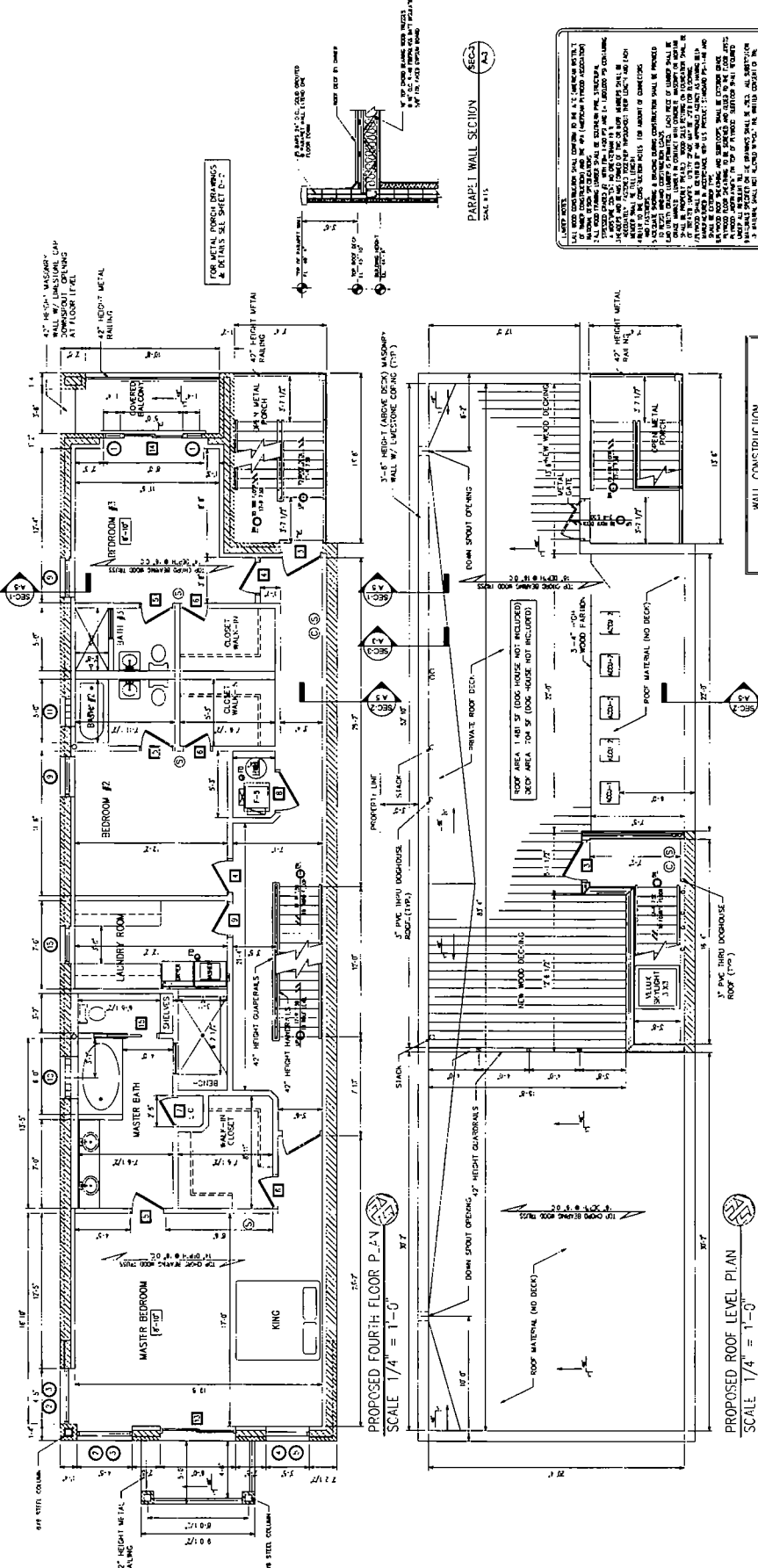
CHECKED BY SV

PROJECT #

SHEET #

A-3

#	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS
4		ISSUED FOR PERMITS
5		ISSUED FOR PERMITS
6		ISSUED FOR PERMITS
7		ISSUED FOR PERMITS
8		ISSUED FOR PERMITS
9		ISSUED FOR PERMITS
10		ISSUED FOR PERMITS
11		ISSUED FOR PERMITS
12		ISSUED FOR PERMITS
13		ISSUED FOR PERMITS
14		ISSUED FOR PERMITS
15		ISSUED FOR PERMITS



LIFE SAFETY NOTES

- ALL LIFE SAFETY DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

LIFE SAFETY NOTES

- ALL LIFE SAFETY DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

DESIGN LOADS

DEAD LOAD (DL) = 10 PSF
LIVE LOAD (LL) = 40 PSF
WIND LOAD (WL) = AS PER CODE
SEISMIC LOAD (SL) = AS PER CODE

ELECTRICAL LEGEND

○ SURGE PROTECTOR
□ GROUND BONDING
○ GROUND BONDING

WALL CONSTRUCTION

SEE DETAIL WALL SECTION FOR THE AREA OF THE WALL. THE WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE ACI 308R-11 CONCRETE MANUAL.

DOOR SCHEDULE

NO.	SIZE	FINISH	TYPE	REMARKS
1	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
2	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
3	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
4	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
5	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
6	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
7	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
8	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
9	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
10	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
11	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
12	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
13	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
14	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR
15	3'-0" x 6'-0"	WOOD	WOOD	WOOD DOOR

WINDOW SCHEDULE

NO.	SIZE	FINISH	TYPE	REMARKS
1	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
2	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
3	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
4	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
5	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
6	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
7	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
8	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
9	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
10	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
11	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
12	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
13	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
14	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW
15	3'-0" x 6'-0"	WOOD	WOOD	WOOD WINDOW

1. ALL WINDOW SIZES TO FACE UNLESS OTHERWISE NOTED.
2. ALL WINDOW SIZES TO FACE UNLESS OTHERWISE NOTED.
3. ALL WINDOW SIZES TO FACE UNLESS OTHERWISE NOTED.
4. PROVIDE LATCH OR STOP ON ALL EXTERIOR DOORS.
5. UNLESS OTHERWISE NOTED, ALL DOORS SHALL BE 2'-0" HIGH.

WINDOW COMPANY BASED ON PELLA OR EQUAL OR EQUAL.
VERIFY ALL WINDOW SIZES AND TYPES WITH MANUFACTURER.

REVISIONS	DATE	DESCRIPTION
1	08/08/04	ISSUED FOR PERMITS
2	08/10/04	REVISED PER COMMENTS
3	08/11/04	REVISED PER COMMENTS
4	08/12/04	REVISED PER COMMENTS
5	08/13/04	REVISED PER COMMENTS
6	08/14/04	REVISED PER COMMENTS
7	08/15/04	REVISED PER COMMENTS
8	08/16/04	REVISED PER COMMENTS
9	08/17/04	REVISED PER COMMENTS
10	08/18/04	REVISED PER COMMENTS
11	08/19/04	REVISED PER COMMENTS
12	08/20/04	REVISED PER COMMENTS
13	08/21/04	REVISED PER COMMENTS
14	08/22/04	REVISED PER COMMENTS
15	08/23/04	REVISED PER COMMENTS
16	08/24/04	REVISED PER COMMENTS
17	08/25/04	REVISED PER COMMENTS
18	08/26/04	REVISED PER COMMENTS
19	08/27/04	REVISED PER COMMENTS
20	08/28/04	REVISED PER COMMENTS
21	08/29/04	REVISED PER COMMENTS
22	08/30/04	REVISED PER COMMENTS
23	08/31/04	REVISED PER COMMENTS
24	09/01/04	REVISED PER COMMENTS
25	09/02/04	REVISED PER COMMENTS
26	09/03/04	REVISED PER COMMENTS
27	09/04/04	REVISED PER COMMENTS
28	09/05/04	REVISED PER COMMENTS
29	09/06/04	REVISED PER COMMENTS
30	09/07/04	REVISED PER COMMENTS
31	09/08/04	REVISED PER COMMENTS
32	09/09/04	REVISED PER COMMENTS
33	09/10/04	REVISED PER COMMENTS
34	09/11/04	REVISED PER COMMENTS
35	09/12/04	REVISED PER COMMENTS
36	09/13/04	REVISED PER COMMENTS
37	09/14/04	REVISED PER COMMENTS
38	09/15/04	REVISED PER COMMENTS
39	09/16/04	REVISED PER COMMENTS
40	09/17/04	REVISED PER COMMENTS
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59	10/06/04	REVISED PER COMMENTS
60	10/07/04	REVISED PER COMMENTS
61	10/08/04	REVISED PER COMMENTS
62	10/09/04	REVISED PER COMMENTS
63	10/10/04	REVISED PER COMMENTS
64	10/11/04	REVISED PER COMMENTS
65	10/12/04	REVISED PER COMMENTS
66	10/13/04	REVISED PER COMMENTS
67	10/14/04	REVISED PER COMMENTS
68	10/15/04	REVISED PER COMMENTS
69	10/16/04	REVISED PER COMMENTS
70	10/17/04	REVISED PER COMMENTS
71	10/18/04	REVISED PER COMMENTS
72	10/19/04	REVISED PER COMMENTS
73	10/20/04	REVISED PER COMMENTS
74	10/21/04	REVISED PER COMMENTS
75	10/22/04	REVISED PER COMMENTS
76	10/23/04	REVISED PER COMMENTS
77	10/24/04	REVISED PER COMMENTS
78	10/25/04	REVISED PER COMMENTS
79	10/26/04	REVISED PER COMMENTS
80	10/27/04	REVISED PER COMMENTS
81	10/28/04	REVISED PER COMMENTS
82	10/29/04	REVISED PER COMMENTS
83	10/30/04	REVISED PER COMMENTS
84	10/31/04	REVISED PER COMMENTS
85	11/01/04	REVISED PER COMMENTS
86	11/02/04	REVISED PER COMMENTS
87	11/03/04	REVISED PER COMMENTS
88	11/04/04	REVISED PER COMMENTS
89	11/05/04	REVISED PER COMMENTS
90	11/06/04	REVISED PER COMMENTS
91	11/07/04	REVISED PER COMMENTS
92	11/08/04	REVISED PER COMMENTS
93	11/09/04	REVISED PER COMMENTS
94	11/10/04	REVISED PER COMMENTS
95	11/11/04	REVISED PER COMMENTS
96	11/12/04	REVISED PER COMMENTS
97	11/13/04	REVISED PER COMMENTS
98	11/14/04	REVISED PER COMMENTS
99	11/15/04	REVISED PER COMMENTS
100	11/16/04	REVISED PER COMMENTS

**NEW
RESIDENTIAL
MASONRY
BUILDING**

GENERAL NOTES
DESIGN LOADS

DESIGN LOADS:
 FLOOR: 100 PSF
 ROOF: 20 PSF
 WIND: AS PER IBC
 SEISMIC: AS PER IBC

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

EXISTING CONDITIONS:
 1. ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

7. IF DIMENSIONS & CONDITIONS IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 9. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 10. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

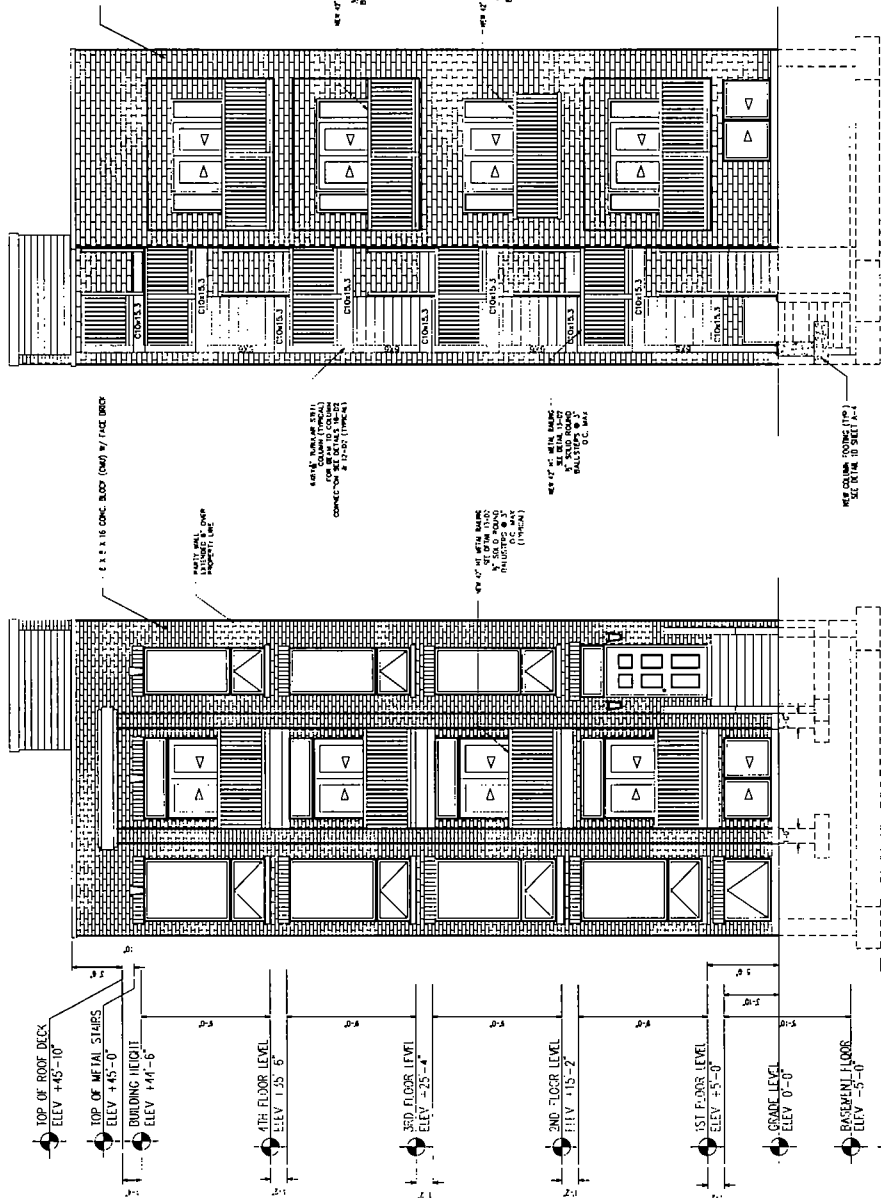
CONCRETE:
 1. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

MASONRY:
 1. ALL MASONRY SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

STEEL:
 1. ALL STEEL SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

WOOD:
 1. ALL WOOD SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.

1. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL MAINTAIN ALL FIELD CONDITIONS AND TOLERANCES.



SOUTHWEST ELEVATION
 SCALE 1/4"=1'-0"

NORTHEAST ELEVATION
 SCALE 1/4"=1'-0"

100% APPROVAL STAMPS



ARCHITECT & CONSTRUCTION SERVICES
1185 WEST GRAND AVENUE
CHICAGO, ILLINOIS 60642
PHONE # (312) 243-2500
FAX # (312) 243-9970

SEAL

REVISONS	#	DATE	DESCRIPTION
	1		ISSUES - ZONING RESPONSE

NEW RESIDENTIAL MASONRY BUILDING

2332 N. ELSTON AVE
CHICAGO, IL 60614

DATE: 4/7/2018

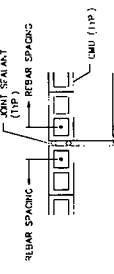
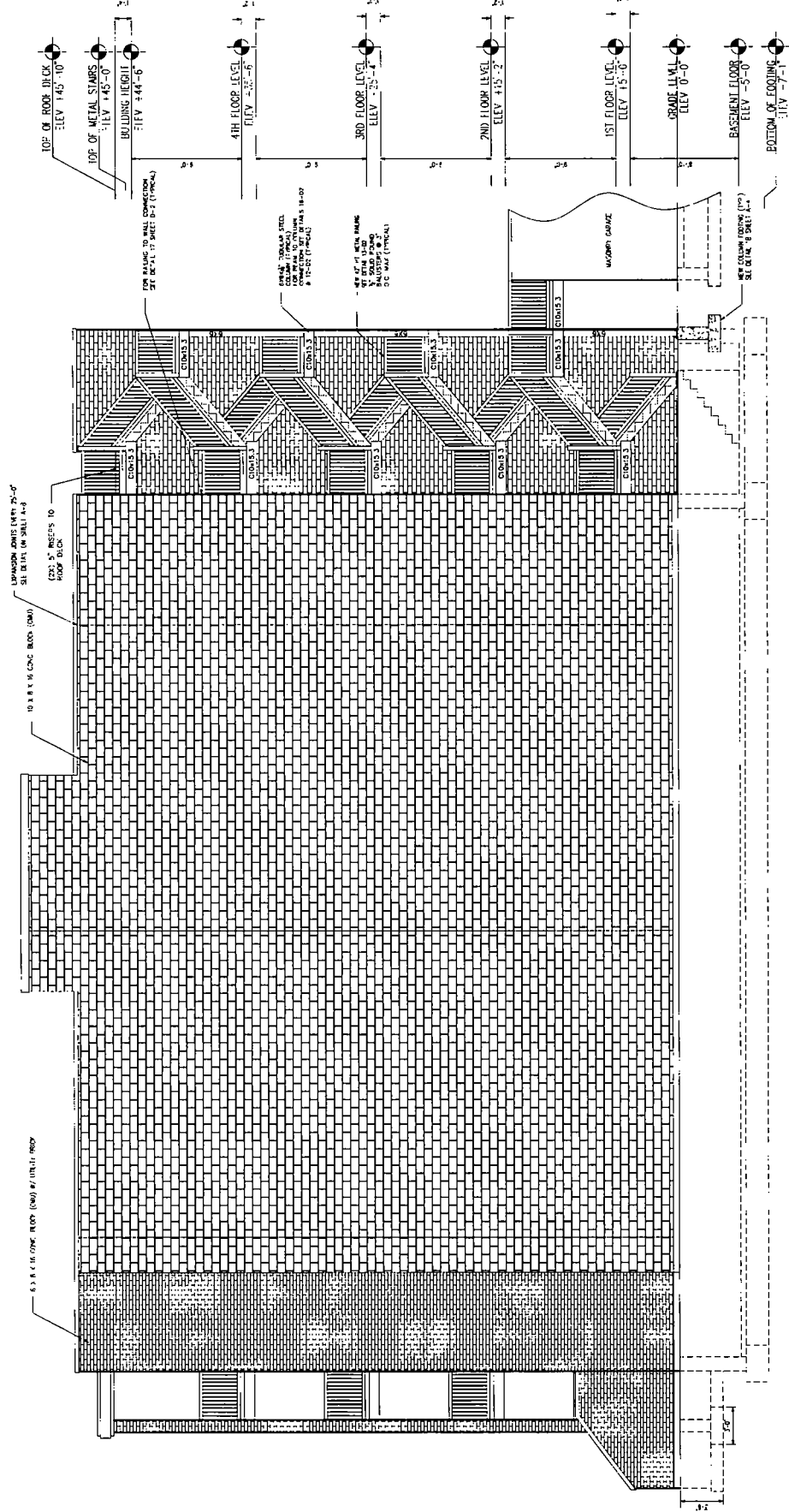
DRAWN BY: J.P.

IN CHARGE: S.M.

PROJECT #

SHEET

A-8



- NOTES:**
1. COLLARS THAT CORNER 1 WALL JOINTS SHALL BE PLACED ON THE JOINT ON THE SOFT AND MORTAR JOINT ON THE OTHER SIDE.
 2. WALL SECTIONS WITHOUT COLLARS AT INTERVALS NO GREATER THAN 4'-0".
 3. EXPANSION JOINTS SHALL BE FILLED WITH FLOORBALL SEALANT. COLOR TO MATCH TO GROUT COLOR.

BLOCK WALL EXPANSION JOINT
NOT TO SCALE

NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

108 APPROVAL STAMPS

IPSA
Architecture & Design

ARCHITECTS & CONSTRUCTION SERVICES
1166 WEST GRAND AVENUE
CHICAGO, ILLINOIS 60642
PHONE # (312) 243-2500
FAX # (312) 243-9970

**NEW
RESIDENTIAL
MASONRY
BUILDING**

2334 N ELSTON AVE
CHICAGO, IL 60614

DATE 4/2/2018

DRAWN BY J.P.

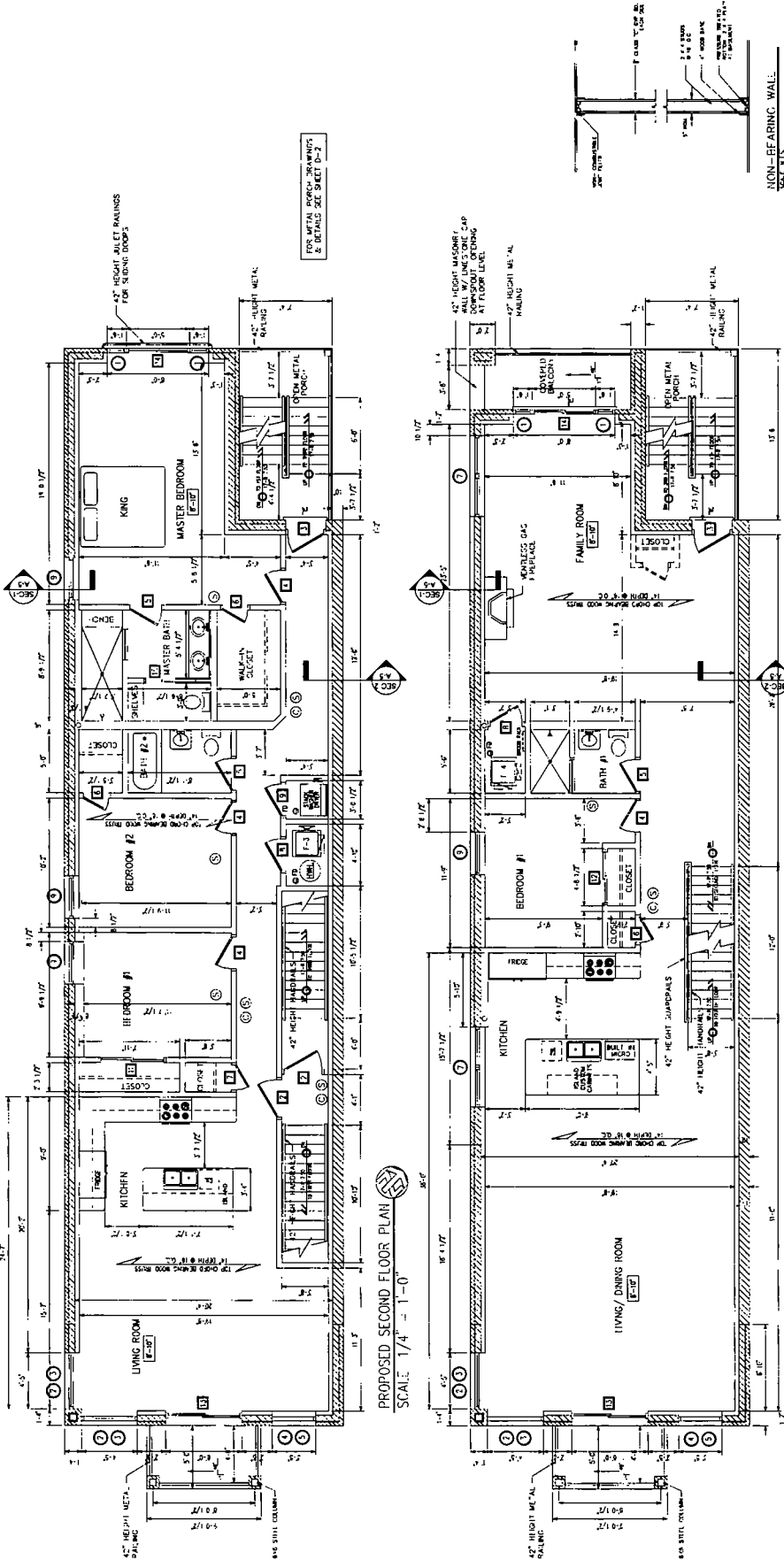
CHECKED BY S.M.

PROJECT #

31-101

A-2

#	REVISIONS	DATE	DESCRIPTION
1	ISSUE FOR PERMITS	04/02/18	ISSUE FOR PERMITS



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

⊕	CIRCUIT BREAKER
⊖	GROUNDING BUS
⊕	SWITCH
⊖	RECEPTACLE
⊕	OUTLET
⊖	SWITCH
⊕	SWITCH
⊖	SWITCH

WALL CONSTRUCTION

1	EXTERIOR WALL	12" CMU WITH 1" EPS INSULATION AND 1/2" GYP BOARD FINISH
2	INTERIOR WALL	5/8" GYP BOARD ON 2x4 STUDS
3	CEILING	5/8" GYP BOARD ON 2x4 JOISTS
4	FLOOR	1 1/2" GYP BOARD ON 2x8 JOISTS
5	STAIRS	1 1/2" GYP BOARD ON 2x8 JOISTS
6	POUR CONCRETE	4" THICK
7	CONCRETE	4" THICK
8	CONCRETE	4" THICK
9	CONCRETE	4" THICK
10	CONCRETE	4" THICK
11	CONCRETE	4" THICK
12	CONCRETE	4" THICK
13	CONCRETE	4" THICK
14	CONCRETE	4" THICK
15	CONCRETE	4" THICK

DOOR SCHEDULE

NO.	SIZE	SWEEP	FRAME	FINISH	REMARKS
1	3'-0" x 6'-8"	1/2" x 1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
2	3'-0" x 6'-8"	1/2" x 1/2"	S.C. WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
3	3'-0" x 6'-8"	1/2" x 1/2"	S.C. WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
4	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
5	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
6	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
7	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
8	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
9	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
10	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
11	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
12	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
13	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
14	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
15	3'-0" x 6'-8"	1/2" x 1/2"	METAL	METAL	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR

WINDOW SCHEDULE

NO.	SIZE	SL. HT.	FRAME	FINISH	REMARKS
1	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
2	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
3	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
4	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
5	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
6	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
7	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
8	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
9	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
10	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
11	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
12	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
13	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
14	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR
15	3'-0" x 6'-8"	1/2"	WOOD	WOOD	LOCKSET, BEARING, REPAIRS, SET OTHER, 1 HR

- 1. ALL EXTERIOR DOORS TO HAVE IMPACT RESISTANT FINISHES, IMPACT RESISTANT.
- 2. ALL EXTERIOR DOORS TO BE OPERATED MANUALLY. NO USE OF A KEY FROM THE OUTSIDE OF DOORS.
- 3. ALL WINDOWS TO BE CONVENTIONAL GLAZING ONLY.
- 4. PROVIDE HARD GLAZING ON ALL EXTERIOR DOORS, WINDOWS, AND PARTITIONS FOR ANY ADDITIONAL HARDWARE.
- 5. UNLOCKED DOORS TO BE FACED IN THE UPWARD DIRECTION.

WINDOW SCHEDULE BASED ON TYPICAL WINDOW SCHEDULE. ALL WINDOW SCHEDULES TO BE BASED ON TYPICAL WINDOW SCHEDULE. ALL WINDOW SCHEDULES TO BE BASED ON TYPICAL WINDOW SCHEDULE. ALL WINDOW SCHEDULES TO BE BASED ON TYPICAL WINDOW SCHEDULE.

DOB APPROVAL STAMPS

IPSA

Architecture & Design

ARCHITECTS & CONSTRUCTION SERVICES
 1188 WEST GRAND AVENUE
 CHICAGO, ILLINOIS 60642
 PHONE # (312) 243-2500
 FAX # (312) 243-9970

NEW RESIDENTIAL MASONRY BUILDING

2334 N. ELSTON AVE.
 CHICAGO, IL 60614

DATE 4/2/2018

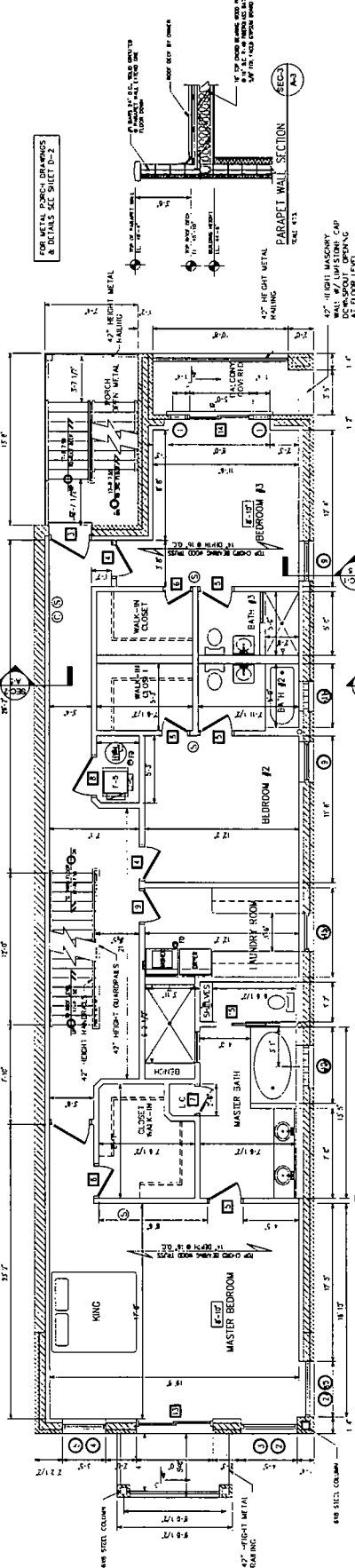
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CHECKED BY SM

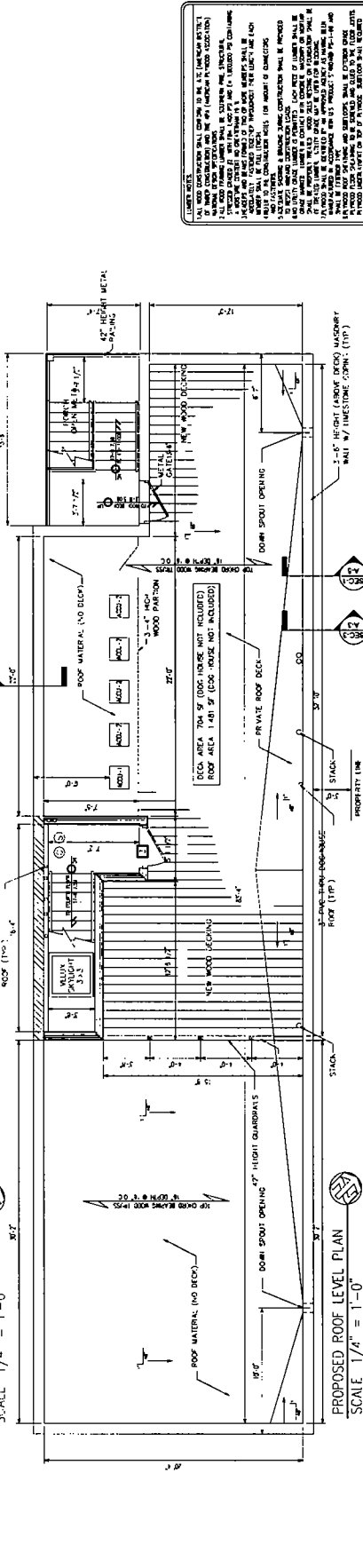
PROJECT #

34-1

A-3



PROPOSED FOURTH FLOOR PLAN
 SCALE 1/4" = 1'-0"



PROPOSED ROOF LEVEL PLAN
 SCALE 1/4" = 1'-0"

GENERAL NOTES

- SEE ARCHITECT'S NOTES FOR ALL MASONRY CONSTRUCTION.
- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.
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- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.

LIFE SAFETY NOTES

- SEE ARCHITECT'S NOTES FOR ALL MASONRY CONSTRUCTION.
- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.
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- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.

DESIGN LOADS

DEAD LOAD	15 PSF
LIVE LOAD	40 PSF
WIND LOAD	AS PER CODE
SEISMIC LOAD	AS PER CODE

ELECTRICAL LEGEND

- ⊙ CROWN MOULDING
- ⊙ SINGLE REFLECTOR
- ⊙ MULTIPLE REFLECTOR

WALL CONSTRUCTION

- SEE ARCHITECT'S NOTES FOR THE MASONRY CONSTRUCTION.
- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.
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- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.
- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.

NO.	SIZE	TYPE	REMARKS
1	3'-4" x 8'-0" x 1'-0"	WOOD	DOORSET (KITCHEN)
2	3'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (BATHROOM)
3	3'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (BEDROOM)
4	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (HALL)
5	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
6	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
7	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
8	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
9	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
10	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
11	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
12	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
13	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
14	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
15	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)

NO.	SIZE	TYPE	REMARKS
1	3'-4" x 8'-0" x 1'-0"	WOOD	DOORSET (KITCHEN)
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5	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
6	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
7	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
8	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
9	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
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13	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
14	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)
15	2'-0" x 8'-0" x 1'-0"	WOOD	DOORSET (CLOSET)

- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.
- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.
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- ALL MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CHICAGO BUILDING CODE.

GENERAL NOTES

DESIGN LOADS

DEAD LOADS: 10 PSF
LIVE LOADS: 30 PSF
WIND LOADS: AS PER IBC
SEMI-RIGID JOINTS: 2 PSF
SOIL LOADS: 2 PSF

2. SPECIAL LOADS: PER IBC PER SUPPLY MATERIALS, FROM WINDY AND IMPACT LOADS. ALL LOADS TO BE APPLIED TO THE MOST UNFAVORABLE POSITION. SEE IBC PER SUPPLY MATERIALS FOR MORE INFORMATION.

3. FOUNDATION CONDITIONS: THE CLIENT HAS ADVISED THAT THE FOUNDATION CONDITIONS ARE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE FOUNDATION CONDITIONS AND REPORT TO THE ARCHITECT STARTING THE JOB.

4. CONSTRUCTION CONDITIONS: THE CLIENT HAS ADVISED THAT THE CONSTRUCTION CONDITIONS ARE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE CONSTRUCTION CONDITIONS AND REPORT TO THE ARCHITECT STARTING THE JOB.

5. CONCRETE AND MASONRY: ALL CONCRETE AND MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI AND TMS CODES. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI AND TMS CODES. ALL MASONRY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TMS CODES.

6. FOUNDATIONS: ALL FOUNDATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI AND TMS CODES. ALL FOUNDATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACI AND TMS CODES.

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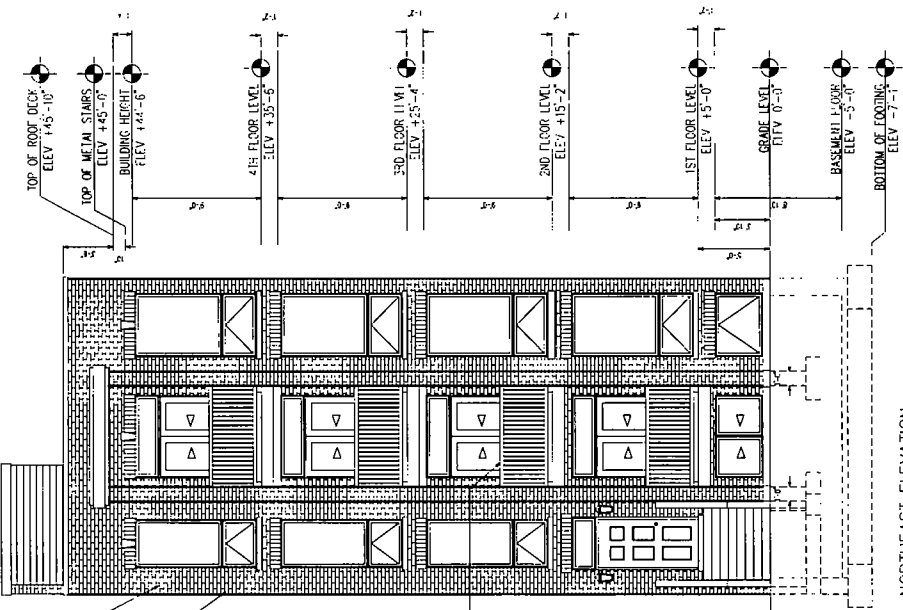
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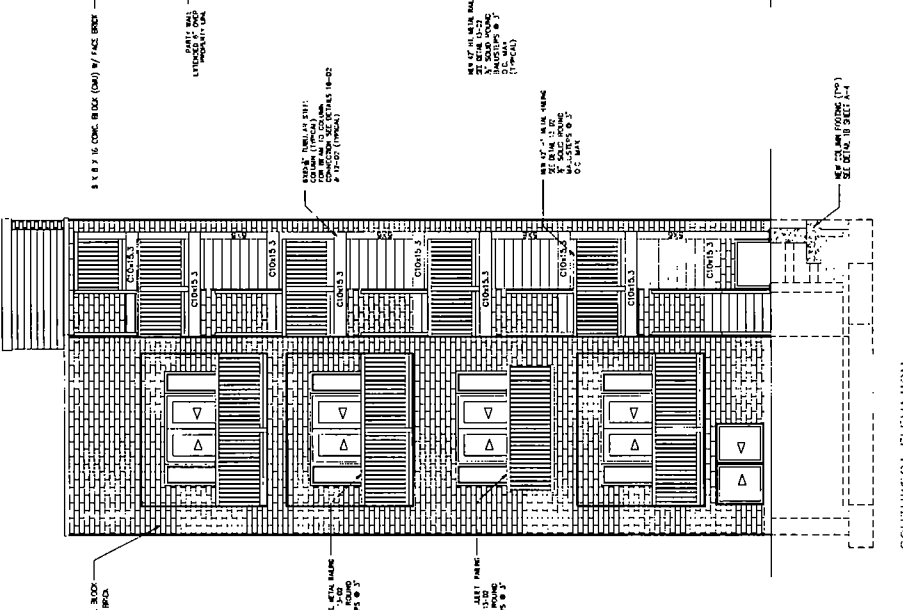
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NORTHEAST ELEVATION
SCALE: 1/4"=1'-0"



SOUTHWEST ELEVATION
SCALE: 1/4"=1'-0"

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USB APPROVAL STAMPS

IPSA
Architecture & Design

ARCHITECTS & CONSTRUCTION SERVICES
1188 WEST GRAND AVENUE
CHICAGO, ILLINOIS 60642
PHONE # (312) 243-2500
FAX # (312) 243-9970

SCALE

#	DATE	DESCRIPTION
1	10/20/18	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
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9		
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**NEW
RESIDENTIAL
MASONRY
BUILDING**

2334 N ELSTON AVE.
CHICAGO, IL 60614

DATE: 4/2/2018

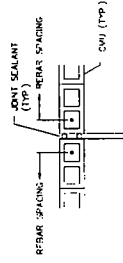
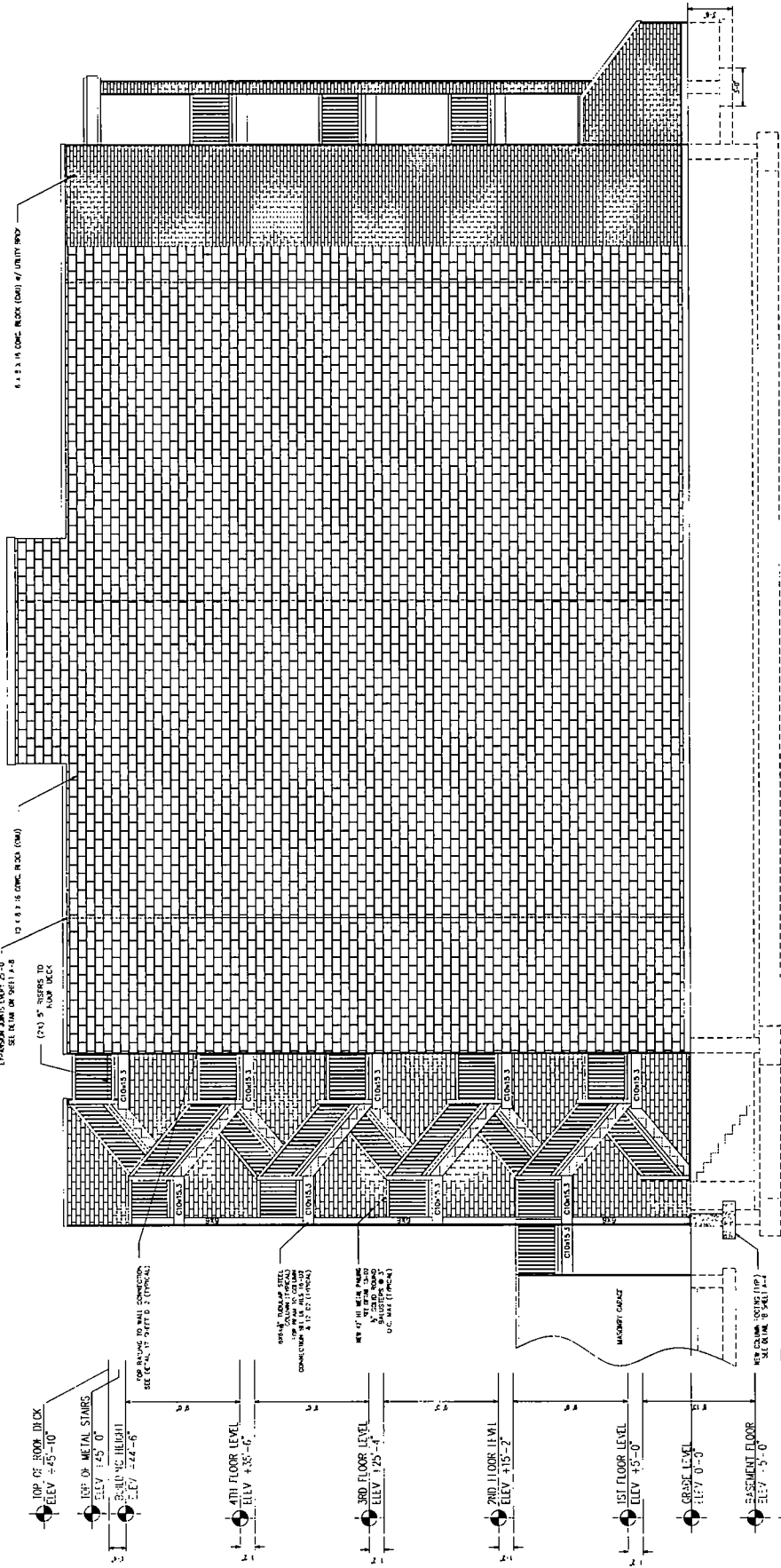
DRAWN BY: JJP

CHECKED BY: SM

PROJECT #

SCALE

A-8

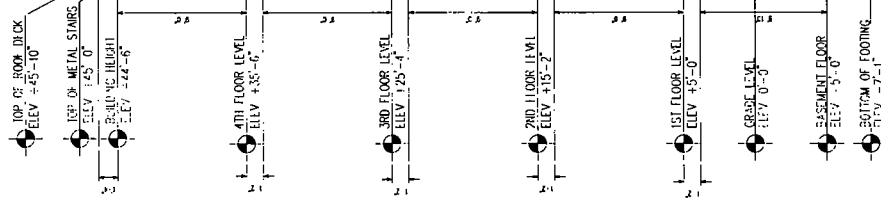


NOTES

1. COLUMNS THAT CONNECT WALL SECTIONS SHALL HAVE AN EXPANSION JOINT ON THE OTHER SIDE.
2. WALL SECTIONS WITHOUT COLUMNS SHALL HAVE AN EXPANSION JOINT AT INTERVALS NO GREATER THAN 16 FEET.
3. EXPANSION JOINTS SHALL BE FILLED WITH STICK-ON SEALANT. COLOR TO MATCH TO EXIST COLOR.

BLOCK WALL EXPANSION JOINT
NOT TO SCALE

SOUTHEAST ELEVATION
SCALE: 1/4"=1'-0"

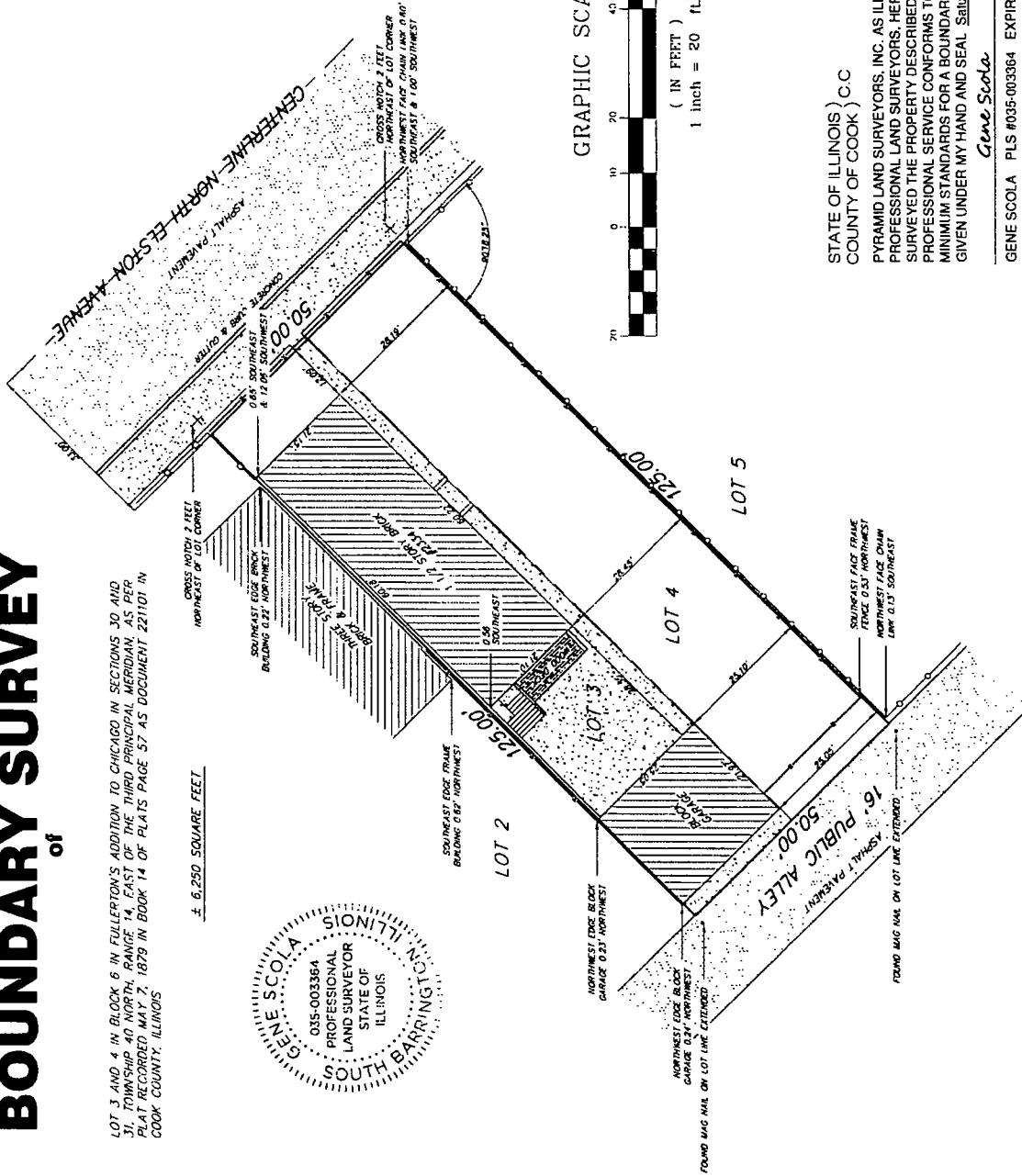


BOUNDARY SURVEY

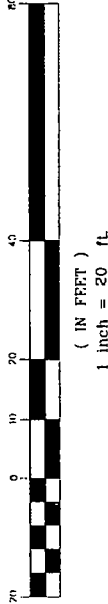
of

LOT 3 AND 4 IN BLOCK 6 IN FULLERTON'S ADDITION TO CHICAGO IN SECTIONS 30 AND 31, TOWNSHIP 40 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, AS PER PLAT RECORDED MAY 7, 1879 IN BOOK 14 OF PLATS, PAGE 57 AS DOCUMENT 221101 IN COOK COUNTY, ILLINOIS.

± 6,250 SQUARE FEET



GRAPHIC SCALE



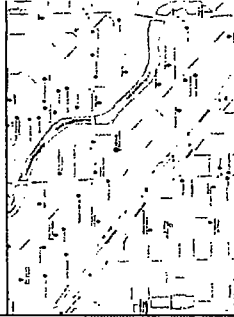
STATE OF ILLINOIS)
COUNTY OF COOK) C.C.
PYRAMID LAND SURVEYORS, INC. AS ILLINOIS LICENSED
PROFESSIONAL LAND SURVEYORS, HEREBY STATE THAT WE HAVE
SURVEYED THE PROPERTY DESCRIBED ABOVE AND THIS
PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
GIVEN UNDER MY HAND AND SEAL Saturday, October 6, 2018

Gene Scola
GENE SCOLA PLS #035-003364 EXPIRES 11-30-2018

ORDERED BY

Richard A Toth
Daley and Georges, Ltd
20 S Clark Street, Ste 400
Chicago, IL 60603
(312) 726-8797 (office)
(312) 726-8799 (direct)
rtoth@daleygeorges.com

VICINITY MAP



2332-34 NORTH ELSTON AVENUE



PIN# 14-31-204-019-0000
PIN# 14-31-204-020-0000



PYRAMID LAND SURVEYORS
Land Surveyors Illinois and Wisconsin

15 SOUTH WASHINGTON BLVD
SOUTH BARRINGTON, ILLINOIS 60010
PHONE 830-497-1832 FAX 847-428-6113

FIELD WORK COMPLETED: OCT 4, 2018

DRAWN BY: G.V.S. SCALE: 1"=20'

BOOK NUMBER: 1411-13

DRAWING NUMBER: 117.181009

pyramidpls@yahoo.com



House Number Certificate

City of Chicago Department of Transportation
Division of Maps and Plats

Certificate Number: 67364

This certificate is valid only for the type listed below:

Address Verification Only - Not for Construction

Date of Issue: 10/24/2018

This is to certify that the correct number of the building at:

LOTS 3 AND 4 IN BLOCK 6 IN FULLERTON'S ADDITION TO CHICAGO IN SECTIONS 30 AND 31-40-14.
EXISTING BUILDING PREVIOUSLY KNOWN AS 2334 N ELSTON AVE.

in the City of Chicago is number
2334 N ELSTON CT

**In accordance with plats on file and approved by the Division of Maps and
Plats of the City of Chicago. By order of the Commissioner of the
Department of Transportation**

**Rebekah Scheinfeld
Commissioner of
Transportation**

Any Variation or changes made to the site plan will invalidate this certificate

Attention

Please be aware that the above legal address will be conveyed to the Office of Emergency Management and Communication. This is the address to which the CHICAGO POLICE and FIRE DEPARTMENTS will respond in the event of an EMERGENCY.

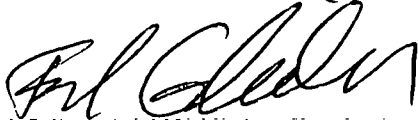
The main entrance of your building must be located at the above address and clearly labeled. This will also be the location of the fire alarm panels when a fire alarm System is required. The panels must be located within viewing distance of the entrance, as approved by the Fire Prevention Bureau during the Plan Review Process.

CONFIRMATION OF AUTHORITY

The undersigned, being the sole owner of the property located at 2332 N. Elston ^{COURT} Ave., Chicago, Illinois, hereby confirms that **Erol Gladan** is authorized by the undersigned to file an *Application for a Zoning Map Amendment* for the property located at 2332 N. Elston ^{COURT} Ave., Chicago, Illinois.

The undersigned states that he/she/it holds the property at 2332 N. Elston ~~Ave.~~ ^{COURT} Chicago, Illinois, for himself/herself/itself and no other person, association or shareholder.

²³³²
ELSTON COURT ~~2332~~ EQUITIES LLC



By Erol Gladan
Its Manager



Subscribed and sworn to by Erol Gladan
before me this September 13, 2018.


NOTARY PUBLIC

OFFICIAL SEAL
RICHARD A. TOTH
NOTARY PUBLIC STATE OF ILLINOIS
My Commission Expires 01/14/2018



LAW OFFICES

October 24, 2018

Chairman, Committee on Zoning
City Hall – Room 304
121 N. LaSalle St.
Chicago, Illinois 60602

Re: 2332-2334 North Elston Court, Chicago, IL
Application for Zoning Map Amendment

The undersigned, Richard A. Toth, being first duly sworn on oath, deposes and states the following:

The undersigned certifies that he has complied with the requirements of § 17-13-0107 of the Chicago Zoning Ordinance by sending the attached letter to such property owners who appear to be the owners of the property within the subject area not solely owned by the applicant, and to the owners of all property within 250 feet in each direction of the lot lines of the subject property, exclusive of public roads, streets, alleys and other public ways. The attached letter was sent by USPS first class mail, no more than 30 days before filing the application.

The undersigned certifies that the notice contained: the address(es) of the property that is the subject of the application; a statement of the intended use of the property; the name and address of the applicant; the name and address of the owner; and a statement that the applicant intends to file an application for a change in zoning on approximately October 24, 2018.

The undersigned certifies that he has made a *bona fide* effort to determine the names and last known addresses of the persons to be notified under § 17-13-0107 of the Chicago Zoning Ordinance by obtaining ownership information from the most recent authentic tax records of Cook County, and that the accompanying list of names and addresses of surrounding property owners within 250 feet of the subject site is a complete list containing the names and addresses of the people required to be served.

Richard A. Toth

Subscribed and sworn to
before me this October 24, 2018.

Notary Public

1257.0000

312 726-8797
daleygeorges.com
20 S. Clark St., Suite 400
Chicago, IL 60603-1835





LAW OFFICES

October 24, 2018

Re: 2332-2334 North Elston Court, Chicago, IL
Application for Zoning Map Amendment

Dear Property Owner:

In accordance with the requirements of the Chicago Zoning Ordinance for a Zoning Map Amendment, specifically Section 17-13-0107, please be informed that on or about October 24, 2018, I, the undersigned attorney, am filing an application on behalf of the Applicant, Erol Gladan, for a change in zoning from B2-2 Neighborhood Mixed-Use District to B2-2 Neighborhood Mixed-Use District, as amended, for the property generally located at 2332-2334 North Elston Court, Chicago, Illinois.

The Applicant proposes to construct two multi-unit residential buildings, each with 3 dwelling units, 3 parking spaces, 44'-6" in height. (No commercial space.)

The Applicant is Erol Gladan, 2334 N. Elston Ct., Chicago, IL 60614. The Owners are Erol Gladan and Elston Court 2232 Equities LLC, c/o Erol Gladan, 2334 N. Elston Ct., Chicago, IL 60614.

I am an attorney for the Applicant and can provide additional information on the application. My address is 20 S. Clark St., Suite 400, Chicago, Illinois 60603.

PLEASE NOTE THAT THE APPLICANT IS NOT SEEKING TO PURCHASE OR REZONE YOUR PROPERTY. THE APPLICANT IS REQUIRED BY LAW TO SEND YOU THIS NOTICE BECAUSE YOU OWN PROPERTY LOCATED WITHIN 250 FEET OF THE SUBJECT PROPERTY.

Sincerely,

A handwritten signature in black ink that reads 'Richard A. Toth'. The signature is written in a cursive style.

Richard A. Toth

1257.0000

312 726-8797
daleygeorges.com
20 S. Clark St., Suite 400
Chicago, IL 60603-1835

19838-T1
INTRO DATE
OCT 31, 2018

CITY OF CHICAGO

APPLICATION FOR AN AMENDMENT TO
THE CHICAGO ZONING ORDINANCE

1. ADDRESS of the property Applicant is seeking to rezone:

2332-2334 North Elston Court

2. Ward Number that property is located in: 32nd Ward

3. APPLICANT Erol Gladan

ADDRESS 2334 N. Elston Ct. CITY Chicago

STATE IL ZIP CODE 60614-2908 PHONE _____

EMAIL _____ CONTACT PERSON Erol Gladan

4. Is the applicant the owner of the property? YES X (partial) NO X (partial)
If the applicant is not the owner of the property, please provide the following information regarding the owner and attach written authorization from the owner allowing the application to proceed.

Applicant Erol Gladan is the owner of 2334 N. Elston; 2332 N. Elston

OWNER is owned by his company, Elston Court 2232 Equities LLC

Elston Court 2232 Equities LLC

ADDRESS 2334 N. Elston Ct. CITY Chicago

STATE IL ZIP CODE 60614-2908 PHONE _____

EMAIL _____ CONTACT PERSON Erol Gladan

5. If the Applicant/Owner of the property has obtained a lawyer as their representative for the rezoning, please provide the following information:

ATTORNEY Richard Toth / Mara Georges, Daley and Georges, Ltd.

ADDRESS 20 S. Clark St., Suite 400

CITY Chicago STATE IL ZIP CODE 60603

PHONE (312) 726-8797 FAX (312) 726-8819 EMAIL rtoth@daleygeorges.com

6. If the applicant is a legal entity (Corporation, LLC, Partnership, etc.) please provide the names of all owners as disclosed on the Economic Disclosure Statements.

Erol Gladan (100% owner of Elston Court 2232 Equities LLC)

7. On what date did the owner acquire legal title to the subject property? 1997, 1998

8. Has the present owner previously rezoned this property? If yes, when?

Yes; 2014.

9. Present Zoning District B2-2 (Type 1) Proposed Zoning District B2-2 (Type 1)

10. Lot size in square feet (or dimensions) Approximately 6,250 s.f. (50' x 125')

11. Current Use of the property Existing single family home and adjacent, vacant side lot.

12. Reason for rezoning the property To allow development of two multi-unit residential buildings, each with 3 dwelling units, 3 parking spaces, 44'-6" in height. (No commercial space.)

13. Describe the proposed use of the property after the rezoning. Indicate the number of dwelling units; number of parking spaces; approximate square footage of any commercial space; and height of the proposed building. (BE SPECIFIC)
Two multi-unit residential buildings, each with 3 dwelling units, 3 parking spaces, 44'-6" in height. (No commercial space.)

14. The Affordable Requirements Ordinance (ARO) requires on-site affordable housing units and/or a financial contribution for residential housing projects with ten or more units that receive a zoning change which, among other triggers, increases the allowable floor area, or, for existing Planned Developments, increases the number of units (see attached fact sheet or visit www.cityofchicago.org/ARO for more information). Is this project subject to the ARO?

YES _____ NO x

(No FAR increase; also < 10 dwelling units)

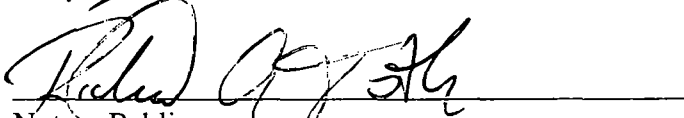
COUNTY OF COOK
STATE OF ILLINOIS

Erol Gladan, being first duly sworn on oath, states that all of the above statements and the statements contained in the documents submitted herewith are true and correct.



Signature of Applicant

Subscribed and Sworn to before me this
13 day of September, 2018.


Notary-Public

For Office Use Only

Date of Introduction: _____

File Number: _____

Ward: _____

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT
AND AFFIDAVIT**

SECTION I -- GENERAL INFORMATION

A. Legal name of the Disclosing Party submitting this EDS. Include d/b/a/ if applicable:

Erol Gladan

Check ONE of the following three boxes:

Indicate whether the Disclosing Party submitting this EDS is:

1. the Applicant (and owner of 2334 N. Elston Ct.)

OR

2. a legal entity currently holding, or anticipated to hold within six months after City action on the contract, transaction or other undertaking to which this EDS pertains (referred to below as the "Matter"), a direct or indirect interest in excess of 7.5% in the Applicant. State the Applicant's legal name: _____

OR

3. a legal entity with a direct or indirect right of control of the Applicant (see Section II(B)(1)) State the legal name of the entity in which the Disclosing Party holds a right of control: _____

B. Business address of the Disclosing Party:

Erol Gladan
2334 N. Elston Ct.
Chicago, IL 60614-2908

C. Telephone: (312) 884-4433 Fax: N/A

Email: _____

D. Name of contact person: Erol Gladan

E. Federal Employer Identification No. (if you have one): Not applicable (individual).

F. Brief description of the Matter to which this EDS pertains. (Include project number and location of property, if applicable):

Application for zoning map amendment for 2332-2334 North Elston Court

G. Which City agency or department is requesting this EDS? Department of Planning and Development

If the Matter is a contract being handled by the City's Department of Procurement Services, please complete the following:

Specification # N/A and Contract # N/A

SECTION II -- DISCLOSURE OF OWNERSHIP INTERESTS

A. NATURE OF THE DISCLOSING PARTY

1. Indicate the nature of the Disclosing Party:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Person | <input type="checkbox"/> Limited liability company |
| <input type="checkbox"/> Publicly registered business corporation | <input type="checkbox"/> Limited liability partnership |
| <input type="checkbox"/> Privately held business corporation | <input type="checkbox"/> Joint venture |
| <input type="checkbox"/> Sole proprietorship | <input type="checkbox"/> Not-for-profit corporation |
| <input type="checkbox"/> General partnership | (Is the not-for-profit corporation also a 501(c)(3))? |
| <input type="checkbox"/> Limited partnership | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Trust | <input type="checkbox"/> Other (please specify) |
-

2. For legal entities, the state (or foreign country) of incorporation or organization, if applicable:

N/A

3. For legal entities not organized in the State of Illinois: Has the organization registered to do business in the State of Illinois as a foreign entity?

- Yes No Organized in Illinois

B. IF THE DISCLOSING PARTY IS A LEGAL ENTITY:

1. List below the full names and titles, if applicable, of: (i) all executive officers and all directors of the entity; (ii) **for not-for-profit corporations**, all members, if any, which are legal entities (if there are no such members, write "no members which are legal entities"); (iii) **for trusts, estates or other similar entities**, the trustee, executor, administrator, or similarly situated party; (iv) **for general or limited partnerships, limited liability companies, limited liability partnerships or joint ventures**, each general partner, managing member, manager or any other person or legal entity that directly or indirectly controls the day-to-day management of the Applicant.

NOTE: Each legal entity listed below must submit an EDS on its own behalf.

Name

Title

Not applicable - the Disclosing Party is an individual.

2. Please provide the following information concerning each person or legal entity having a direct or indirect, current or prospective (i.e. within 6 months after City action) beneficial interest (including ownership) in excess of 7.5% of the Applicant. Examples of such an interest include shares in a corporation, partnership interest in a partnership or joint venture, interest of a member or manager in a

limited liability company, or interest of a beneficiary of a trust, estate or other similar entity. If none, state "None."

NOTE: Each legal entity listed below may be required to submit an EDS on its own behalf.

Name	Business Address	Percentage Interest in the Applicant
<i>Not applicable - the Disclosing Party is an individual.</i>		

SECTION III -- INCOME OR COMPENSATION TO, OR OWNERSHIP BY, CITY ELECTED OFFICIALS

Has the Disclosing Party provided any income or compensation to any City elected official during the 12-month period preceding the date of this EDS? [] Yes [x] No

Does the Disclosing Party reasonably expect to provide any income or compensation to any City elected official during the 12-month period following the date of this EDS? [] Yes [x] No

If "yes" to either of the above, please identify below the name(s) of such City elected official(s) and describe such income or compensation:

Does any City elected official or, to the best of the Disclosing Party's knowledge after reasonable inquiry, any City elected official's spouse or domestic partner, have a financial interest (as defined in Chapter 2-156 of the Municipal Code of Chicago ("MCC")) in the Disclosing Party?
 [] Yes [x] No

If "yes," please identify below the name(s) of such City elected official(s) and/or spouse(s)/domestic partner(s) and describe the financial interest(s).

SECTION IV -- DISCLOSURE OF SUBCONTRACTORS AND OTHER RETAINED PARTIES

The Disclosing Party must disclose the name and business address of each subcontractor, attorney, lobbyist (as defined in MCC Chapter 2-156), accountant, consultant and any other person or entity whom the Disclosing Party has retained or expects to retain in connection with the Matter, as well as the nature of the relationship, and the total amount of the fees paid or estimated to be paid. The Disclosing Party is not required to disclose employees who are paid solely through the Disclosing Party's regular payroll. If the Disclosing Party is uncertain whether a disclosure is required under this Section, the Disclosing Party must either ask the City whether disclosure is required or make the disclosure.

Name (indicate whether retained or anticipated to be retained)	Business Address	Relationship to Disclosing Party (subcontractor, attorney, lobbyist, etc.)	Fees (<u>indicate whether paid or estimated.</u>) NOTE: "hourly rate" or "t.b.d." is not an acceptable response.
IPSA Architecture (retained)	1165 W. Grand, Chicago, IL	Architect	\$20,000 est.
Daley and Georges, Ltd. (retained)	20 S. Clark St, Chicago, IL	Attorney	\$5,000 est.

(Add sheets if necessary)

Check here if the Disclosing Party has not retained, nor expects to retain, any such persons or entities.

SECTION V -- CERTIFICATIONS

A. COURT-ORDERED CHILD SUPPORT COMPLIANCE

Under MCC Section 2-92-415, substantial owners of business entities that contract with the City must remain in compliance with their child support obligations throughout the contract's term.

Has any person who directly or indirectly owns 10% or more of the Disclosing Party been declared in arrearage on any child support obligations by any Illinois court of competent jurisdiction?

Yes No No person directly or indirectly owns 10% or more of the Disclosing Party.

If "Yes," has the person entered into a court-approved agreement for payment of all support owed and is the person in compliance with that agreement?

Yes No

B. FURTHER CERTIFICATIONS

1. [This paragraph 1 applies only if the Matter is a contract being handled by the City's Department of Procurement Services.] In the 5-year period preceding the date of this EDS, neither the Disclosing Party nor any Affiliated Entity [see definition in (5) below] has engaged, in connection with the performance of any public contract, the services of an integrity monitor, independent private sector inspector general, or integrity compliance consultant (i.e., an individual or entity with legal, auditing, investigative, or other similar skills, designated by a public agency to help the agency monitor the activity of specified agency vendors as well as help the vendors reform their business practices so they can be considered for agency contracts in the future, or continue with a contract in progress).

2. The Disclosing Party and its Affiliated Entities are not delinquent in the payment of any fine, fee, tax or other source of indebtedness owed to the City of Chicago, including, but not limited to, water and sewer charges, license fees, parking tickets, property taxes and sales taxes, nor is the Disclosing Party delinquent in the payment of any tax administered by the Illinois Department of Revenue.

3. The Disclosing Party and, if the Disclosing Party is a legal entity, all of those persons or entities identified in Section II(B)(1) of this EDS:
- a. are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from any transactions by any federal, state or local unit of government;
 - b. have not, during the 5 years before the date of this EDS, been convicted of a criminal offense, adjudged guilty, or had a civil judgment rendered against them in connection with: obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; a violation of federal or state antitrust statutes; fraud; embezzlement; theft; forgery; bribery; falsification or destruction of records; making false statements; or receiving stolen property;
 - c. are not presently indicted for, or criminally or civilly charged by, a governmental entity (federal, state or local) with committing any of the offenses set forth in subparagraph (b) above;
 - d. have not, during the 5 years before the date of this EDS, had one or more public transactions (federal, state or local) terminated for cause or default; and
 - e. have not, during the 5 years before the date of this EDS, been convicted, adjudged guilty, or found liable in a civil proceeding, or in any criminal or civil action, including actions concerning environmental violations, instituted by the City or by the federal government, any state, or any other unit of local government.
4. The Disclosing Party understands and shall comply with the applicable requirements of MCC Chapters 2-56 (Inspector General) and 2-156 (Governmental Ethics).
5. Certifications (5), (6) and (7) concern:
- the Disclosing Party;
 - any "Contractor" (meaning any contractor or subcontractor used by the Disclosing Party in connection with the Matter, including but not limited to all persons or legal entities disclosed under Section IV, "Disclosure of Subcontractors and Other Retained Parties");
 - any "Affiliated Entity" (meaning a person or entity that, directly or indirectly: controls the Disclosing Party, is controlled by the Disclosing Party, or is, with the Disclosing Party, under common control of another person or entity). Indicia of control include, without limitation: interlocking management or ownership; identity of interests among family members, shared facilities and equipment; common use of employees; or organization of a business entity following the ineligibility of a business entity to do business with federal or state or local government, including the City, using substantially the same management, ownership, or principals as the ineligible entity. With respect to Contractors, the term Affiliated Entity means a person or entity that directly or indirectly controls the Contractor, is controlled by it, or, with the Contractor, is under common control of another person or entity;
 - any responsible official of the Disclosing Party, any Contractor or any Affiliated Entity or any other official, agent or employee of the Disclosing Party, any Contractor or any Affiliated Entity, acting pursuant to the direction or authorization of a responsible official of the Disclosing Party, any Contractor or any Affiliated Entity (collectively "Agents").

Neither the Disclosing Party, nor any Contractor, nor any Affiliated Entity of either the Disclosing Party or any Contractor, nor any Agents have, during the 5 years before the date of this EDS, or, with respect to a Contractor, an Affiliated Entity, or an Affiliated Entity of a Contractor during the 5 years before the date of such Contractor's or Affiliated Entity's contract or engagement in connection with the Matter:

- a. bribed or attempted to bribe, or been convicted or adjudged guilty of bribery or attempting to bribe, a public officer or employee of the City, the State of Illinois, or any agency of the federal government or of any state or local government in the United States of America, in that officer's or employee's official capacity;
- b. agreed or colluded with other bidders or prospective bidders, or been a party to any such agreement, or been convicted or adjudged guilty of agreement or collusion among bidders or prospective bidders, in restraint of freedom of competition by agreement to bid a fixed price or otherwise; or
- c. made an admission of such conduct described in subparagraph (a) or (b) above that is a matter of record, but have not been prosecuted for such conduct; or
- d. violated the provisions referenced in MCC Subsection 2-92-320(a)(4)(Contracts Requiring a Base Wage); (a)(5)(Debarment Regulations); or (a)(6)(Minimum Wage Ordinance).

6. Neither the Disclosing Party, nor any Affiliated Entity or Contractor, or any of their employees, officials, agents or partners, is barred from contracting with any unit of state or local government as a result of engaging in or being convicted of (1) bid-rigging in violation of 720 ILCS 5/33E-3; (2) bid-rotating in violation of 720 ILCS 5/33E-4; or (3) any similar offense of any state or of the United States of America that contains the same elements as the offense of bid-rigging or bid-rotating.

7. Neither the Disclosing Party nor any Affiliated Entity is listed on a Sanctions List maintained by the United States Department of Commerce, State, or Treasury, or any successor federal agency.

8. [FOR APPLICANT ONLY] (i) Neither the Applicant nor any "controlling person" [see MCC Chapter 1-23, Article I for applicability and defined terms] of the Applicant is currently indicted or charged with, or has admitted guilt of, or has ever been convicted of, or placed under supervision for, any criminal offense involving actual, attempted, or conspiracy to commit bribery, theft, fraud, forgery, perjury, dishonesty or deceit against an officer or employee of the City or any "sister agency"; and (ii) the Applicant understands and acknowledges that compliance with Article I is a continuing requirement for doing business with the City. NOTE: If MCC Chapter 1-23, Article I applies to the Applicant, that Article's permanent compliance timeframe supersedes 5-year compliance timeframes in this Section V.

9. [FOR APPLICANT ONLY] The Applicant and its Affiliated Entities will not use, nor permit their subcontractors to use, any facility listed as having an active exclusion by the U.S. EPA on the federal System for Award Management ("SAM").

10. [FOR APPLICANT ONLY] The Applicant will obtain from any contractors/subcontractors hired or to be hired in connection with the Matter certifications equal in form and substance to those in Certifications (2) and (9) above and will not, without the prior written consent of the City, use any such

contractor/subcontractor that does not provide such certifications or that the Applicant has reason to believe has not provided or cannot provide truthful certifications.

11. If the Disclosing Party is unable to certify to any of the above statements in this Part B (Further Certifications), the Disclosing Party must explain below:

N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

12. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all current employees of the Disclosing Party who were, at any time during the 12-month period preceding the date of this EDS, an employee, or elected or appointed official, of the City of Chicago (if none, indicate with "N/A" or "none").

N/A

13. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all gifts that the Disclosing Party has given or caused to be given, at any time during the 12-month period preceding the execution date of this EDS, to an employee, or elected or appointed official, of the City of Chicago. For purposes of this statement, a "gift" does not include: (i) anything made generally available to City employees or to the general public, or (ii) food or drink provided in the course of official City business and having a retail value of less than \$25 per recipient, or (iii) a political contribution otherwise duly reported as required by law (if none, indicate with "N/A" or "none"). As to any gift listed below, please also list the name of the City recipient.

N/A

C. CERTIFICATION OF STATUS AS FINANCIAL INSTITUTION

1. The Disclosing Party certifies that the Disclosing Party (check one)

is is not

a "financial institution" as defined in MCC Section 2-32-455(b).

2. If the Disclosing Party IS a financial institution, then the Disclosing Party pledges:

"We are not and will not become a predatory lender as defined in MCC Chapter 2-32. We further pledge that none of our affiliates is, and none of them will become, a predatory lender as defined in MCC Chapter 2-32. We understand that becoming a predatory lender or becoming an affiliate of a predatory lender may result in the loss of the privilege of doing business with the City."

If the Disclosing Party is unable to make this pledge because it or any of its affiliates (as defined in MCC Section 2-32-455(b)) is a predatory lender within the meaning of MCC Chapter 2-32, explain here (attach additional pages if necessary):

N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

D. CERTIFICATION REGARDING FINANCIAL INTEREST IN CITY BUSINESS

Any words or terms defined in MCC Chapter 2-156 have the same meanings if used in this Part D.

1. In accordance with MCC Section 2-156-110: To the best of the Disclosing Party's knowledge after reasonable inquiry, does any official or employee of the City have a financial interest in his or her own name or in the name of any other person or entity in the Matter?

Yes No

NOTE: If you checked "Yes" to Item D(1), proceed to Items D(2) and D(3). If you checked "No" to Item D(1), skip Items D(2) and D(3) and proceed to Part E.

2. Unless sold pursuant to a process of competitive bidding, or otherwise permitted, no City elected official or employee shall have a financial interest in his or her own name or in the name of any other person or entity in the purchase of any property that (i) belongs to the City, or (ii) is sold for taxes or assessments, or (iii) is sold by virtue of legal process at the suit of the City (collectively, "City Property Sale"). Compensation for property taken pursuant to the City's eminent domain power does not constitute a financial interest within the meaning of this Part D.

Does the Matter involve a City Property Sale?

Yes No

3. If you checked "Yes" to Item D(1), provide the names and business addresses of the City officials or employees having such financial interest and identify the nature of the financial interest:

Name	Business Address	Nature of Financial Interest

4. The Disclosing Party further certifies that no prohibited financial interest in the Matter will be acquired by any City official or employee.

E. CERTIFICATION REGARDING SLAVERY ERA BUSINESS

Please check either (1) or (2) below. If the Disclosing Party checks (2), the Disclosing Party must disclose below or in an attachment to this EDS all information required by (2). Failure to comply with these disclosure requirements may make any contract entered into with the City in connection with the Matter voidable by the City.

 x 1. The Disclosing Party verifies that the Disclosing Party has searched any and all records of the Disclosing Party and any and all predecessor entities regarding records of investments or profits from slavery or slaveholder insurance policies during the slavery era (including insurance policies issued to slaveholders that provided coverage for damage to or injury or death of their slaves), and the Disclosing Party has found no such records.

 2. The Disclosing Party verifies that, as a result of conducting the search in step (1) above, the Disclosing Party has found records of investments or profits from slavery or slaveholder insurance policies. The Disclosing Party verifies that the following constitutes full disclosure of all such records, including the names of any and all slaves or slaveholders described in those records:

SECTION VI -- CERTIFICATIONS FOR FEDERALLY FUNDED MATTERS

NOTE: If the Matter is federally funded, complete this Section VI. If the Matter is not federally funded, proceed to Section VII. For purposes of this Section VI, tax credits allocated by the City and proceeds of debt obligations of the City are not federal funding.

The Matter is not federally funded.

A. CERTIFICATION REGARDING LOBBYING

1. List below the names of all persons or entities registered under the federal Lobbying Disclosure Act of 1995, as amended, who have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter: (Add sheets if necessary):

(If no explanation appears or begins on the lines above, or if the letters "NA" or if the word "None" appear, it will be conclusively presumed that the Disclosing Party means that NO persons or entities registered under the Lobbying Disclosure Act of 1995, as amended, have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter.)

2. The Disclosing Party has not spent and will not expend any federally appropriated funds to pay any person or entity listed in paragraph A(1) above for his or her lobbying activities or to pay any person or entity to influence or attempt to influence an officer or employee of any agency, as defined by applicable federal law, a member of Congress, an officer or employee of Congress, or an employee

of a member of Congress, in connection with the award of any federally funded contract, making any federally funded grant or loan, entering into any cooperative agreement, or to extend, continue, renew, amend, or modify any federally funded contract, grant, loan, or cooperative agreement.

3. The Disclosing Party will submit an updated certification at the end of each calendar quarter in which there occurs any event that materially affects the accuracy of the statements and information set forth in paragraphs A(1) and A(2) above.

4. The Disclosing Party certifies that either: (i) it is not an organization described in section 501(c)(4) of the Internal Revenue Code of 1986; or (ii) it is an organization described in section 501(c)(4) of the Internal Revenue Code of 1986 but has not engaged and will not engage in "Lobbying Activities," as that term is defined in the Lobbying Disclosure Act of 1995, as amended.

5. If the Disclosing Party is the Applicant, the Disclosing Party must obtain certifications equal in form and substance to paragraphs A(1) through A(4) above from all subcontractors before it awards any subcontract and the Disclosing Party must maintain all such subcontractors' certifications for the duration of the Matter and must make such certifications promptly available to the City upon request.

B. CERTIFICATION REGARDING EQUAL EMPLOYMENT OPPORTUNITY

If the Matter is federally funded, federal regulations require the Applicant and all proposed subcontractors to submit the following information with their bids or in writing at the outset of negotiations. The Matter is not federally funded.

Is the Disclosing Party the Applicant?

Yes

No

The Matter is not federally funded.

If "Yes," answer the three questions below:

1. Have you developed and do you have on file affirmative action programs pursuant to applicable federal regulations? (See 41 CFR Part 60-2.)

Yes

No

The Matter is not federally funded.

2. Have you filed with the Joint Reporting Committee, the Director of the Office of Federal Contract Compliance Programs, or the Equal Employment Opportunity Commission all reports due under the applicable filing requirements?

Yes

No

Reports not required

The Matter is not federally funded.

3. Have you participated in any previous contracts or subcontracts subject to the equal opportunity clause?

Yes

No

The Matter is not federally funded.

If you checked "No" to question (1) or (2) above, please provide an explanation:

SECTION VII -- FURTHER ACKNOWLEDGMENTS AND CERTIFICATION

The Disclosing Party understands and agrees that:

A. The certifications, disclosures, and acknowledgments contained in this EDS will become part of any contract or other agreement between the Applicant and the City in connection with the Matter, whether procurement, City assistance, or other City action, and are material inducements to the City's execution of any contract or taking other action with respect to the Matter. The Disclosing Party understands that it must comply with all statutes, ordinances, and regulations on which this EDS is based.

B. The City's Governmental Ethics Ordinance, MCC Chapter 2-156, imposes certain duties and obligations on persons or entities seeking City contracts, work, business, or transactions. The full text of this ordinance and a training program is available on line at www.cityofchicago.org/Ethics, and may also be obtained from the City's Board of Ethics, 740 N. Sedgwick St., Suite 500, Chicago, IL 60610, (312) 744-9660. The Disclosing Party must comply fully with this ordinance.

C. If the City determines that any information provided in this EDS is false, incomplete or inaccurate, any contract or other agreement in connection with which it is submitted may be rescinded or be void or voidable, and the City may pursue any remedies under the contract or agreement (if not rescinded or void), at law, or in equity, including terminating the Disclosing Party's participation in the Matter and/or declining to allow the Disclosing Party to participate in other City transactions. Remedies at law for a false statement of material fact may include incarceration and an award to the City of treble damages.

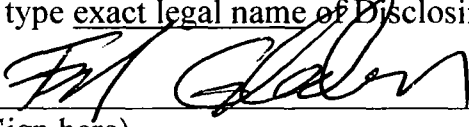
D. It is the City's policy to make this document available to the public on its Internet site and/or upon request. Some or all of the information provided in, and appended to, this EDS may be made publicly available on the Internet, in response to a Freedom of Information Act request, or otherwise. By completing and signing this EDS, the Disclosing Party waives and releases any possible rights or claims which it may have against the City in connection with the public release of information contained in this EDS and also authorizes the City to verify the accuracy of any information submitted in this EDS.

E. The information provided in this EDS must be kept current. In the event of changes, the Disclosing Party must supplement this EDS up to the time the City takes action on the Matter. If the Matter is a contract being handled by the City's Department of Procurement Services, the Disclosing Party must update this EDS as the contract requires. **NOTE:** With respect to Matters subject to MCC Chapter 1-23, Article I (imposing **PERMANENT INELIGIBILITY** for certain specified offenses), the information provided herein regarding eligibility must be kept current for a longer period, as required by MCC Chapter 1-23 and Section 2-154-020.

CERTIFICATION

Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS, and all applicable Appendices, on behalf of the Disclosing Party, and (2) warrants that all certifications and statements contained in this EDS, and all applicable Appendices, are true, accurate and complete as of the date furnished to the City.

Erol Gladan
(Print or type exact legal name of Disclosing Party)

By: 
(Sign here)

Erol Gladan
(Print or type name of person signing)

An individual.
(Print or type title of person signing)

Signed and sworn to before me on (date) September 13, 2018,

at Cook County, Illinois (state).


Notary Public

Commission expires:



**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX A**

**FAMILIAL RELATIONSHIPS WITH ELECTED CITY OFFICIALS
AND DEPARTMENT HEADS**

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5%. It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

Under MCC Section 2-154-015, the Disclosing Party must disclose whether such Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently has a "familial relationship" with any elected city official or department head. A "familial relationship" exists if, as of the date this EDS is signed, the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof is related to the mayor, any alderman, the city clerk, the city treasurer or any city department head as spouse or domestic partner or as any of the following, whether by blood or adoption: parent, child, brother or sister, aunt or uncle, niece or nephew, grandparent, grandchild, father-in-law, mother-in-law, son-in-law, daughter-in-law, stepfather or stepmother, stepson or stepdaughter, stepbrother or stepsister or half-brother or half-sister.

"Applicable Party" means (1) all executive officers of the Disclosing Party listed in Section II.B.1.a., if the Disclosing Party is a corporation; all partners of the Disclosing Party, if the Disclosing Party is a general partnership; all general partners and limited partners of the Disclosing Party, if the Disclosing Party is a limited partnership; all managers, managing members and members of the Disclosing Party, if the Disclosing Party is a limited liability company; (2) all principal officers of the Disclosing Party; and (3) any person having more than a 7.5% ownership interest in the Disclosing Party. "Principal officers" means the president, chief operating officer, executive director, chief financial officer, treasurer or secretary of a legal entity or any person exercising similar authority.

Does the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently have a "familial relationship" with an elected city official or department head?

[] Yes [x] No

If yes, please identify below (1) the name and title of such person, (2) the name of the legal entity to which such person is connected; (3) the name and title of the elected city official or department head to whom such person has a familial relationship, and (4) the precise nature of such familial relationship.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX B**

BUILDING CODE SCOFFLAW/PROBLEM LANDLORD CERTIFICATION

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5% (an "Owner"). It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

1. Pursuant to MCC Section 2-154-010, is the Applicant or any Owner identified as a building code scofflaw or problem landlord pursuant to MCC Section 2-92-416?

Yes No

2. If the Applicant is a legal entity publicly traded on any exchange, is any officer or director of the Applicant identified as a building code scofflaw or problem landlord pursuant to MCC Section 2-92-416?

Yes No The Applicant is not publicly traded on any exchange.

3. If yes to (1) or (2) above, please identify below the name of each person or legal entity identified as a building code scofflaw or problem landlord and the address of each building or buildings to which the pertinent code violations apply.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX C**

PROHIBITION ON WAGE & SALARY HISTORY SCREENING - CERTIFICATION

This Appendix is to be completed only by an Applicant that is completing this EDS as a “contractor” as defined in MCC Section 2-92-385. That section, which should be consulted (www.amlegal.com), generally covers a party to any agreement pursuant to which they: (i) receive City of Chicago funds in consideration for services, work or goods provided (including for legal or other professional services), or (ii) pay the City money for a license, grant or concession allowing them to conduct a business on City premises.

On behalf of an Applicant that is a contractor pursuant to MCC Section 2-92-385, I hereby certify that the Applicant is in compliance with MCC Section 2-92-385(b)(1) and (2), which prohibit: (i) screening job applicants based on their wage or salary history, or (ii) seeking job applicants’ wage or salary history from current or former employers. I also certify that the Applicant has adopted a policy that includes those prohibitions.

Yes

No

N/A – I am not an Applicant that is a “contractor” as defined in MCC Section 2-92-385.

This certification shall serve as the affidavit required by MCC Section 2-92-385(c)(1).

If you checked “no” to the above, please explain.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT
AND AFFIDAVIT**

SECTION I -- GENERAL INFORMATION

A. Legal name of the Disclosing Party submitting this EDS. Include d/b/a/ if applicable:

Elston Court 2332 Equities LLC

Check ONE of the following three boxes:

Indicate whether the Disclosing Party submitting this EDS is:

1. the Applicant owner of 2334 N. Elston Ct.

OR

2. a legal entity currently holding, or anticipated to hold within six months after City action on the contract, transaction or other undertaking to which this EDS pertains (referred to below as the "Matter"), a direct or indirect interest in excess of 7.5% in the Applicant. State the Applicant's legal name: _____

OR

3. a legal entity with a direct or indirect right of control of the Applicant (see Section II(B)(1)) State the legal name of the entity in which the Disclosing Party holds a right of control: _____

B. Business address of the Disclosing Party:

c/o Erol Gladan
2334 N. Elston Ct.
Chicago, IL 60614-2908

C. Telephone: (312) 884-4433 Fax: N/A Email: _____

D. Name of contact person: Erol Gladan

E. Federal Employer Identification No. (if you have one): To follow.

F. Brief description of the Matter to which this EDS pertains. (Include project number and location of property, if applicable):

Application for zoning map amendment for 2332-2334 North Elston Court

G. Which City agency or department is requesting this EDS? Department of Planning and Development

If the Matter is a contract being handled by the City's Department of Procurement Services, please complete the following:

Specification # N/A and Contract # N/A

SECTION II -- DISCLOSURE OF OWNERSHIP INTERESTS

A. NATURE OF THE DISCLOSING PARTY

1. Indicate the nature of the Disclosing Party:

- Person
- Limited liability company
- Publicly registered business corporation
- Limited liability partnership
- Privately held business corporation
- Joint venture
- Sole proprietorship
- Not-for-profit corporation
- General partnership
- (Is the not-for-profit corporation also a 501(c)(3))?
- Limited partnership
- Yes No
- Trust
- Other (please specify)

2. For legal entities, the state (or foreign country) of incorporation or organization, if applicable:

Illinois.

3. For legal entities not organized in the State of Illinois: Has the organization registered to do business in the State of Illinois as a foreign entity?

- Yes
- No
- Organized in Illinois

B. IF THE DISCLOSING PARTY IS A LEGAL ENTITY:

1. List below the full names and titles, if applicable, of: (i) all executive officers and all directors of the entity; (ii) **for not-for-profit corporations**, all members, if any, which are legal entities (if there are no such members, write "no members which are legal entities"); (iii) **for trusts, estates or other similar entities**, the trustee, executor, administrator, or similarly situated party; (iv) **for general or limited partnerships, limited liability companies, limited liability partnerships or joint ventures**, each general partner, managing member, manager or any other person or legal entity that directly or indirectly controls the day-to-day management of the Applicant.

NOTE: Each legal entity listed below must submit an EDS on its own behalf.

Name	Title
Erol Gladan 2334 N. Elston Ct. Chicago, IL 60614-2908	Manager

2. Please provide the following information concerning each person or legal entity having a direct or indirect, current or prospective (i.e. within 6 months after City action) beneficial interest (including ownership) in excess of 7.5% of the Applicant. Examples of such an interest include shares in a corporation, partnership interest in a partnership or joint venture, interest of a member or manager in a

limited liability company, or interest of a beneficiary of a trust, estate or other similar entity. If none, state "None."

NOTE: Each legal entity listed below may be required to submit an EDS on its own behalf.

Name	Business Address	Percentage Interest in the Applicant
Erol Gladan	2334 N. Elston Ct. Chicago, IL 60614-2908	100%

SECTION III -- INCOME OR COMPENSATION TO, OR OWNERSHIP BY, CITY ELECTED OFFICIALS

Has the Disclosing Party provided any income or compensation to any City elected official during the 12-month period preceding the date of this EDS? Yes No

Does the Disclosing Party reasonably expect to provide any income or compensation to any City elected official during the 12-month period following the date of this EDS? Yes No

If "yes" to either of the above, please identify below the name(s) of such City elected official(s) and describe such income or compensation:

Does any City elected official or, to the best of the Disclosing Party's knowledge after reasonable inquiry, any City elected official's spouse or domestic partner, have a financial interest (as defined in Chapter 2-156 of the Municipal Code of Chicago ("MCC")) in the Disclosing Party?

Yes No

If "yes," please identify below the name(s) of such City elected official(s) and/or spouse(s)/domestic partner(s) and describe the financial interest(s).

SECTION IV -- DISCLOSURE OF SUBCONTRACTORS AND OTHER RETAINED PARTIES

The Disclosing Party must disclose the name and business address of each subcontractor, attorney, lobbyist (as defined in MCC Chapter 2-156), accountant, consultant and any other person or entity whom the Disclosing Party has retained or expects to retain in connection with the Matter, as well as the nature of the relationship, and the total amount of the fees paid or estimated to be paid. The Disclosing Party is not required to disclose employees who are paid solely through the Disclosing Party's regular payroll. If the Disclosing Party is uncertain whether a disclosure is required under this Section, the Disclosing Party must either ask the City whether disclosure is required or make the disclosure.

Name (indicate whether retained or anticipated to be retained)	Business Address	Relationship to Disclosing Party (subcontractor, attorney, lobbyist, etc.)	Fees (<u>indicate whether paid or estimated.</u>) NOTE: "hourly rate" or "t.b.d." is not an acceptable response.
IPSA Architecture (retained)	1165 W. Grand, Chicago, IL		Architect \$20,000 est.
Daley and Georges, Ltd. (retained)	20 S. Clark St., Chicago, IL		Attorney \$5,000 est.

(Add sheets if necessary)

Check here if the Disclosing Party has not retained, nor expects to retain, any such persons or entities.

SECTION V -- CERTIFICATIONS

A. COURT-ORDERED CHILD SUPPORT COMPLIANCE

Under MCC Section 2-92-415, substantial owners of business entities that contract with the City must remain in compliance with their child support obligations throughout the contract's term.

Has any person who directly or indirectly owns 10% or more of the Disclosing Party been declared in arrearage on any child support obligations by any Illinois court of competent jurisdiction?

Yes No No person directly or indirectly owns 10% or more of the Disclosing Party.

If "Yes," has the person entered into a court-approved agreement for payment of all support owed and is the person in compliance with that agreement?

Yes No

B. FURTHER CERTIFICATIONS

1. [This paragraph 1 applies only if the Matter is a contract being handled by the City's Department of Procurement Services.] In the 5-year period preceding the date of this EDS, neither the Disclosing Party nor any Affiliated Entity [see definition in (5) below] has engaged, in connection with the performance of any public contract, the services of an integrity monitor, independent private sector inspector general, or integrity compliance consultant (i.e., an individual or entity with legal, auditing, investigative, or other similar skills, designated by a public agency to help the agency monitor the activity of specified agency vendors as well as help the vendors reform their business practices so they can be considered for agency contracts in the future, or continue with a contract in progress).

2. The Disclosing Party and its Affiliated Entities are not delinquent in the payment of any fine, fee, tax or other source of indebtedness owed to the City of Chicago, including, but not limited to, water and sewer charges, license fees, parking tickets, property taxes and sales taxes, nor is the Disclosing Party delinquent in the payment of any tax administered by the Illinois Department of Revenue.

3. The Disclosing Party and, if the Disclosing Party is a legal entity, all of those persons or entities identified in Section II(B)(1) of this EDS:
- a. are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from any transactions by any federal, state or local unit of government;
 - b. have not, during the 5 years before the date of this EDS, been convicted of a criminal offense, adjudged guilty, or had a civil judgment rendered against them in connection with: obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; a violation of federal or state antitrust statutes; fraud; embezzlement; theft; forgery; bribery; falsification or destruction of records; making false statements; or receiving stolen property;
 - c. are not presently indicted for, or criminally or civilly charged by, a governmental entity (federal, state or local) with committing any of the offenses set forth in subparagraph (b) above;
 - d. have not, during the 5 years before the date of this EDS, had one or more public transactions (federal, state or local) terminated for cause or default; and
 - e. have not, during the 5 years before the date of this EDS, been convicted, adjudged guilty, or found liable in a civil proceeding, or in any criminal or civil action, including actions concerning environmental violations, instituted by the City or by the federal government, any state, or any other unit of local government.
4. The Disclosing Party understands and shall comply with the applicable requirements of MCC Chapters 2-56 (Inspector General) and 2-156 (Governmental Ethics).
5. Certifications (5), (6) and (7) concern:
- the Disclosing Party;
 - any "Contractor" (meaning any contractor or subcontractor used by the Disclosing Party in connection with the Matter, including but not limited to all persons or legal entities disclosed under Section IV, "Disclosure of Subcontractors and Other Retained Parties");
 - any "Affiliated Entity" (meaning a person or entity that, directly or indirectly: controls the Disclosing Party, is controlled by the Disclosing Party, or is, with the Disclosing Party, under common control of another person or entity). Indicia of control include, without limitation: interlocking management or ownership; identity of interests among family members, shared facilities and equipment; common use of employees; or organization of a business entity following the ineligibility of a business entity to do business with federal or state or local government, including the City, using substantially the same management, ownership, or principals as the ineligible entity. With respect to Contractors, the term Affiliated Entity means a person or entity that directly or indirectly controls the Contractor, is controlled by it, or, with the Contractor, is under common control of another person or entity;
 - any responsible official of the Disclosing Party, any Contractor or any Affiliated Entity or any other official, agent or employee of the Disclosing Party, any Contractor or any Affiliated Entity, acting pursuant to the direction or authorization of a responsible official of the Disclosing Party, any Contractor or any Affiliated Entity (collectively "Agents").

Neither the Disclosing Party, nor any Contractor, nor any Affiliated Entity of either the Disclosing Party or any Contractor, nor any Agents have, during the 5 years before the date of this EDS, or, with respect to a Contractor, an Affiliated Entity, or an Affiliated Entity of a Contractor during the 5 years before the date of such Contractor's or Affiliated Entity's contract or engagement in connection with the Matter:

- a. bribed or attempted to bribe, or been convicted or adjudged guilty of bribery or attempting to bribe, a public officer or employee of the City, the State of Illinois, or any agency of the federal government or of any state or local government in the United States of America, in that officer's or employee's official capacity;
 - b. agreed or colluded with other bidders or prospective bidders, or been a party to any such agreement, or been convicted or adjudged guilty of agreement or collusion among bidders or prospective bidders, in restraint of freedom of competition by agreement to bid a fixed price or otherwise; or
 - c. made an admission of such conduct described in subparagraph (a) or (b) above that is a matter of record, but have not been prosecuted for such conduct; or
 - d. violated the provisions referenced in MCC Subsection 2-92-320(a)(4)(Contracts Requiring a Base Wage); (a)(5)(Debarment Regulations); or (a)(6)(Minimum Wage Ordinance).
6. Neither the Disclosing Party, nor any Affiliated Entity or Contractor, or any of their employees, officials, agents or partners, is barred from contracting with any unit of state or local government as a result of engaging in or being convicted of (1) bid-rigging in violation of 720 ILCS 5/33E-3; (2) bid-rotating in violation of 720 ILCS 5/33E-4; or (3) any similar offense of any state or of the United States of America that contains the same elements as the offense of bid-rigging or bid-rotating.
7. Neither the Disclosing Party nor any Affiliated Entity is listed on a Sanctions List maintained by the United States Department of Commerce, State, or Treasury, or any successor federal agency.
8. [FOR APPLICANT ONLY] (i) Neither the Applicant nor any "controlling person" [see MCC Chapter 1-23, Article I for applicability and defined terms] of the Applicant is currently indicted or charged with, or has admitted guilt of, or has ever been convicted of, or placed under supervision for, any criminal offense involving actual, attempted, or conspiracy to commit bribery, theft, fraud, forgery, perjury, dishonesty or deceit against an officer or employee of the City or any "sister agency"; and (ii) the Applicant understands and acknowledges that compliance with Article I is a continuing requirement for doing business with the City. NOTE: If MCC Chapter 1-23, Article I applies to the Applicant, that Article's permanent compliance timeframe supersedes 5-year compliance timeframes in this Section V.
9. [FOR APPLICANT ONLY] The Applicant and its Affiliated Entities will not use, nor permit their subcontractors to use, any facility listed as having an active exclusion by the U.S. EPA on the federal System for Award Management ("SAM").
10. [FOR APPLICANT ONLY] The Applicant will obtain from any contractors/subcontractors hired or to be hired in connection with the Matter certifications equal in form and substance to those in Certifications (2) and (9) above and will not, without the prior written consent of the City, use any such

contractor/subcontractor that does not provide such certifications or that the Applicant has reason to believe has not provided or cannot provide truthful certifications.

11. If the Disclosing Party is unable to certify to any of the above statements in this Part B (Further Certifications), the Disclosing Party must explain below:

N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

12. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all current employees of the Disclosing Party who were, at any time during the 12-month period preceding the date of this EDS, an employee, or elected or appointed official, of the City of Chicago (if none, indicate with "N/A" or "none").

N/A

13. To the best of the Disclosing Party's knowledge after reasonable inquiry, the following is a complete list of all gifts that the Disclosing Party has given or caused to be given, at any time during the 12-month period preceding the execution date of this EDS, to an employee, or elected or appointed official, of the City of Chicago. For purposes of this statement, a "gift" does not include: (i) anything made generally available to City employees or to the general public, or (ii) food or drink provided in the course of official City business and having a retail value of less than \$25 per recipient, or (iii) a political contribution otherwise duly reported as required by law (if none, indicate with "N/A" or "none"). As to any gift listed below, please also list the name of the City recipient.

N/A

C. CERTIFICATION OF STATUS AS FINANCIAL INSTITUTION

1. The Disclosing Party certifies that the Disclosing Party (check one)

is is not

a "financial institution" as defined in MCC Section 2-32-455(b).

2. If the Disclosing Party IS a financial institution, then the Disclosing Party pledges:

"We are not and will not become a predatory lender as defined in MCC Chapter 2-32. We further pledge that none of our affiliates is, and none of them will become, a predatory lender as defined in MCC Chapter 2-32. We understand that becoming a predatory lender or becoming an affiliate of a predatory lender may result in the loss of the privilege of doing business with the City."

If the Disclosing Party is unable to make this pledge because it or any of its affiliates (as defined in MCC Section 2-32-455(b)) is a predatory lender within the meaning of MCC Chapter 2-32, explain here (attach additional pages if necessary):

N/A

If the letters "NA," the word "None," or no response appears on the lines above, it will be conclusively presumed that the Disclosing Party certified to the above statements.

D. CERTIFICATION REGARDING FINANCIAL INTEREST IN CITY BUSINESS

Any words or terms defined in MCC Chapter 2-156 have the same meanings if used in this Part D.

1. In accordance with MCC Section 2-156-110: To the best of the Disclosing Party's knowledge after reasonable inquiry, does any official or employee of the City have a financial interest in his or her own name or in the name of any other person or entity in the Matter?

Yes No

NOTE: If you checked "Yes" to Item D(1), proceed to Items D(2) and D(3). If you checked "No" to Item D(1), skip Items D(2) and D(3) and proceed to Part E.

2. Unless sold pursuant to a process of competitive bidding, or otherwise permitted, no City elected official or employee shall have a financial interest in his or her own name or in the name of any other person or entity in the purchase of any property that (i) belongs to the City, or (ii) is sold for taxes or assessments, or (iii) is sold by virtue of legal process at the suit of the City (collectively, "City Property Sale"). Compensation for property taken pursuant to the City's eminent domain power does not constitute a financial interest within the meaning of this Part D.

Does the Matter involve a City Property Sale?

Yes No

3. If you checked "Yes" to Item D(1), provide the names and business addresses of the City officials or employees having such financial interest and identify the nature of the financial interest:

Name	Business Address	Nature of Financial Interest

4. The Disclosing Party further certifies that no prohibited financial interest in the Matter will be acquired by any City official or employee.

E. CERTIFICATION REGARDING SLAVERY ERA BUSINESS

Please check either (1) or (2) below. If the Disclosing Party checks (2), the Disclosing Party must disclose below or in an attachment to this EDS all information required by (2). Failure to comply with these disclosure requirements may make any contract entered into with the City in connection with the Matter voidable by the City.

 x 1. The Disclosing Party verifies that the Disclosing Party has searched any and all records of the Disclosing Party and any and all predecessor entities regarding records of investments or profits from slavery or slaveholder insurance policies during the slavery era (including insurance policies issued to slaveholders that provided coverage for damage to or injury or death of their slaves), and the Disclosing Party has found no such records.

 2. The Disclosing Party verifies that, as a result of conducting the search in step (1) above, the Disclosing Party has found records of investments or profits from slavery or slaveholder insurance policies. The Disclosing Party verifies that the following constitutes full disclosure of all such records, including the names of any and all slaves or slaveholders described in those records:

SECTION VI -- CERTIFICATIONS FOR FEDERALLY FUNDED MATTERS

NOTE: If the Matter is federally funded, complete this Section VI. If the Matter is not federally funded, proceed to Section VII. For purposes of this Section VI, tax credits allocated by the City and proceeds of debt obligations of the City are not federal funding.

The Matter is not federally funded.

A. CERTIFICATION REGARDING LOBBYING

1. List below the names of all persons or entities registered under the federal Lobbying Disclosure Act of 1995, as amended, who have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter: (Add sheets if necessary):

(If no explanation appears or begins on the lines above, or if the letters "NA" or if the word "None" appear, it will be conclusively presumed that the Disclosing Party means that NO persons or entities registered under the Lobbying Disclosure Act of 1995, as amended, have made lobbying contacts on behalf of the Disclosing Party with respect to the Matter.)

2. The Disclosing Party has not spent and will not expend any federally appropriated funds to pay any person or entity listed in paragraph A(1) above for his or her lobbying activities or to pay any person or entity to influence or attempt to influence an officer or employee of any agency, as defined by applicable federal law, a member of Congress, an officer or employee of Congress, or an employee

of a member of Congress, in connection with the award of any federally funded contract, making any federally funded grant or loan, entering into any cooperative agreement, or to extend, continue, renew, amend, or modify any federally funded contract, grant, loan, or cooperative agreement.

3. The Disclosing Party will submit an updated certification at the end of each calendar quarter in which there occurs any event that materially affects the accuracy of the statements and information set forth in paragraphs A(1) and A(2) above.

4. The Disclosing Party certifies that either: (i) it is not an organization described in section 501(c)(4) of the Internal Revenue Code of 1986; or (ii) it is an organization described in section 501(c)(4) of the Internal Revenue Code of 1986 but has not engaged and will not engage in "Lobbying Activities," as that term is defined in the Lobbying Disclosure Act of 1995, as amended.

5. If the Disclosing Party is the Applicant, the Disclosing Party must obtain certifications equal in form and substance to paragraphs A(1) through A(4) above from all subcontractors before it awards any subcontract and the Disclosing Party must maintain all such subcontractors' certifications for the duration of the Matter and must make such certifications promptly available to the City upon request.

B. CERTIFICATION REGARDING EQUAL EMPLOYMENT OPPORTUNITY

If the Matter is federally funded, federal regulations require the Applicant and all proposed subcontractors to submit the following information with their bids or in writing at the outset of negotiations. The Matter is not federally funded.

Is the Disclosing Party the Applicant?

Yes

No

The Matter is not federally funded.

If "Yes," answer the three questions below:

1. Have you developed and do you have on file affirmative action programs pursuant to applicable federal regulations? (See 41 CFR Part 60-2.)

Yes

No

The Matter is not federally funded.

2. Have you filed with the Joint Reporting Committee, the Director of the Office of Federal Contract Compliance Programs, or the Equal Employment Opportunity Commission all reports due under the applicable filing requirements?

Yes

No

Reports not required

The Matter is not federally funded.

3. Have you participated in any previous contracts or subcontracts subject to the equal opportunity clause?

Yes

No

The Matter is not federally funded.

If you checked "No" to question (1) or (2) above, please provide an explanation:

SECTION VII -- FURTHER ACKNOWLEDGMENTS AND CERTIFICATION

The Disclosing Party understands and agrees that:

A. The certifications, disclosures, and acknowledgments contained in this EDS will become part of any contract or other agreement between the Applicant and the City in connection with the Matter, whether procurement, City assistance, or other City action, and are material inducements to the City's execution of any contract or taking other action with respect to the Matter. The Disclosing Party understands that it must comply with all statutes, ordinances, and regulations on which this EDS is based.

B. The City's Governmental Ethics Ordinance, MCC Chapter 2-156, imposes certain duties and obligations on persons or entities seeking City contracts, work, business, or transactions. The full text of this ordinance and a training program is available on line at www.cityofchicago.org/Ethics, and may also be obtained from the City's Board of Ethics, 740 N. Sedgwick St., Suite 500, Chicago, IL 60610, (312) 744-9660. The Disclosing Party must comply fully with this ordinance.

C. If the City determines that any information provided in this EDS is false, incomplete or inaccurate, any contract or other agreement in connection with which it is submitted may be rescinded or be void or voidable, and the City may pursue any remedies under the contract or agreement (if not rescinded or void), at law, or in equity, including terminating the Disclosing Party's participation in the Matter and/or declining to allow the Disclosing Party to participate in other City transactions. Remedies at law for a false statement of material fact may include incarceration and an award to the City of treble damages.

D. It is the City's policy to make this document available to the public on its Internet site and/or upon request. Some or all of the information provided in, and appended to, this EDS may be made publicly available on the Internet, in response to a Freedom of Information Act request, or otherwise. By completing and signing this EDS, the Disclosing Party waives and releases any possible rights or claims which it may have against the City in connection with the public release of information contained in this EDS and also authorizes the City to verify the accuracy of any information submitted in this EDS.

E. The information provided in this EDS must be kept current. In the event of changes, the Disclosing Party must supplement this EDS up to the time the City takes action on the Matter. If the Matter is a contract being handled by the City's Department of Procurement Services, the Disclosing Party must update this EDS as the contract requires. **NOTE:** With respect to Matters subject to MCC Chapter 1-23, Article I (imposing **PERMANENT INELIGIBILITY** for certain specified offenses), the information provided herein regarding eligibility must be kept current for a longer period, as required by MCC Chapter 1-23 and Section 2-154-020.

CERTIFICATION

Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS, and all applicable Appendices, on behalf of the Disclosing Party, and (2) warrants that all certifications and statements contained in this EDS, and all applicable Appendices, are true, accurate and complete as of the date furnished to the City.

Elston Court ²³³² ~~2232~~ Equities LLC
(Print or type exact legal name of Disclosing Party)

By: *Erol Gladan*
(Sign here)

Erol Gladan
(Print or type name of person signing)

Manager
(Print or type title of person signing)

Signed and sworn to before me on (date) September 13, 2018,

at Cook County, Illinois (state).

Richard A. Toth
Notary Public

Commission expires:



**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX A**

**FAMILIAL RELATIONSHIPS WITH ELECTED CITY OFFICIALS
AND DEPARTMENT HEADS**

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5%. It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

Under MCC Section 2-154-015, the Disclosing Party must disclose whether such Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently has a "familial relationship" with any elected city official or department head. A "familial relationship" exists if, as of the date this EDS is signed, the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof is related to the mayor, any alderman, the city clerk, the city treasurer or any city department head as spouse or domestic partner or as any of the following, whether by blood or adoption: parent, child, brother or sister, aunt or uncle, niece or nephew, grandparent, grandchild, father-in-law, mother-in-law, son-in-law, daughter-in-law, stepfather or stepmother, stepson or stepdaughter, stepbrother or stepsister or half-brother or half-sister.

"Applicable Party" means (1) all executive officers of the Disclosing Party listed in Section II.B.1.a., if the Disclosing Party is a corporation; all partners of the Disclosing Party, if the Disclosing Party is a general partnership; all general partners and limited partners of the Disclosing Party, if the Disclosing Party is a limited partnership; all managers, managing members and members of the Disclosing Party, if the Disclosing Party is a limited liability company; (2) all principal officers of the Disclosing Party; and (3) any person having more than a 7.5% ownership interest in the Disclosing Party. "Principal officers" means the president, chief operating officer, executive director, chief financial officer, treasurer or secretary of a legal entity or any person exercising similar authority.

Does the Disclosing Party or any "Applicable Party" or any Spouse or Domestic Partner thereof currently have a "familial relationship" with an elected city official or department head?

[] Yes

[x] No

If yes, please identify below (1) the name and title of such person, (2) the name of the legal entity to which such person is connected; (3) the name and title of the elected city official or department head to whom such person has a familial relationship, and (4) the precise nature of such familial relationship.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX B**

BUILDING CODE SCOFFLAW/PROBLEM LANDLORD CERTIFICATION

This Appendix is to be completed only by (a) the Applicant, and (b) any legal entity which has a direct ownership interest in the Applicant exceeding 7.5% (an "Owner"). It is not to be completed by any legal entity which has only an indirect ownership interest in the Applicant.

1. Pursuant to MCC Section 2-154-010, is the Applicant or any Owner identified as a building code scofflaw or problem landlord pursuant to MCC Section 2-92-416?

Yes No

2. If the Applicant is a legal entity publicly traded on any exchange, is any officer or director of the Applicant identified as a building code scofflaw or problem landlord pursuant to MCC Section 2-92-416?

Yes No The Applicant is not publicly traded on any exchange.

3. If yes to (1) or (2) above, please identify below the name of each person or legal entity identified as a building code scofflaw or problem landlord and the address of each building or buildings to which the pertinent code violations apply.

**CITY OF CHICAGO
ECONOMIC DISCLOSURE STATEMENT AND AFFIDAVIT
APPENDIX C**

PROHIBITION ON WAGE & SALARY HISTORY SCREENING - CERTIFICATION

This Appendix is to be completed only by an Applicant that is completing this EDS as a “contractor” as defined in MCC Section 2-92-385. That section, which should be consulted (www.amlegal.com), generally covers a party to any agreement pursuant to which they: (i) receive City of Chicago funds in consideration for services, work or goods provided (including for legal or other professional services), or (ii) pay the City money for a license, grant or concession allowing them to conduct a business on City premises.

On behalf of an Applicant that is a contractor pursuant to MCC Section 2-92-385, I hereby certify that the Applicant is in compliance with MCC Section 2-92-385(b)(1) and (2), which prohibit: (i) screening job applicants based on their wage or salary history, or (ii) seeking job applicants’ wage or salary history from current or former employers. I also certify that the Applicant has adopted a policy that includes those prohibitions.

Yes

No

N/A – I am not an Applicant that is a “contractor” as defined in MCC Section 2-92-385.

This certification shall serve as the affidavit required by MCC Section 2-92-385(c)(1).

If you checked “no” to the above, please explain.
