



# City of Chicago



SO2021-2120

Office of the City Clerk

## Document Tracking Sheet

<b>Meeting Date:</b>	5/26/2021
<b>Sponsor(s):</b>	Misc. Transmittal
<b>Type:</b>	Ordinance
<b>Title:</b>	Zoning Reclassification Map No. 1-H at 2029 W Washington Blvd - App No. 20733T1
<b>Committee(s) Assignment:</b>	Committee on Zoning, Landmarks and Building Standards

# Final for Publication

## ORDINANCE

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

**SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance is hereby amended by changing all of the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols as shown on Map No. 1-H in the area bounded by:**

**West Washington Boulevard; a line 266.7 feet west of and parallel to North Damen Avenue; the public alley south of and parallel to West Washington Boulevard; and a line 296.7 feet west of and parallel to North Damen Avenue.**

**To those of an RM4.5 Residential Multi-Unit District**

**SECTION 2. This Ordinance takes effect after its passage and due publication.**

**Common address of property: 2029 West Washington Boulevard, Chicago**

# Final for Publication

#20733

## A NARRATIVE AND PLANS AMENDED TO A TYPE 1 ZONING CHANGE FOR 2029 WEST WASHINGTON BOULEVARD, CHICAGO

The subject property is currently improved with an older 3-story residential building with 3 dwelling units. The Applicant intends to build a third story rear addition to the existing building. The existing 3 dwelling units will remain. The Applicant needs a zoning change to comply with the maximum floor area ratio requirements of the Ordinance.

Project Description:	Zoning Change from an RT4 Residential Two-Flat, Townhouse and Multi-Unit District to an RM4.5 Residential Multi-Unit District
Use:	Residential building with 3 dwelling units
Floor Area Ratio:	1.4
Lot Area:	3,735 Square Feet
Building Floor Area:	5,236 Square Feet
Density:	1,245 Square Feet per Dwelling Unit
Off- Street parking:	3
Set Backs:	Front Setback: 10'-9" Side Setbacks: East: 3'-0" / West: 0' Rear Setback: 43'-3"
Building height:	45 Feet

# Final for Publication

**PLAN NOTES**

1. ALL DIMENSIONS ARE IN FEET AND INCHES.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

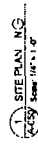
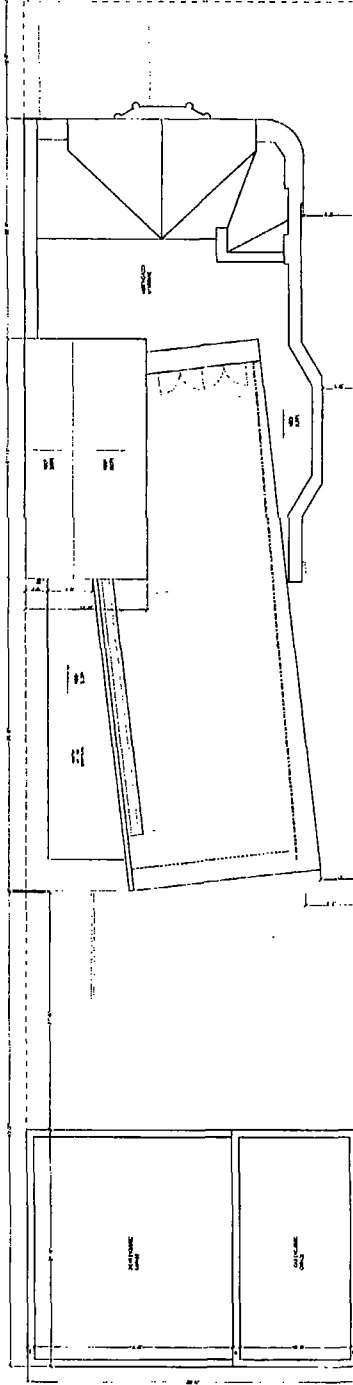
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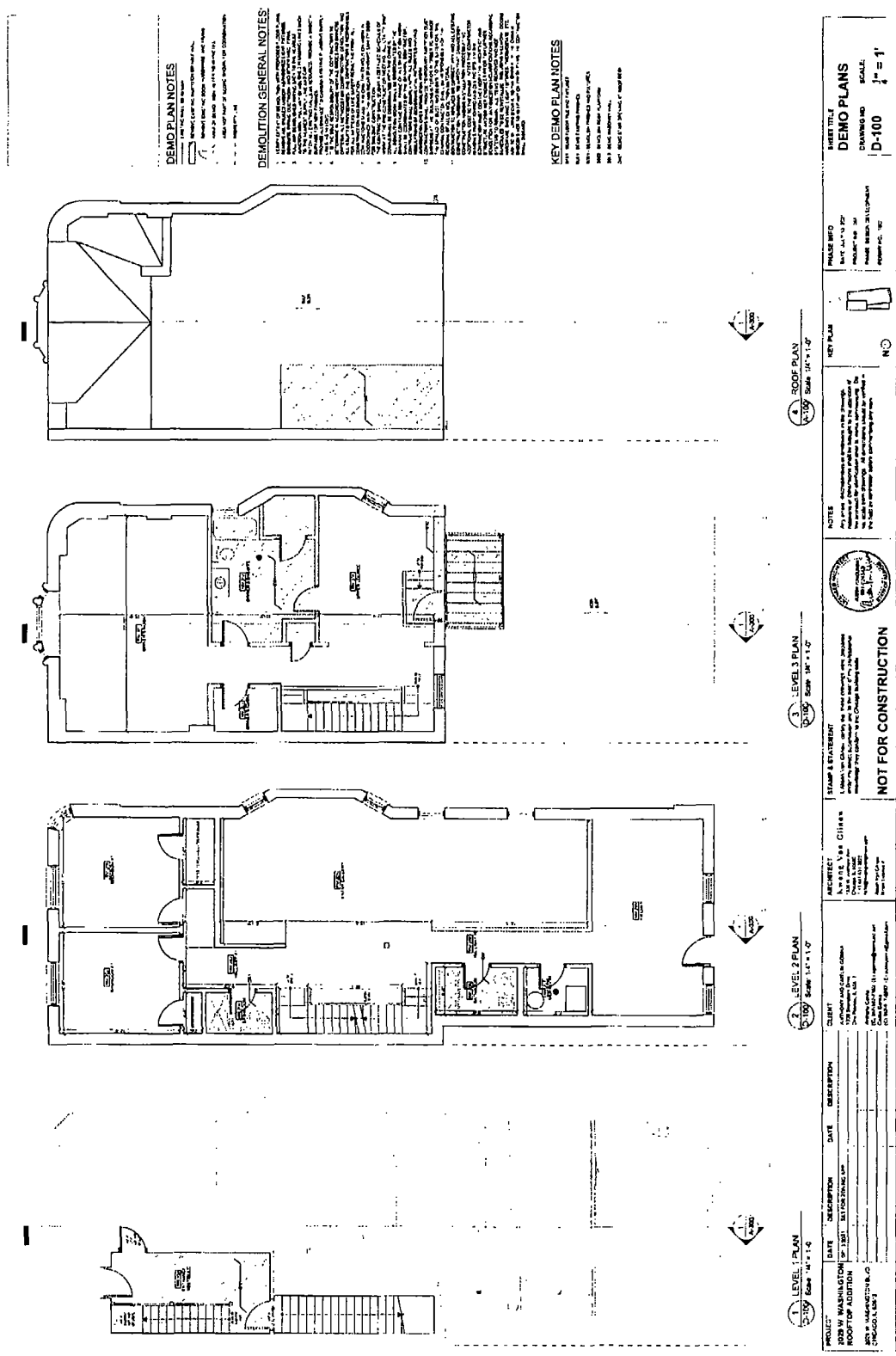


PROJECT	DATE	DESCRIPTION	DATE	DESCRIPTION
2025 WASHINGTON	12/15/12	SET-OUT PLAN		
ROOF TOP ADDITION				
2025 WASHINGTON	12/15/12	SET-OUT PLAN		
2025 WASHINGTON	12/15/12	SET-OUT PLAN		

<b>CLIENT</b>	<b>ARCHITECT</b>	<b>STAMP &amp; STATEMENT</b>	<b>NOTE</b>	<b>KEY PLAN</b>	<b>PHASE NO.</b>	<b>SHEET TITLE</b>
ADRIAN AND LUCY'S DESIGN 1000 20th St NW Washington, DC 20036 Tel: 202-462-1111 www.adrianandlucys.com	ADRIAN AND LUCY'S DESIGN 1000 20th St NW Washington, DC 20036 Tel: 202-462-1111 www.adrianandlucys.com	I, Adrian and Lucy, certify that I am the duly licensed architect responsible for the preparation of the above described drawings and that I am a duly licensed architect in the State of Maryland.	Any errors, omissions, or discrepancies in the drawings, specifications, or schedule of values are the responsibility of the architect. The contractor shall verify all dimensions and conditions on the field by reference to the applicable surveying data.		1	<b>SITE PLAN</b> DRAWING NO. <b>A-050</b> SCALE <b>1/8" = 1'</b>

# Final for Publication



### DEMO PLAN NOTES

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### DEMOLITION GENERAL NOTES

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### KEY DEMO PLAN NOTES

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<b>1 LEVEL 1 PLAN</b> Scale: 1/8" = 1'-0"		<b>2 LEVEL 2 PLAN</b> Scale: 1/8" = 1'-0"		<b>3 LEVEL 3 PLAN</b> Scale: 1/8" = 1'-0"		<b>4 ROOF PLAN</b> Scale: 1/8" = 1'-0"	
<b>PROJECT:</b> JOB W WASHINGTON ROOFTOP ADDITION 1000 N 10th St PHOENIX, AZ 85006		<b>CLIENT:</b> LUTHERAN COMMUNITY CENTER 1000 N 10th St PHOENIX, AZ 85006		<b>ARCHITECT:</b> NORTON VAN CLINE CIVIL ENGINEER 1000 N 10th St PHOENIX, AZ 85006		<b>DATE:</b> 10/10/2018	
<b>DESCRIPTION:</b> ROOFTOP ADDITION		<b>DATE:</b> 10/10/2018		<b>DESCRIPTION:</b> ROOFTOP ADDITION		<b>DATE:</b> 10/10/2018	
<b>NOT FOR CONSTRUCTION</b>		<b>NOT FOR CONSTRUCTION</b>		<b>NOT FOR CONSTRUCTION</b>		<b>NOT FOR CONSTRUCTION</b>	
<b>DEMO PLANS</b> DRAWING NO: D-400 SCALE: 1/8" = 1'-0"		<b>ISSUE NO:</b> 01		<b>DATE:</b> 10/10/2018		<b>PROJECT NO:</b> 18-0001	



# Final for Publication



**DEMO PLAN NOTES**  
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<b>PROJECT</b> 2028 W WASHINGTON ST 2ND FLOOR ADDITION 3028 W WASHINGTON ST SPokane, WA 99201		<b>DATE</b> 08/08/2018	<b>DESCRIPTION</b> 2ND FLOOR ADDITION	<b>SCALE</b> 1/4" = 1'-0"	<b>REVISIONS</b> 1.0	<b>CLIENT</b> BANK OF AMERICA 3028 W WASHINGTON ST SPokane, WA 99201	<b>ARCHITECT</b> KERR & ASSOCIATES 1000 N. WASHINGTON ST SPokane, WA 99201 KERR & ASSOCIATES 1000 N. WASHINGTON ST SPokane, WA 99201	<b>SEAL &amp; SIGNATURE</b>  KERR & ASSOCIATES 1000 N. WASHINGTON ST SPokane, WA 99201	<b>NOTES</b> NO OTHER DIMENSIONS OR CONDITIONS IN THE DRAWING SHALL BE TAKEN INTO ACCOUNT UNLESS SPECIFICALLY NOTED OTHERWISE.	<b>KEY PLAN</b> 	<b>PROJECT INFO</b> DATE: 08/08/2018 PROJECT NO: 201 PROJECT NO (SHEET): 201-101 PROJECT NO (SHEET): 201-101	<b>SHEET TITLE</b> <b>DEMO PLAN</b>	<b>SCALE</b> <b>1/4" = 1'-0"</b>
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# Final for Publication

**PLAN NOTES**

1. SEE THE GENERAL NOTES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
4. ALL MATERIALS ARE TO BE AS SHOWN ON THE MATERIAL SCHEDULE.
5. ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WASHINGTON DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
6. ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WASHINGTON DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.

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**1 FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**2 FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**3 ROOF PLAN**  
Scale: 1/4" = 1'-0"

**NOTES**

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**STAMP & STATEMENT**

1. I, the undersigned, being a duly licensed Architect under the laws of the State of Maryland, do hereby certify that the above is a true and correct copy of the original design as submitted to me by the client for the purpose of construction.

2. I am a duly licensed Architect under the laws of the State of Maryland.

3. I am the author of the design.

4. I am the owner of the design.

5. I am the architect of the design.

**ARCHITECT**

1. Name: [Name]

2. Address: [Address]

3. City: [City]

4. State: [State]

5. Zip: [Zip]

**CLIENT**

1. Name: [Name]

2. Address: [Address]

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4. State: [State]

5. Zip: [Zip]

**DATE**

1. [Date]

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**SCALE**

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**PROJECT NO.**

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**SCALE**

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**PROJECT TITLE**

1. PLANS: ENTRY,

2. L2, L3, ROOF

3. SCALE

4. A-100

5. 1/4" = 1'-0"

# Final for Publication

**PLAN NOTES**

1. SEE ARCHITECT'S NOTES FOR GENERAL NOTES.
2. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
3. FINISH FLOOR TO BE 1/2" THICK CONCRETE ON 4" THICK POLYSTYRENE INSULATION.
4. ALL WALLS TO BE 12" THICK CONCRETE ON 4" THICK POLYSTYRENE INSULATION.
5. ALL CEILING TO BE 1/2" THICK Gypsum Board on 2x4 Joists.
6. ALL FLOORING TO BE 1/2" THICK POLYSTYRENE INSULATION ON 4" THICK POLYSTYRENE INSULATION.

**GENERAL PLAN NOTES:**

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**KEY PLAN NOTES**

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BASEMENT FLOOR  
SCALE: 1/4" = 1'-0"

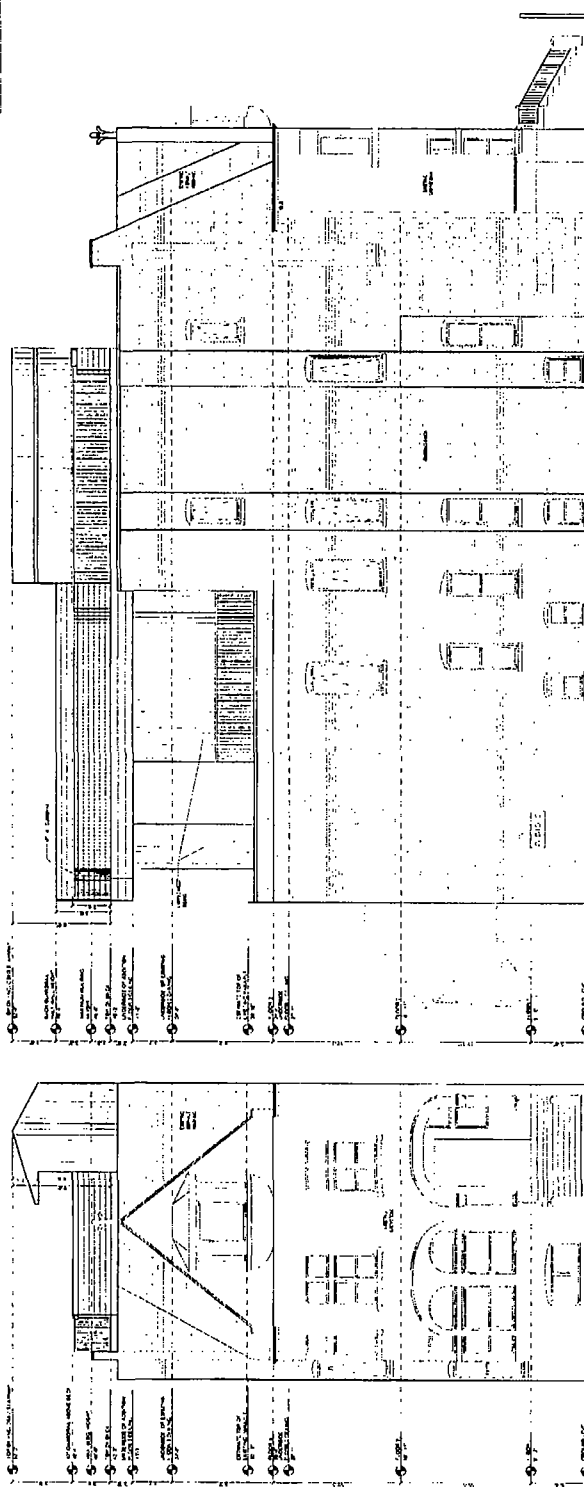
PROJECT	DATE	DESCRIPTION	DATE	DESCRIPTION	CLIENT	ARCHITECT	PLANS & SPECIFICATIONS	NOTES	KEY PLAN	PHASE INFO	SHEET TITLE
2020 W WASHINGTON ROOFTOP ADDITION	12/15/20	1/4" = 1'-0"	12/15/20	1/4" = 1'-0"	ARCHITECTURE 1000 15th St NW Washington, DC 20004	K. & S. Y. Cline 1000 15th St NW Washington, DC 20004	Architect's Notes for these drawings are provided for information only. They do not constitute a contract. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.	Architect's Notes for these drawings are provided for information only. They do not constitute a contract. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.	NO	PHASE 1: 10/15/20 PHASE 2: 11/15/20 PHASE 3: 12/15/20	PLANS: BASEMENT FLOOR DRAWING NO. A-101 SCALE: 1/4" = 1'-0"



**NOT FOR CONSTRUCTION**



# Final for Publication



N NORTH ELEVATION  
Scale: 1/4" = 1'-0"

E EAST ELEVATION  
Scale: 1/4" = 1'-0"

PROJECT	DATE	DESCRIPTION	DATE	DESCRIPTION	CLIENT
BOS WASHINGTON POST OFFICE 1000 14TH ST NW WASHINGTON DC 20005	07/13/10	SET FOR RECORD			ARCHITECTURAL CORPORATION 1000 14TH ST NW WASHINGTON DC 20005 TEL: 202-462-1000 WWW.ACCORP.COM
	07/13/10	REVISIONS			
	07/13/10	REVISIONS			
	07/13/10	REVISIONS			

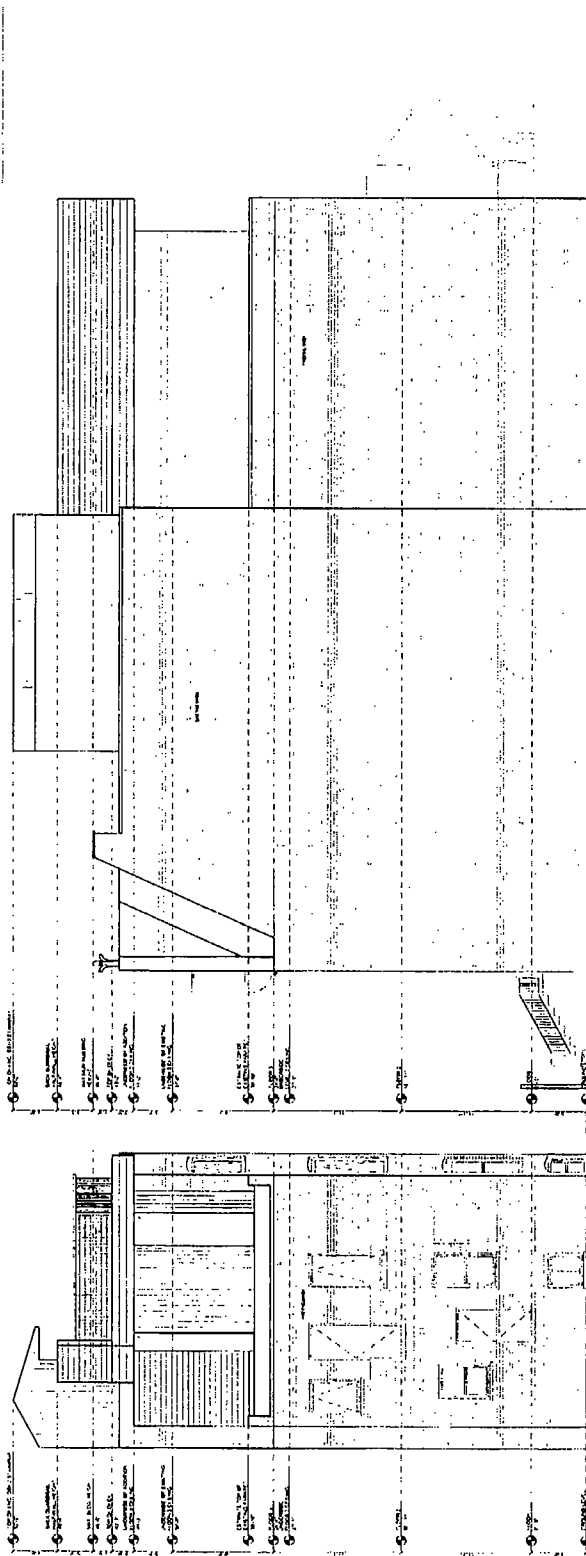
  

ARCHITECT	STAMP & STATEMENT	NOTES	KEY PLAN	PROJECT INFO	SHEET TITLE
ARCHITECT NAME: ACCORP ADDRESS: 1000 14TH ST NW CITY: WASHINGTON DC STATE: DC ZIP: 20005	I, <u>ARCHITECT</u> , being duly sworn, depose and say that I am the author of the above drawings and specifications, and that they were prepared by me or under my direct supervision and to the best of my knowledge and belief they conform to the requirements of the laws of the District of Columbia.	ALL WORK SHALL BE IN ACCORDANCE WITH THE DISTRICT OF COLUMBIA BUILDING CODE AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.	NO	DATE: 07/13/10 DRAWN BY: [NAME] CHECKED BY: [NAME]	SHEET TITLE N-E ELEVATIONS DRAWING NO A-200 SCALE 1/4" = 1'-0"



**NOT FOR CONSTRUCTION**

# Final for Publication



**S SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"

**W WEST ELEVATION**  
Scale: 1/4" = 1'-0"

<b>PROJECT</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>CLIENT</b>	<b>ARCHITECT</b>	<b>STAMP &amp; STATEMENT</b>	<b>NOTES</b>	<b>KEY PLAN</b>	<b>PHASE NO.</b>	<b>SHEET TITLE</b>
ROB W WASHINGTON ROOFTOP ADDITION		REVISIONS			INTERIOR ARCHITECTS 2000 14th St NW Washington, DC 20005	Rob W. Washington Architect 1400 14th St NW Washington, DC 20005	1. All work shall be done in accordance with the approved plans and specifications. 2. The contractor shall be responsible for obtaining all necessary permits. 3. The contractor shall be responsible for maintaining access to adjacent properties.	NO	NO	A-201	S-W ELEVATIONS
<p><b>NOT FOR CONSTRUCTION</b></p>											