



City of Chicago



O2019-7951

Office of the City Clerk

Document Tracking Sheet

Meeting Date: 10/16/2019

Sponsor(s): Misc. Transmittal

Type: Ordinance

Title: Zoning-Reclassification Map No. 9-G at 3346 N Lakewood Ave - App No. 20214T1

Committee(s) Assignment: Committee on Zoning, Landmarks and Building Standards

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RT-3.5, Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map No. 9-G in an area bound by

A line 122.15 feet south of and parallel to West Roscoe Street; North Lakewood Avenue; a line 147.15 feet south of and parallel to West Roscoe Street; And the public alley next west of and parallel to North Lakewood Avenue

to those of a RT-4, Residential Two-Flat, Townhouse and Multi-Unit District.

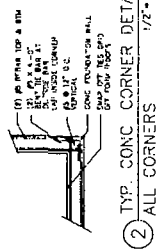
SECTION 2. This ordinance takes effect after its passage and due publication.

Common Address of Property: 3346 North Lakewood Avenue

NARRATIVE & PLANS – 3346 North Lakewood Avenue**RT-3.5 to RT-4**

The applicant seeks to rezone the property in order to construct a proposed 3-story single-family residence with basement and new detached 2-car garage at the rear of the property abutting the public alley. There are no planned commercial spaces.

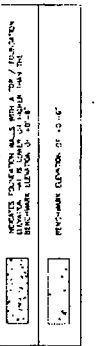
FAR	1.17
Building Area	3,679.5 Square Feet
Lot Area	3,125 Square Feet
Density (MLA)	3,125 Square Feet
Building Height	37 Feet 11 $\frac{7}{8}$ Inches
Front Setback	15 Feet 0 Inches
Rear Setback	39 Feet 11 $\frac{1}{2}$ Inches
North side Setback	1 Foot 0 Inches
South side Setback	3 Feet 0 Inches
Parking	2 Parking Spaces



- FOUNDATION NOTES:**
1. ALL COLUMN AND WALL FOOTINGS SHALL BEAR UPON UNFINISHED GRADE OR UPON COMPACTED GRAVEL OR CONCRETE. STEP FOOTING/FOUNDATION DOWN TO UNFINISHED GRADE OR DEEPER. PROVIDE REINFORCING BARS TO BE PLACED IN THE TOP OF THE FOOTING. PROVIDE 1\"/>

- FOUNDATION NOTES:**
1. ALL COLUMN AND WALL FOOTINGS SHALL BEAR UPON UNFINISHED GRADE OR UPON COMPACTED GRAVEL OR CONCRETE. STEP FOOTING/FOUNDATION DOWN TO UNFINISHED GRADE OR DEEPER. PROVIDE REINFORCING BARS TO BE PLACED IN THE TOP OF THE FOOTING. PROVIDE 1\"/>

- FOUNDATION NOTES:**
1. ALL COLUMN AND WALL FOOTINGS SHALL BEAR UPON UNFINISHED GRADE OR UPON COMPACTED GRAVEL OR CONCRETE. STEP FOOTING/FOUNDATION DOWN TO UNFINISHED GRADE OR DEEPER. PROVIDE REINFORCING BARS TO BE PLACED IN THE TOP OF THE FOOTING. PROVIDE 1\"/>



- BASEMENT WINDOW WELL NOTES:**
1. PROVIDE PLASTIC DRAIN AND STRAINERS TO MAKE DIRECT CONNECTION TO FOOTING OR TO DRAIN TO THE STREET. PROVIDE 1\"/>

- BASEMENT WINDOW WELL NOTES:**
1. PROVIDE PLASTIC DRAIN AND STRAINERS TO MAKE DIRECT CONNECTION TO FOOTING OR TO DRAIN TO THE STREET. PROVIDE 1\"/>

- BASEMENT WINDOW WELL NOTES:**
1. PROVIDE PLASTIC DRAIN AND STRAINERS TO MAKE DIRECT CONNECTION TO FOOTING OR TO DRAIN TO THE STREET. PROVIDE 1\"/>

ELEVATOR NOTE

FROM ALL CODES & ELEVATOR MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS, THE FOLLOWING ARE THE MINIMUM REQUIREMENTS FOR THE ELEVATOR SHAFT AND HOISTWAY. THE ELEVATOR SHAFT AND HOISTWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE ELEVATOR SHAFT AND HOISTWAY SHALL BE CONSTRUCTED WITH A MINIMUM CLEARANCE OF 6'-0\"/>

SOIL BEARING NOTE

ALL COLUMN AND WALL FOOTINGS SHALL BEAR UPON UNFINISHED GRADE OR UPON COMPACTED GRAVEL OR CONCRETE. STEP FOOTING/FOUNDATION DOWN TO UNFINISHED GRADE OR DEEPER. PROVIDE REINFORCING BARS TO BE PLACED IN THE TOP OF THE FOOTING. PROVIDE 1\"/>

UNDERGROUND UTILITY NOTE

THE FOUNDATION WALL WITH THE LOCAL UTILITY INTERSECTION / LOCATION SHALL BE CONSTRUCTED WITH A MINIMUM CLEARANCE OF 6'-0\"/>

UNDERGROUND UTILITY NOTE

THE FOUNDATION WALL WITH THE LOCAL UTILITY INTERSECTION / LOCATION SHALL BE CONSTRUCTED WITH A MINIMUM CLEARANCE OF 6'-0\"/>

FOUNDATION WALL LEGEND

CONCRETE
REINFORCEMENT
INSULATION

FOUNDATION WALL LEGEND

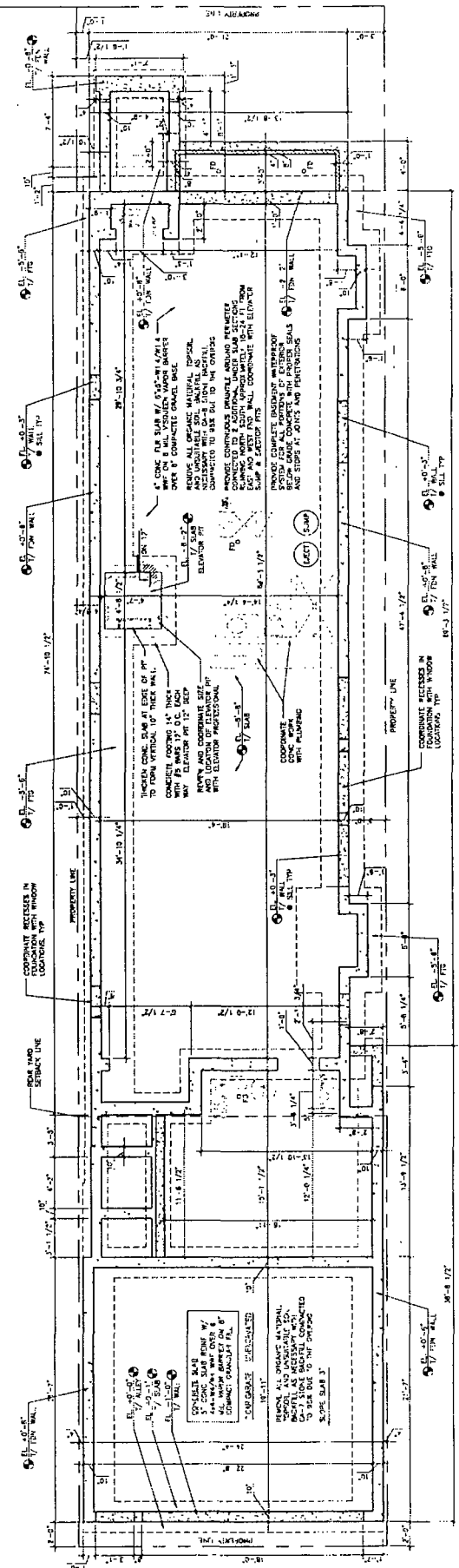
CONCRETE
REINFORCEMENT
INSULATION

FOUNDATION WALL LEGEND

CONCRETE
REINFORCEMENT
INSULATION

FOUNDATION WALL LEGEND

CONCRETE
REINFORCEMENT
INSULATION



PROVIDE INSULATION WITH 1\"/>

1. FOUNDATION PLAN
SCALE: 1/4\"/>

PROVIDE INSULATION WITH 1\"/>



NO.	REVISION
1	ISSUE FOR PERMITS
2	ISSUE FOR PERMITS
3	ISSUE FOR PERMITS
4	ISSUE FOR PERMITS
5	ISSUE FOR PERMITS
6	ISSUE FOR PERMITS
7	ISSUE FOR PERMITS
8	ISSUE FOR PERMITS
9	ISSUE FOR PERMITS
10	ISSUE FOR PERMITS
11	ISSUE FOR PERMITS
12	ISSUE FOR PERMITS
13	ISSUE FOR PERMITS
14	ISSUE FOR PERMITS
15	ISSUE FOR PERMITS
16	ISSUE FOR PERMITS
17	ISSUE FOR PERMITS
18	ISSUE FOR PERMITS
19	ISSUE FOR PERMITS
20	ISSUE FOR PERMITS

STAIR AND HANDRAIL/GUARDBAIL NOTES

- 1. HANDRAILS TO BE CONTINUOUS AND MAINTAIN A HEIGHT OF 36" TO 42" AFF. A
- 2. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 3. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 4. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 5. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 6. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 7. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 8. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 9. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE
- 10. HANDRAILS TO BE 1 1/2" DIA. METAL PIPE

FRAMING NOTES

- 1. FLOOR FRAMING INDICATED ON THIS PLAN IS MEANT TO BE DIAGRAMMATIC ONLY. EXACT CENTER AND SPACING TO BE DETERMINED IN THE FIELD OR BY JOIST
- 2. ALL BRACING AND JOIST SUPPORTING BEAMS, HANGERS, CONCENTRIC JOISTS, ETC
- 3. ALL BRACING AND JOIST SUPPORTING BEAMS, HANGERS, CONCENTRIC JOISTS, ETC
- 4. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS
- 5. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS
- 6. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS
- 7. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS
- 8. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS
- 9. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS
- 10. DOUBLE UP FLOOR JOISTS AGAINST ALL PARALLEL PARTITIONS AND WALLS

DESIGN CRITERIA

FLOOR	100 LL 20# DL	ALL AREAS
WALL	100 LL 10# DL	ALL AREAS
CEILING	100 LL 10# DL	ALL AREAS
ROOF	100 LL 10# DL	ALL AREAS
WIND	100 LL 10# DL	ALL AREAS
SEISMIC	100 LL 10# DL	ALL AREAS
SOIL	100 LL 10# DL	ALL AREAS

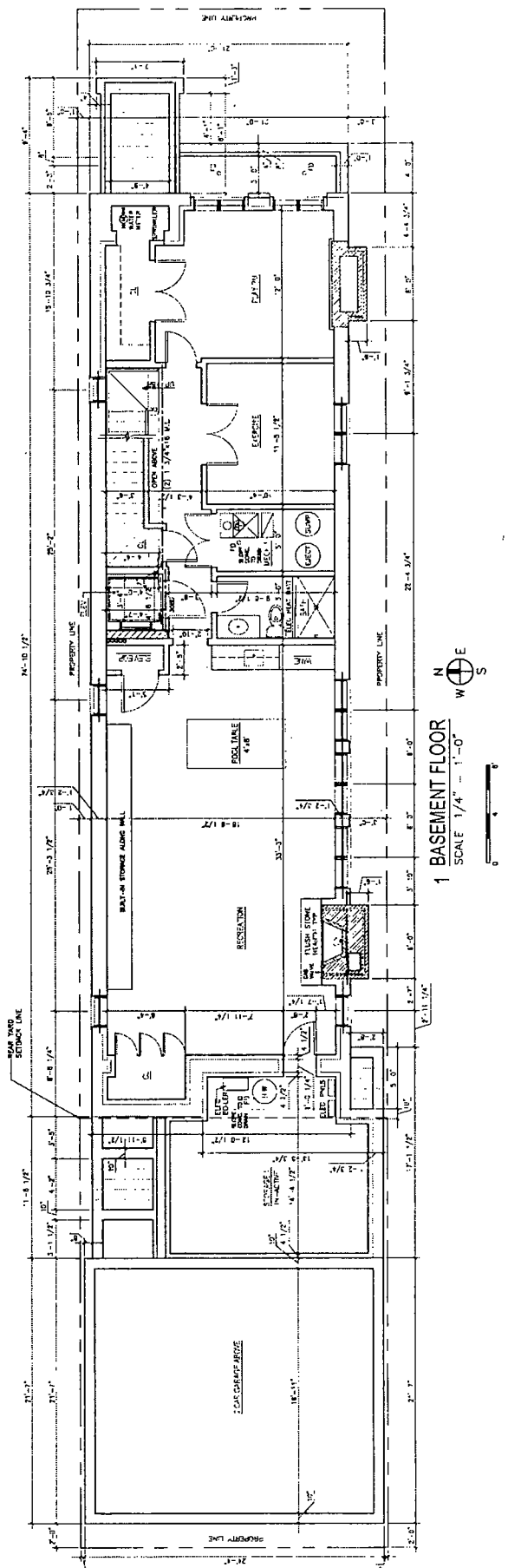
STRUCTURAL FRAMING LAYOUT
ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE

REQUIRED CRIPPLES

REQUIRED CRIPPLE	SPACING	MIN. DIA.	MAX. SPACING
1. CHIMNEY	2' ON CENTER	2"	3'
2. CHIMNEY	2' ON CENTER	2"	3'

- 1. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S WATER TIGHTNESS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S
- 2. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 3. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 4. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 5. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 6. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 7. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 8. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 9. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S
- 10. MECHANICAL PIPING SHALL BE INSTALLED TO FOLLOW THE MANUFACTURER'S

APPLIANCE AND EQUIPMENT NOTE
ALL APPLIANCES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S



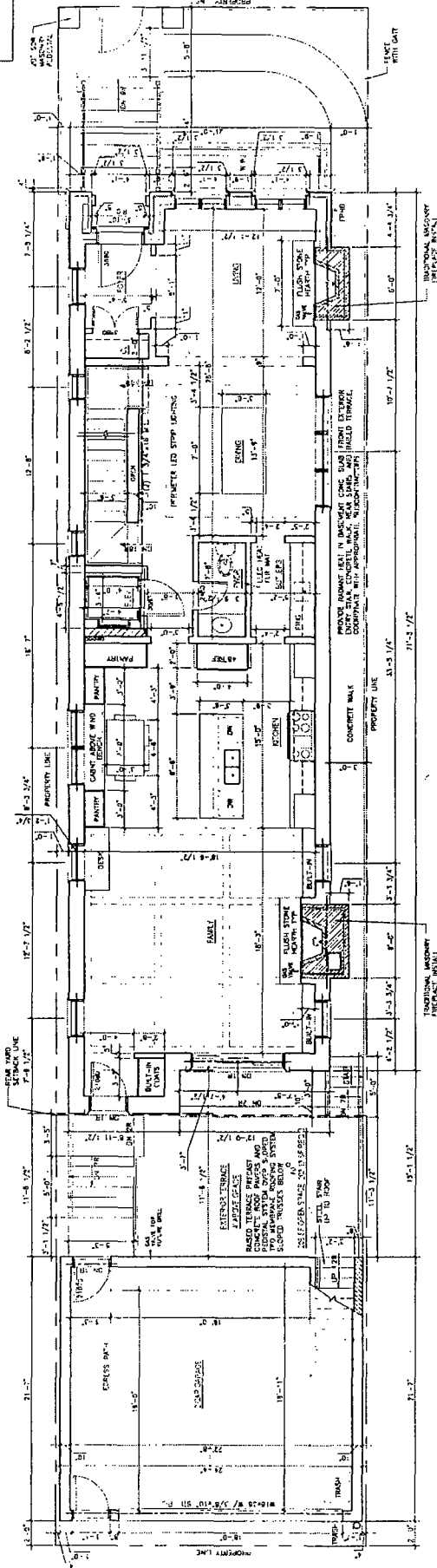
1 BASEMENT FLOOR
SCALE 1/4" = 1'-0"
N
S



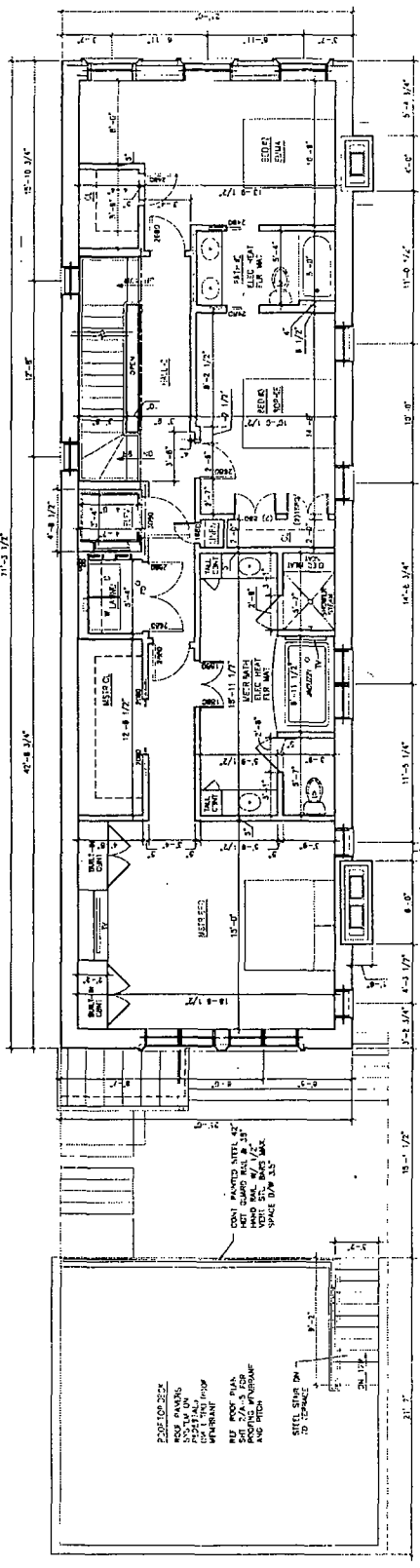
EXTERIOR WALL ASSEMBLY
 EXTERIOR WALL SHALL BE 16" CMU WITH 1" FIBER REINFORCED CONCRETE (FRC) ON EXTERIOR FACE OF CONCRETE. INSULATION SHALL BE 2" POLYISOCYANURATE (PI) INSULATION. FINISH SHALL BE 1/2" GYPSUM BOARD WITH 5/8" TYPE 'X' DRYWALL.

DIMENSIONING SYSTEM
 ALL INTERIOR DIMENSIONS ARE MEASURED TO FACE OF PARTITION UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE OF PARTITION UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE OF PARTITION UNLESS OTHERWISE NOTED.

GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.



1 FIRST FLOOR
 SCALE: 1/4" = 1'-0"
 1517.7 SF FAR



1 SECOND FLOOR
 SCALE: 1/4" = 1'-0"
 1517.7 SF FAR

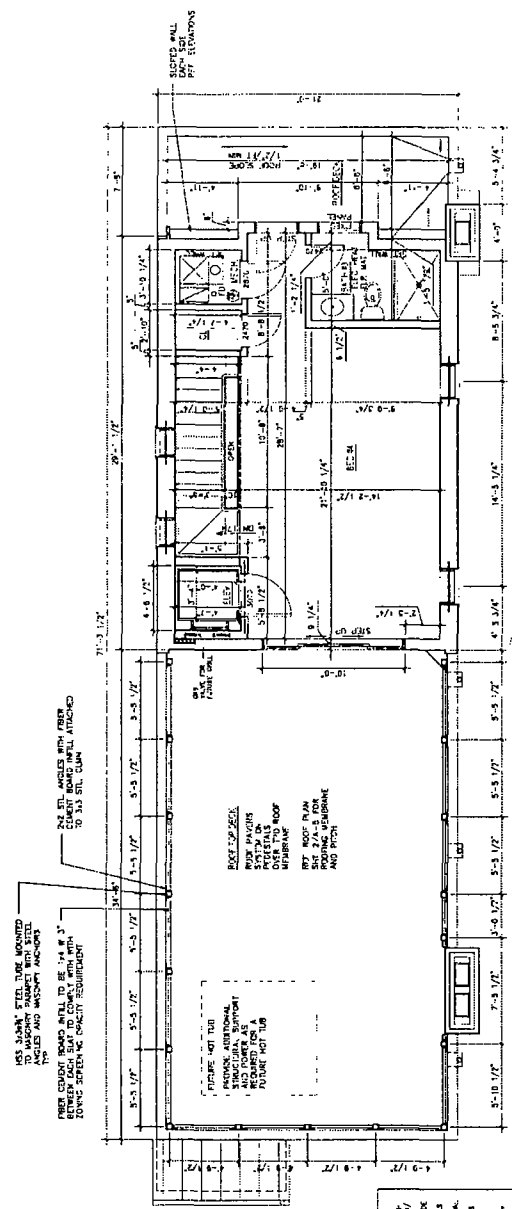


DATE	NO.	DESCRIPTION
10/15/2020	1	ISSUED FOR PERMITS
08/15/2020	2	REVISED PER COMMENTS
07/15/2020	3	REVISED PER COMMENTS
06/15/2020	4	REVISED PER COMMENTS
05/15/2020	5	REVISED PER COMMENTS
04/15/2020	6	REVISED PER COMMENTS
03/15/2020	7	REVISED PER COMMENTS
02/15/2020	8	REVISED PER COMMENTS
01/15/2020	9	REVISED PER COMMENTS
12/15/2019	10	REVISED PER COMMENTS
11/15/2019	11	REVISED PER COMMENTS
10/15/2019	12	REVISED PER COMMENTS
09/15/2019	13	REVISED PER COMMENTS
08/15/2019	14	REVISED PER COMMENTS
07/15/2019	15	REVISED PER COMMENTS
06/15/2019	16	REVISED PER COMMENTS
05/15/2019	17	REVISED PER COMMENTS
04/15/2019	18	REVISED PER COMMENTS
03/15/2019	19	REVISED PER COMMENTS
02/15/2019	20	REVISED PER COMMENTS
01/15/2019	21	REVISED PER COMMENTS
12/15/2018	22	REVISED PER COMMENTS
11/15/2018	23	REVISED PER COMMENTS
10/15/2018	24	REVISED PER COMMENTS
09/15/2018	25	REVISED PER COMMENTS
08/15/2018	26	REVISED PER COMMENTS
07/15/2018	27	REVISED PER COMMENTS
06/15/2018	28	REVISED PER COMMENTS
05/15/2018	29	REVISED PER COMMENTS
04/15/2018	30	REVISED PER COMMENTS
03/15/2018	31	REVISED PER COMMENTS
02/15/2018	32	REVISED PER COMMENTS
01/15/2018	33	REVISED PER COMMENTS
12/15/2017	34	REVISED PER COMMENTS
11/15/2017	35	REVISED PER COMMENTS
10/15/2017	36	REVISED PER COMMENTS
09/15/2017	37	REVISED PER COMMENTS
08/15/2017	38	REVISED PER COMMENTS
07/15/2017	39	REVISED PER COMMENTS
06/15/2017	40	REVISED PER COMMENTS
05/15/2017	41	REVISED PER COMMENTS
04/15/2017	42	REVISED PER COMMENTS
03/15/2017	43	REVISED PER COMMENTS
02/15/2017	44	REVISED PER COMMENTS
01/15/2017	45	REVISED PER COMMENTS
12/15/2016	46	REVISED PER COMMENTS
11/15/2016	47	REVISED PER COMMENTS
10/15/2016	48	REVISED PER COMMENTS
09/15/2016	49	REVISED PER COMMENTS
08/15/2016	50	REVISED PER COMMENTS
07/15/2016	51	REVISED PER COMMENTS
06/15/2016	52	REVISED PER COMMENTS
05/15/2016	53	REVISED PER COMMENTS
04/15/2016	54	REVISED PER COMMENTS
03/15/2016	55	REVISED PER COMMENTS
02/15/2016	56	REVISED PER COMMENTS
01/15/2016	57	REVISED PER COMMENTS
12/15/2015	58	REVISED PER COMMENTS
11/15/2015	59	REVISED PER COMMENTS
10/15/2015	60	REVISED PER COMMENTS
09/15/2015	61	REVISED PER COMMENTS
08/15/2015	62	REVISED PER COMMENTS
07/15/2015	63	REVISED PER COMMENTS
06/15/2015	64	REVISED PER COMMENTS
05/15/2015	65	REVISED PER COMMENTS
04/15/2015	66	REVISED PER COMMENTS
03/15/2015	67	REVISED PER COMMENTS
02/15/2015	68	REVISED PER COMMENTS
01/15/2015	69	REVISED PER COMMENTS
12/15/2014	70	REVISED PER COMMENTS
11/15/2014	71	REVISED PER COMMENTS
10/15/2014	72	REVISED PER COMMENTS
09/15/2014	73	REVISED PER COMMENTS
08/15/2014	74	REVISED PER COMMENTS
07/15/2014	75	REVISED PER COMMENTS
06/15/2014	76	REVISED PER COMMENTS
05/15/2014	77	REVISED PER COMMENTS
04/15/2014	78	REVISED PER COMMENTS
03/15/2014	79	REVISED PER COMMENTS
02/15/2014	80	REVISED PER COMMENTS
01/15/2014	81	REVISED PER COMMENTS
12/15/2013	82	REVISED PER COMMENTS
11/15/2013	83	REVISED PER COMMENTS
10/15/2013	84	REVISED PER COMMENTS
09/15/2013	85	REVISED PER COMMENTS
08/15/2013	86	REVISED PER COMMENTS
07/15/2013	87	REVISED PER COMMENTS
06/15/2013	88	REVISED PER COMMENTS
05/15/2013	89	REVISED PER COMMENTS
04/15/2013	90	REVISED PER COMMENTS
03/15/2013	91	REVISED PER COMMENTS
02/15/2013	92	REVISED PER COMMENTS
01/15/2013	93	REVISED PER COMMENTS
12/15/2012	94	REVISED PER COMMENTS
11/15/2012	95	REVISED PER COMMENTS
10/15/2012	96	REVISED PER COMMENTS
09/15/2012	97	REVISED PER COMMENTS
08/15/2012	98	REVISED PER COMMENTS
07/15/2012	99	REVISED PER COMMENTS
06/15/2012	100	REVISED PER COMMENTS

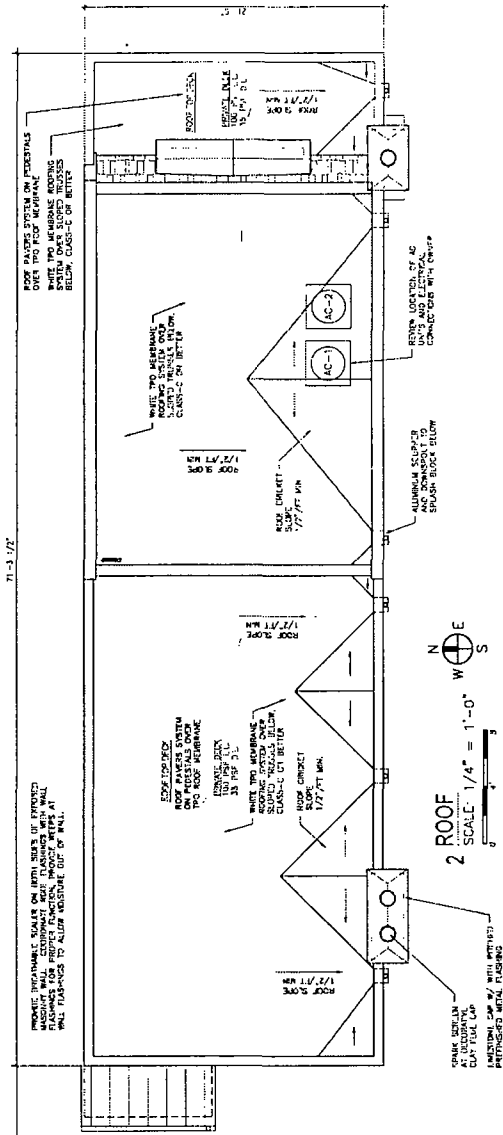
PATRICK PLATTNER
 ARCHITECT
 1111 N. LEXINGTON AVE.
 CHICAGO, ILLINOIS 60610
 TEL: 312.555.1234
 FAX: 312.555.5678
 WWW.PATRICKPLATTNER.COM

THIRD FLOOR & ROOF PLANS
 SINGLE FAMILY RESIDENCE
 1346 N. LEXINGTON AVE
 CHICAGO, ILLINOIS

SHEET NO
A-5
 SHEET 5 OF 9



1 THIRD FLOOR
 SCALE: 1/4" = 1'-0"
 620 SF F.A.R.



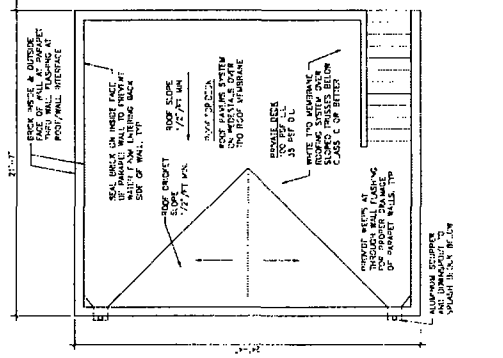
2 ROOF
 SCALE: 1/4" = 1'-0"

- ROOF NOTES:**
1. ALL ROOF FLASHINGS TO TERMINATE AT REAR OF ROOF.
 2. REFER TO SHEET FOR EXTERIOR WALLS, VENTS AND SPECIFICATIONS.
 3. PROVIDE WATER TIGHTNESS REQUIRED FOR D-GOOD BLENDING CODE.
 4. PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.
 5. PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.
 6. PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.
 7. PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.
 8. PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.

PROVIDE DORMER FLASHING AND BUILT UP FLASHING AT ROOF/WALL INTERFACE.

PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.

PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.



PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.

PROVIDE FLASHING OVER ROOF FLASHING, EXTERIOR FLASHING TO TRIM AND FLASHING OVER ROOF FLASHING.



PATRICK PLUNETT
 ARCHITECT
 17 W. WASHINGTON
 CHICAGO, ILLINOIS 60604
 TEL: (312) 555-1234
 FAX: (312) 555-5678
 E-MAIL: PPLUNETT@PPLUNETT.COM

EXTERIOR ELEVATIONS & BUILDING SECTION
 SINGLE FAMILY RESIDENCE
 2346 N. LAKEWOOD AVE.
 CHICAGO, ILLINOIS
 SHEET NO. **A-6**

STANDARD ELEVATION NOTES

1. ALL MATERIALS AND FINISHES TO BE SHOWN ON THESE ELEVATIONS ARE TO BE USED UNLESS OTHERWISE NOTED.

2. ALL MATERIALS AND FINISHES TO BE SHOWN ON THESE ELEVATIONS ARE TO BE USED UNLESS OTHERWISE NOTED.

3. ALL MATERIALS AND FINISHES TO BE SHOWN ON THESE ELEVATIONS ARE TO BE USED UNLESS OTHERWISE NOTED.

4. ALL MATERIALS AND FINISHES TO BE SHOWN ON THESE ELEVATIONS ARE TO BE USED UNLESS OTHERWISE NOTED.

5. ALL MATERIALS AND FINISHES TO BE SHOWN ON THESE ELEVATIONS ARE TO BE USED UNLESS OTHERWISE NOTED.

IMPORTANT LIMESTONE NOTE

1. ALL STONE EMPLOYED HEREON AND CONNECTIONS THEREWITH SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.

2. ALL STONE EMPLOYED HEREON AND CONNECTIONS THEREWITH SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.

3. ALL STONE EMPLOYED HEREON AND CONNECTIONS THEREWITH SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.

IMPORTANT FLASHING NOTE

1. ALL FLASHING SHALL BE INSTALLED WITH WATER DRAINAGE AND A SLOPE AWAY FROM THE BUILDING.

2. ALL FLASHING SHALL BE INSTALLED WITH WATER DRAINAGE AND A SLOPE AWAY FROM THE BUILDING.

3. ALL FLASHING SHALL BE INSTALLED WITH WATER DRAINAGE AND A SLOPE AWAY FROM THE BUILDING.

WINDSHIELD PROTECTION

1. WINDSHIELD PROTECTION SHALL BE PROVIDED FOR ALL WINDOWS AND GLAZING.

2. WINDSHIELD PROTECTION SHALL BE PROVIDED FOR ALL WINDOWS AND GLAZING.

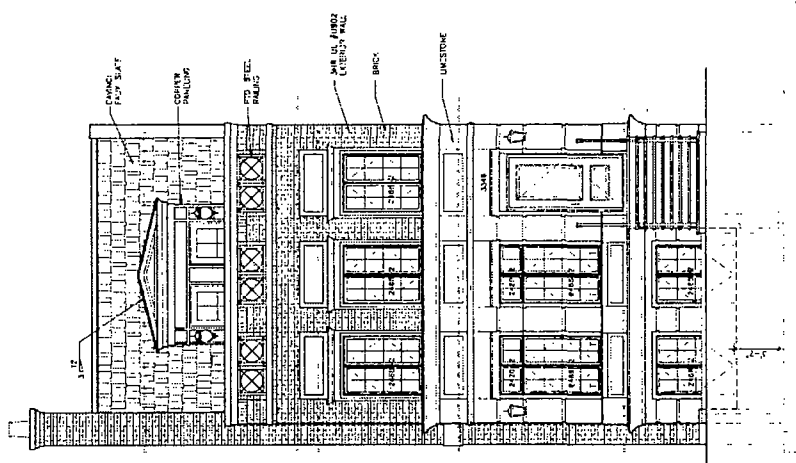
3. WINDSHIELD PROTECTION SHALL BE PROVIDED FOR ALL WINDOWS AND GLAZING.

BUILDING PAPER AND AIR BARRIER INFORMATION

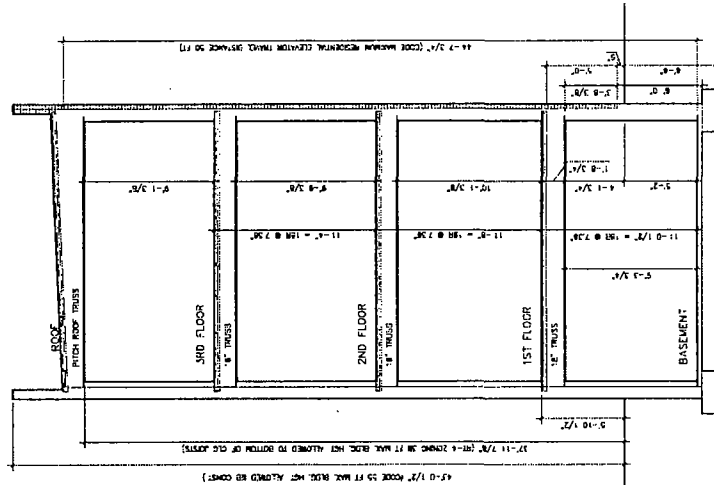
1. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH AN AIR BARRIER SYSTEM.

2. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH AN AIR BARRIER SYSTEM.

3. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH AN AIR BARRIER SYSTEM.




1 EAST ELEVATION



2 BUILDING SECTION

SCALE: 1/4" = 1'-0"



DATE	DESCRIPTION	DRAWN BY	CHECKED BY	SCALE

PATRICK PLUNKETT
PROFESSIONAL ENGINEER
LICENSE NO. 13567
EXPIRES 12/31/2024
STATE OF ILLINOIS

EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE
3346 N. LAKEWOOD AVE.
CHICAGO, ILLINOIS

SHEET NO
A-7
11/11/24

2013 I.C.C. 402.3 PENETRATION (GENERAL),
FIRE-RESISTANCE
FIRE-RESISTANCE RATING OF PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

SMALL GAZED PENETRATION ASSEMBLIES
SMALL GAZED PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

SMALL UNGAZED PENETRATION ASSEMBLIES
SMALL UNGAZED PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

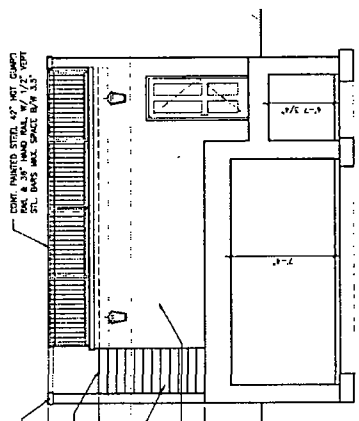
SMALL PENETRATION ASSEMBLIES
SMALL PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

SMALL PENETRATION ASSEMBLIES
SMALL PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

SMALL PENETRATION ASSEMBLIES
SMALL PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

SMALL PENETRATION ASSEMBLIES
SMALL PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

SMALL PENETRATION ASSEMBLIES
SMALL PENETRATION ASSEMBLIES SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

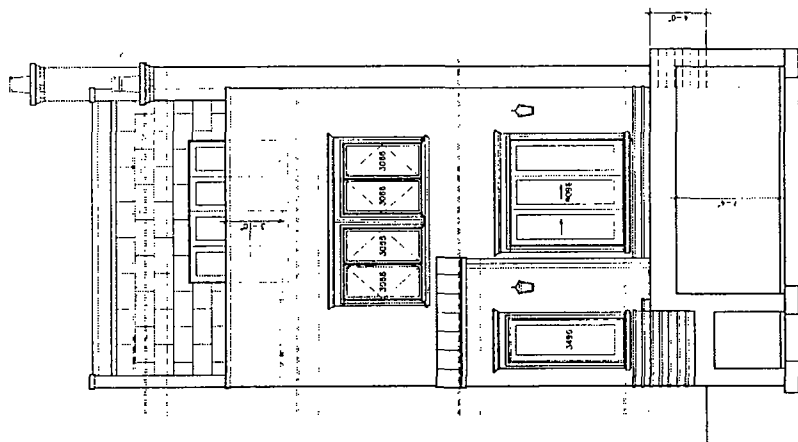
Annotations for 3 East Elevation:
 1/7 CORRUGATED ALUMINUM SCAFFOLD BRICK (11'-0" x 11'-0")
 1/7 SOLID BRICK (11'-0" x 11'-0")
 1/7 CORRUGATED ALUMINUM SCAFFOLD BRICK (11'-0" x 11'-0")
 1/7 SOLID BRICK (11'-0" x 11'-0")

CLADDING IN HAZARDOUS LOCATION NOTES
CLADDING IN HAZARDOUS LOCATIONS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

CLADDING IN HAZARDOUS LOCATIONS
CLADDING IN HAZARDOUS LOCATIONS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

CLADDING IN HAZARDOUS LOCATIONS
CLADDING IN HAZARDOUS LOCATIONS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

CLADDING IN HAZARDOUS LOCATIONS
CLADDING IN HAZARDOUS LOCATIONS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

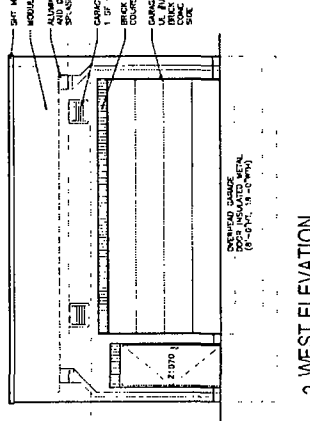
Annotations for 1 West Elevation:
 1/7 CORRUGATED ALUMINUM SCAFFOLD BRICK (11'-0" x 11'-0")
 1/7 SOLID BRICK (11'-0" x 11'-0")
 1/7 CORRUGATED ALUMINUM SCAFFOLD BRICK (11'-0" x 11'-0")
 1/7 SOLID BRICK (11'-0" x 11'-0")

WINDOW INFORMATION
ALL WINDOWS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

WINDOW INFORMATION
ALL WINDOWS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

WINDOW INFORMATION
ALL WINDOWS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.

WINDOW INFORMATION
ALL WINDOWS SHALL BE PERMITTED TO EXCEED THE PENETRATION REQUIREMENTS.



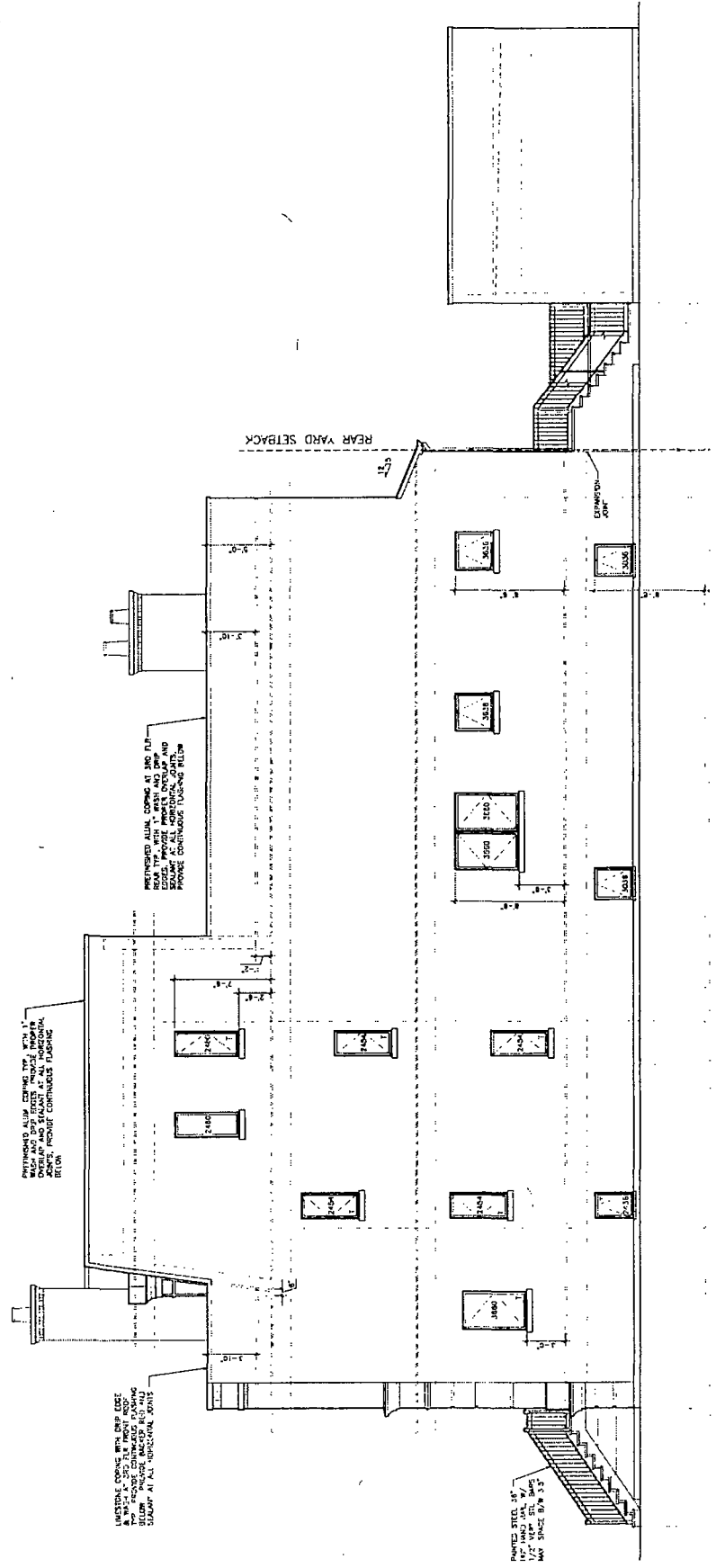
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Annotations for 2 West Elevation:
 1/7 CORRUGATED ALUMINUM SCAFFOLD BRICK (11'-0" x 11'-0")
 1/7 SOLID BRICK (11'-0" x 11'-0")
 1/7 CORRUGATED ALUMINUM SCAFFOLD BRICK (11'-0" x 11'-0")
 1/7 SOLID BRICK (11'-0" x 11'-0")



PROJECT NO.	123456789
DATE	10/15/2023
DESIGNED BY	PK
CHECKED BY	PK
IN CHARGE	PK
SCALE	AS SHOWN
PROJECT	PATRICK PLATTNER
CLIENT	3346 N LAYWOOD AVE CHICAGO, ILLINOIS

EXTERIOR ELEVATIONS
 SINGLE FAMILY RESIDENCE
 3346 N LAYWOOD AVE
 CHICAGO, ILLINOIS
 SHEET NO. A-8
 OF 8



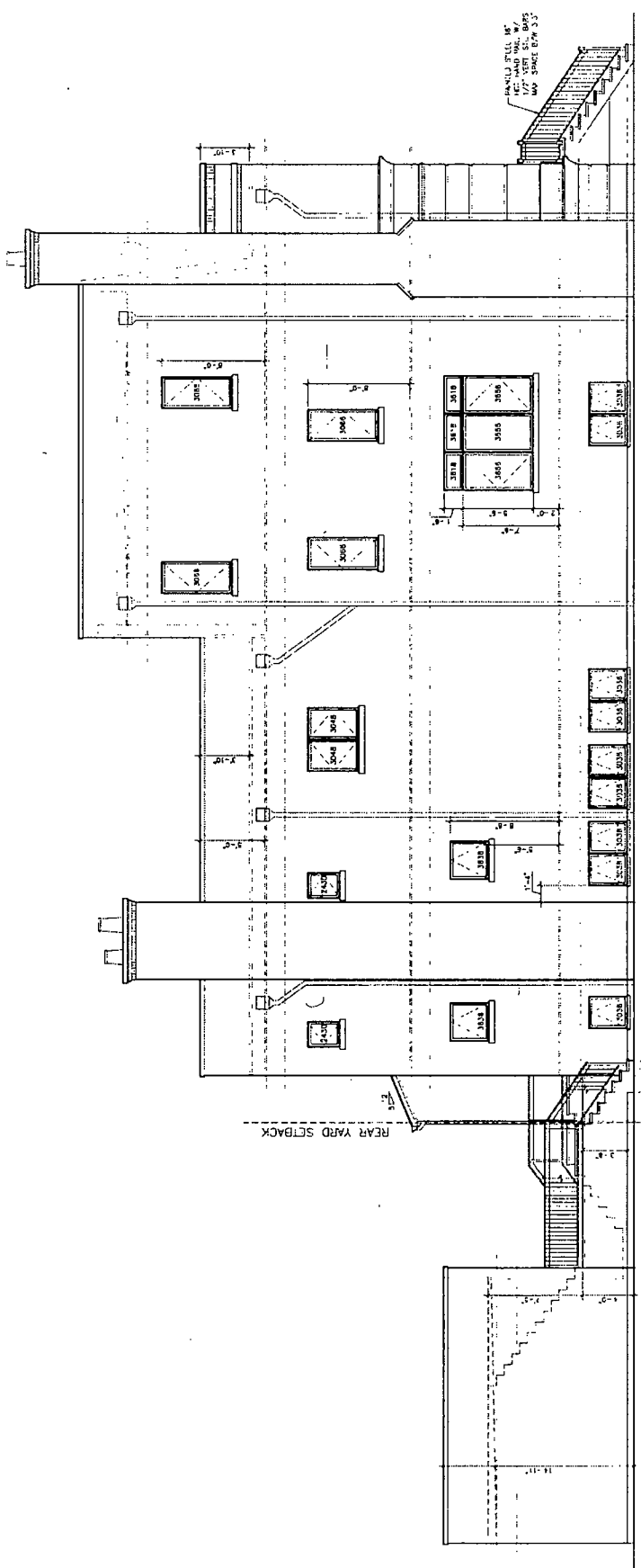
1 NORTH ELEVATION
 SCALE 1/4" = 1'-0"

SHEET NO
A-9

EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE
3348 N LAKEMOOD AVE
CHICAGO, ILLINOIS

PATRICK PLUNKETT
ARCHITECT
1717 N. LAUREL ST. CHICAGO, ILL. 60642
TEL: 312-271-1111

NO. DRAWING	DATE	BY	CHKD.
NO. 1000	10/10/00	PK	PK
NO. 1001	10/10/00	PK	PK
NO. 1002	10/10/00	PK	PK
NO. 1003	10/10/00	PK	PK
NO. 1004	10/10/00	PK	PK
NO. 1005	10/10/00	PK	PK
NO. 1006	10/10/00	PK	PK
NO. 1007	10/10/00	PK	PK
NO. 1008	10/10/00	PK	PK
NO. 1009	10/10/00	PK	PK
NO. 1010	10/10/00	PK	PK



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

