



City of Chicago



SO2018-1885

Office of the City Clerk

Document Tracking Sheet

Meeting Date:	2/28/2018
Sponsor(s):	Misc. Transmittal
Type:	Ordinance
Title:	Zoning Reclassification Map No. 11-H at 4551-4533 N Ravenswood Ave - App No. 19568T1
Committee(s) Assignment:	Committee on Zoning, Landmarks and Building Standards

SUBSTITUTE ORDINANCE No. 19568T1

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17, of the Municipal Code of Chicago, the Chicago Zoning Ordinance be amended by changing all the B3-2 Community Shopping District and M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map No.11-H in the area bounded by

a line 42 feet south of and parallel to West Wilson Avenue; the alley next east of and parallel to North Ravenswood Avenue; a line 92 feet south of and parallel to West Wilson Avenue; and North Ravenswood Avenue,

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 4551-4553 North Ravenswood Avenue

17-13-0303-C (1) Substitute Ordinance (No. 19568T1) and Substitute Narrative and Plans
4551-4553 North Ravenswood Avenue, Chicago, Illinois

Proposed Zoning: B2-3 Neighborhood Mixed-Use District

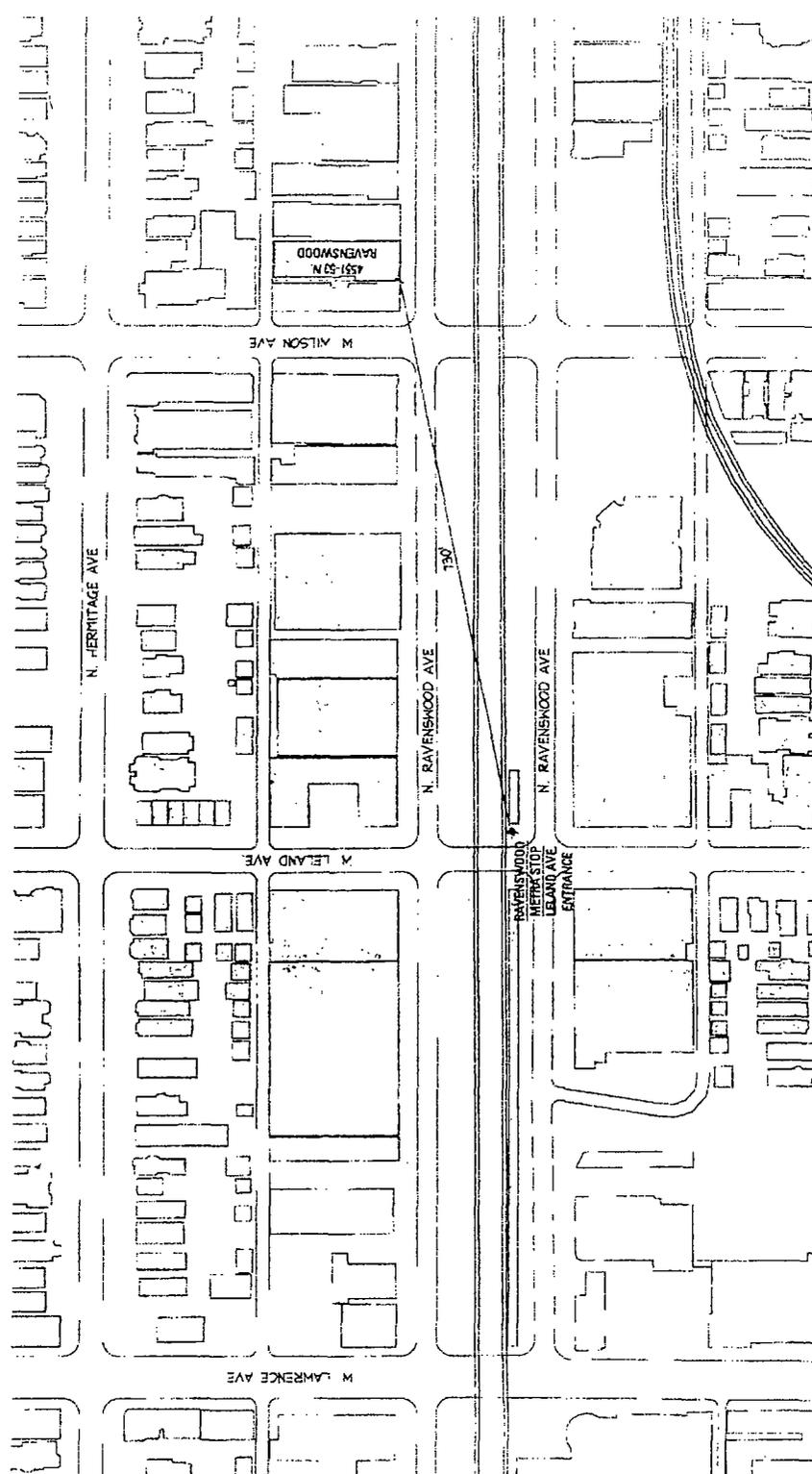
Lot Area: 8,190.75 square feet

Proposed Land Use: The Applicant is seeking a zoning change in order to permit the construction of a new four-story mixed-use building, at the subject property. The existing building will be razed. The new proposed building will contain commercial space (4,792 square feet) – at grade level, and a total of twelve (12) dwelling units – above (2nd thru 4th Floors). The proposal also calls for the erection of a small outdoor deck (1,507 square feet), above the roof of the 4th Floor. The subject property is located less than 1,320 linear feet from the Ravenswood CTA Station, and - therefore, the proposal qualifies as a Transit Oriented Development (TOD). As such, and pursuant to the TOD Ordinance, the Applicant intends to provide onsite parking for three (3) vehicles and twelve (12) bicycles – at the rear of the new building. The new proposed building will be masonry in construction and will measure 49 feet-5½ inches in height (ceiling of 4th Floor).

- (A) The Project's Floor Area Ratio: 24,047 square feet (2.94 FAR)
- (B) The Project's Density (Lot Area Per Dwelling Unit):
12 dwelling units (682.6 square feet)
- (C) The amount of off-street parking: 3 vehicular parking spaces
12 bicycle parking places

**The subject property is located less than 1,320 linear feet from entrance of the Ravenswood CTA Station, therefore the Applicant is seeking a 75% parking reduction, pursuant to the Transit Oriented Development (TOD) Ordinance.*

- (D) Setbacks:
 - a. Front Setback: 0 feet-0 inches
 - b. Rear Setback: 2 feet-0 inches (1st Floor/non-residential)
31 feet-3 3/8 inches (2nd thru 4th Floors/residential)
 - c. Side Setbacks:
North: 0 feet-0 inches
South: 0 feet-0 inches
- (E) Building Height:
49 feet-5½ inches (ceiling of 4th Floor)



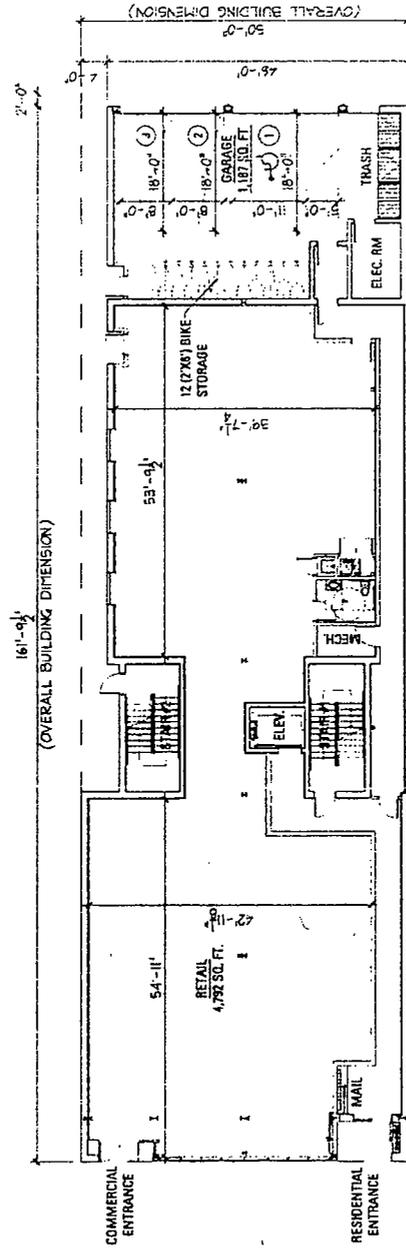
15a
 Jonathan SPLITT ARCHITECTS LLC
 4001 North Ravenswood Avenue
 Suite 401
 Chicago, Illinois 60654-1100
 773 888 1017 fax 773 888 8081

DISTANCE TO METRA FORT O.D.
 1/25" = 1'-0"
 N

PREP #
 DATE OF DEVELOPMENT
 REV. NO. / DATE
 PROJECT NO.
 DESCRIPTION



FINAL FOR PUBLICATION



FIRST FLOOR PLAN
7,834 GROSS SQ. FT. (6,447 F.A.R. SQ. FT.)



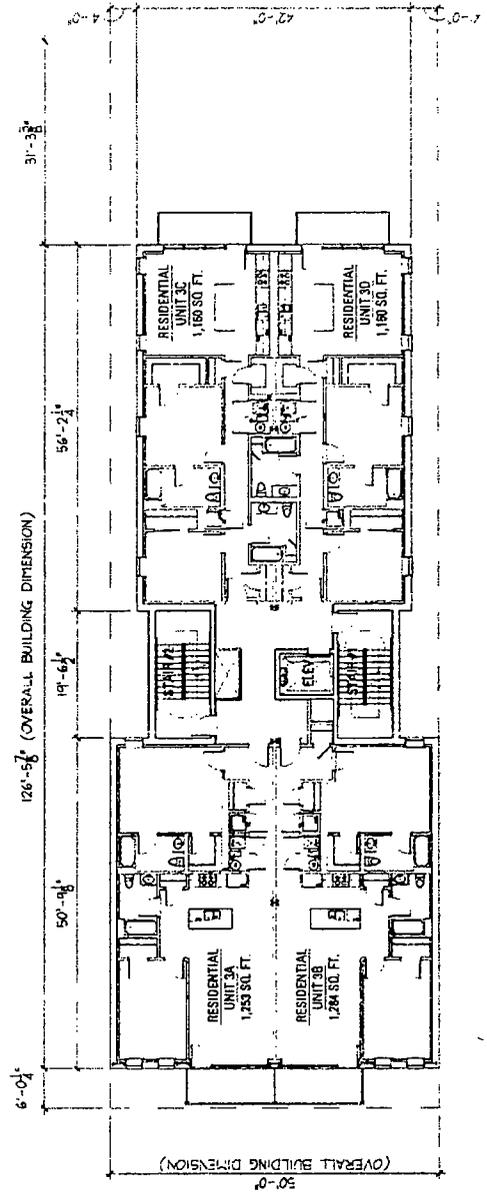
JSB
 JOHNSON SPLITTS ARCHITECTS LLC
 4001 NORTH KENNESAW AVENUE
 SUITE 601
 CHICAGO, ILLINOIS 60655-2503
 773.859.1017 FAX 773.859.8081

PROJ #
 PROJ #
 ASSOCIATION

FINAL FOR PUBLICATION

A
21

WOOD LAKE DEVELOPMENT
 100-001 WOOD LAKE AVENUE
 CHICAGO, ILLINOIS
 STUDY IS ISSUED FOR REVIEW



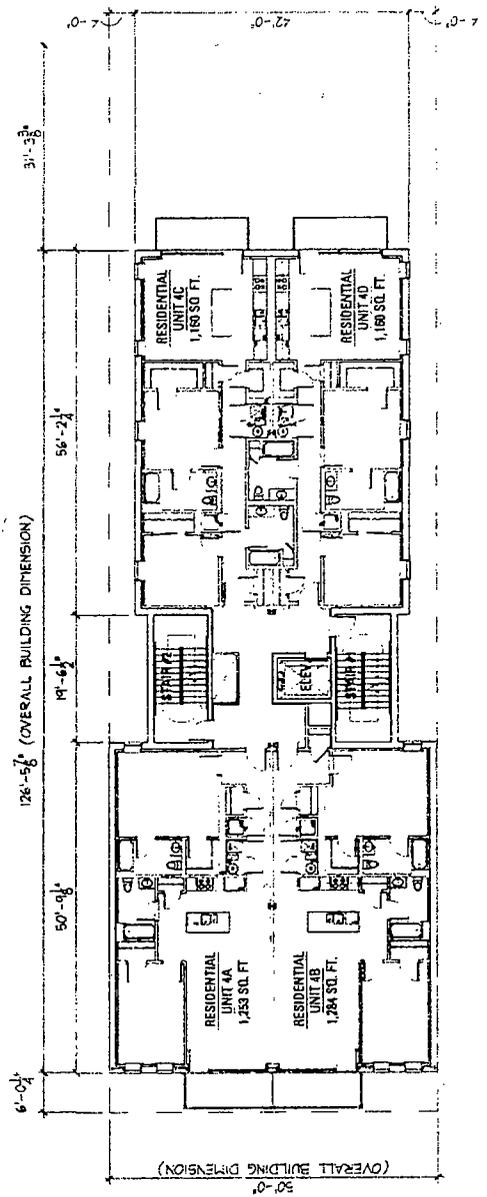
THIRD FLOOR PLAN
 5,646 SQ. FT.
 1/16" = 1'-0"
 0 5 10 15 20

JSA
 JOSEPHAN & PLITT ARCHITECTS LLC
 4001 NORTH GREENWOOD AVENUE
 SUITE 201
 506 450 ILICIAIS 808124574
 773 888 1017 FAX 773 888 3081

proj. #
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 VALUE DEVELOPMENT
 ANY CONDICTIONS
 SUBJECT MATTERWOOD.AE
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FINAL FOR PUBLICATION

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 7.3

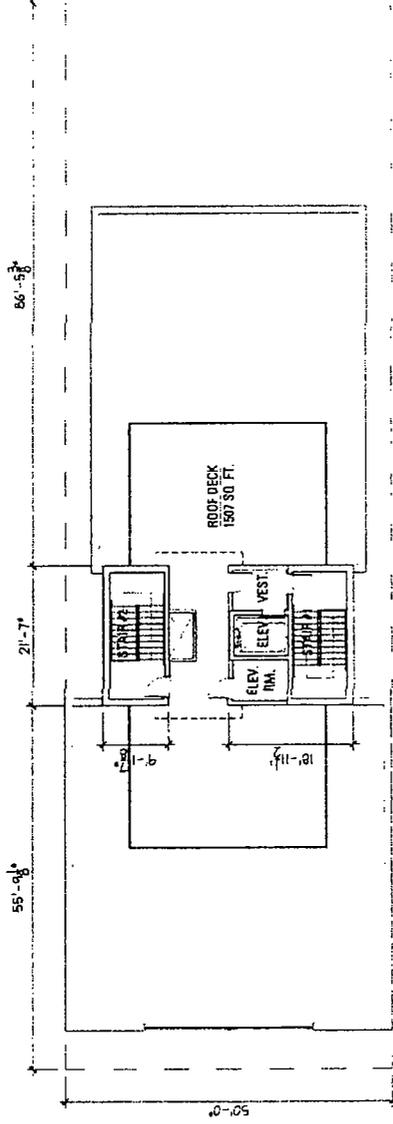


FOURTH FLOOR PLAN
 5,648 SQ. FT.
 1/8" = 1'-0"
 0' 5' 10' 20'

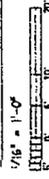
JSB
 JOHNSON SPALITZ ARCHITECTS ILL
 4001 NORTH LAURELWOOD AVENUE
 SUITE 601
 CHICAGO, ILLINOIS 60632-2259
 773.888.1817 FAX 773.888.9081

FINAL FOR PUBLICATION

proj #
 proj.
 A
 2/4
 CONSULTANT
 ARCHITECTURE
 1000 N. LAURELWOOD AVE
 CHICAGO, ILL. 60632
 773.888.1817 FAX 773.888.9081



ROOF PLAN
882 SQ. FT.



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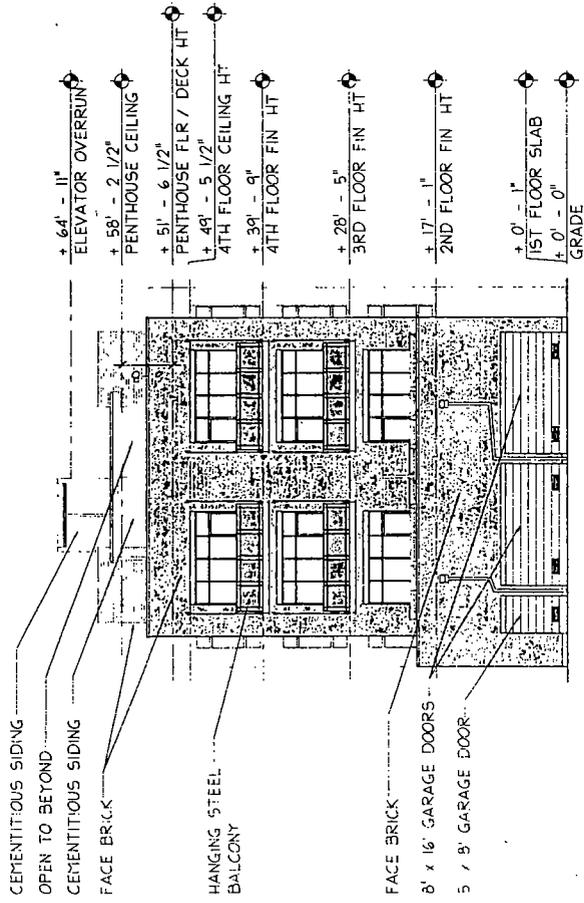
JSB
JOHNSON & BLITT architects llc
4001 NORTH LAVERGNE AVENUE
SUITE 801
CHICAGO, ILLINOIS 60613-4876
773.833.1017 • 773.833.1081

Proj #
Date:

APPROVED FOR DEVELOPMENT
BY THE COMMISSION ON
ZONING AND ORDINANCE
CHICAGO, ILLINOIS
DATE OF REVIEW: 10/17/11

A
2.15

Description



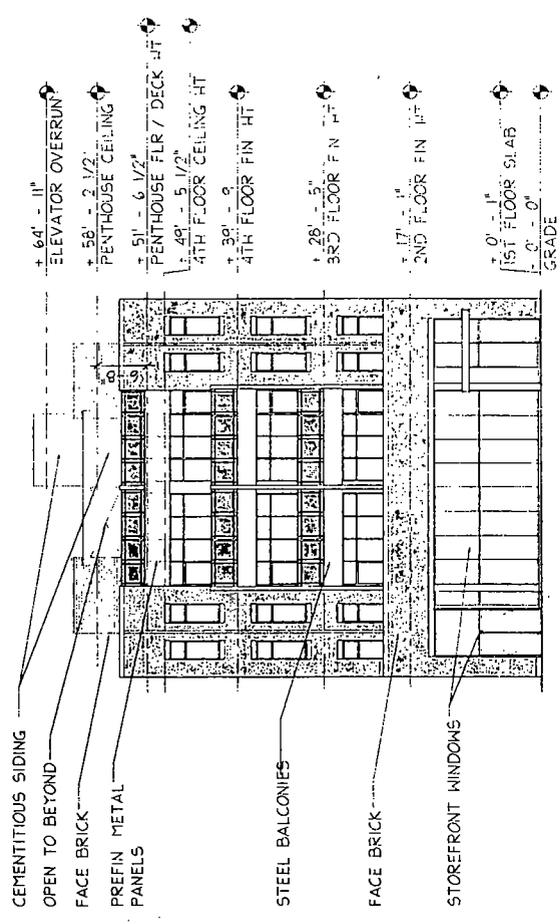
CEMENTITIOUS SIDING
 OPEN TO BEYOND
 CEMENTITIOUS SIDING
 FACE BRICK

HANGING STEEL
 BALCONY

FACE BRICK
 8' x 16' GARAGE DOORS
 5' x 9' GARAGE DOOR

+ 64' - 11" ELEVATOR OVERRUN
 + 58' - 2 1/2" PENTHOUSE CEILING
 + 51' - 6 1/2" PENTHOUSE FLR / DECK HT
 + 49' - 5 1/2" 4TH FLOOR CEILING HT
 + 39' - 9" 4TH FLOOR FIN HT
 + 29' - 5" 3RD FLOOR FIN HT
 + 17' - 1" 2ND FLOOR FIN HT
 + 0' - 1" 1ST FLOOR SLAB
 + 0' - 0" GRADE

EAST ELEVATION
 1/16" = 1'-0"
 5 10 20



CEMENTITIOUS SIDING
 OPEN TO BEYOND
 FACE BRICK
 PREFIN METAL
 PANELS

STEEL BALCONIES

FACE BRICK

STOREFRONT WINDOWS

+ 64' - 11" ELEVATOR OVERRUN
 + 58' - 2 1/2" PENTHOUSE CEILING
 + 51' - 6 1/2" PENTHOUSE FLR / DECK HT
 + 49' - 5 1/2" 4TH FLOOR CEILING HT
 + 39' - 9" 4TH FLOOR FIN HT
 + 29' - 5" 3RD FLOOR FIN HT
 + 17' - 1" 2ND FLOOR FIN HT
 + 0' - 1" 1ST FLOOR SLAB
 + 0' - 0" GRADE

WEST ELEVATION
 1/16" = 1'-0"
 5 10 20

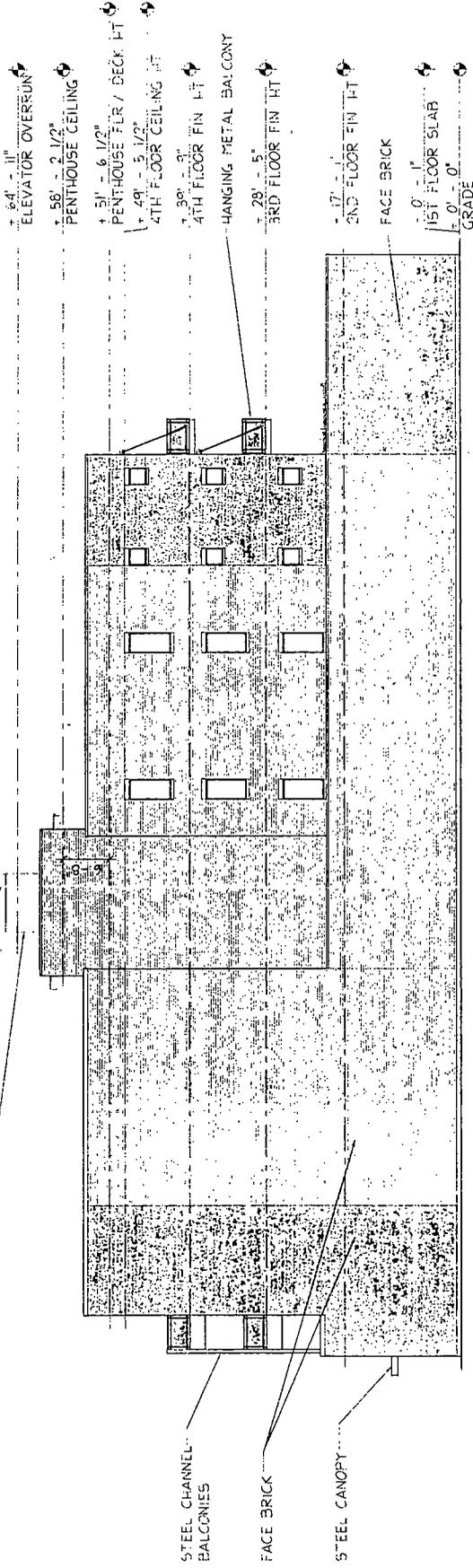
JSA
 Jonathan SPLITT architects llc.
 4001 north Ravenswood Avenue
 Suite 601
 Chicago Illinois 606132575
 773 683 1017 • 773 683 3081

FINAL FOR PUBLICATION

proj #
 proj
 description

UNAPPROVED DEVELOPMENT
 NEW CONSTRUCTION
 4001 N. RAVENSWOOD AVE
 CHICAGO, IL 60641
 3.

CEMENTITIOUS SIDING



SOUTH ELEVATION

1/16" = 1'-0"



jsa
 jonathan splitt architects llc
 4001 north stevenswood avenue
 suite 601 illinois
 60640
 773 893 1017 / 773 893 3081

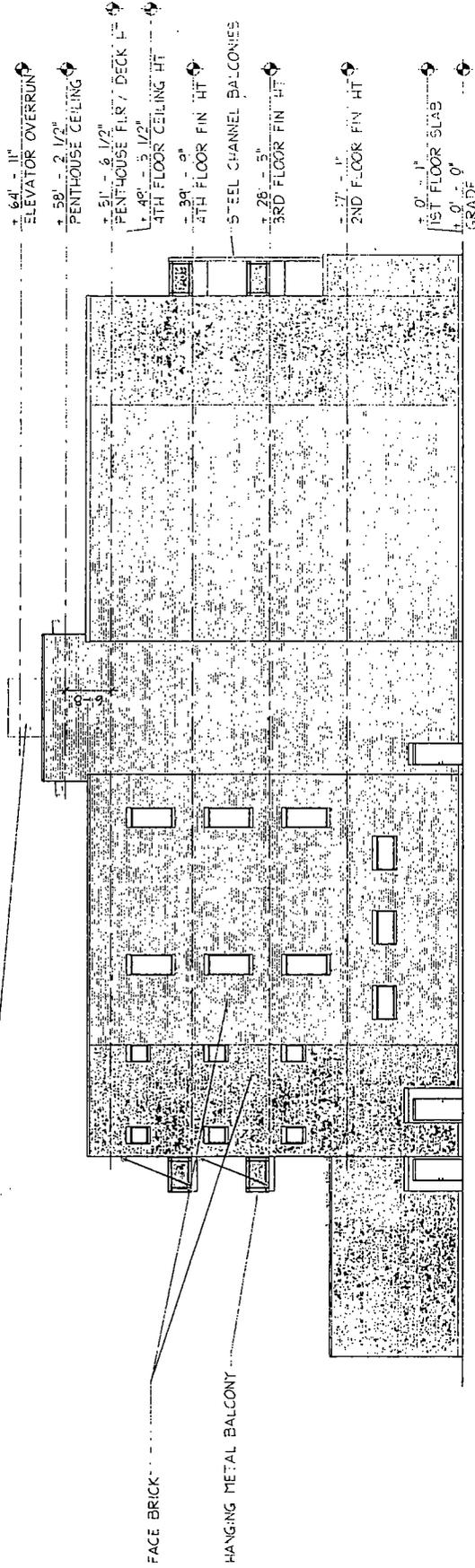
FINAL FOR PUBLICATION

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proj

APPROVED FOR PUBLICATION
 ARCHITECT
 4201-43 N. HAVENSWOOD AVE
 CHICAGO, IL 60640

description

CEMENTITIOUS SIDING



NORTH ELEVATION

1/16" = 1'-0"



JSa
 Jonathan SPLITT architects llc.
 4001 north Ravenswood Avenue
 Suite 601
 Chicago Illinois 60612-2576
 773.883.1017 fax 773.883.3081

FINAL FOR PUBLICATION

proj. #

MAKED USE DEVELOPMENT
 NEW CONSTRUCTION
 4531-53 N. RAVENSWOOD AVE
 CHICAGO, IL 60631
 5/07/2018 ISSUED FOR REVIEW

description