



# City of Chicago



SO2016-7928

Office of the City Clerk

## Document Tracking Sheet

**Meeting Date:** 11/1/2016

**Sponsor(s):** Misc. Transmittal

**Type:** Ordinance

**Title:** Zoning Reclassification Map No. 11-H at 1800-1806 W  
Warner Ave and 4130-4140 N Ravenswood Ave - App No.  
19015T1

**Committee(s) Assignment:** Committee on Zoning, Landmarks and Building Standards

# 19015 T1  
INTRO. DATE:  
NOV. 01, 2016

ORDINANCE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map No. 11-H in the area bounded by

A line 69.54 feet West of and parallel to North Ravenswood Avenue, the alley next North and Parallel to West Warner Avenue, North Ravenswood Avenue, West Warner Avenue

to those of a RM-4.5 Residential Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Address of Property: 1800-1806 West Warner Avenue/4130-4140 North Ravenswood Avenue

**NARRATIVE**  
**1800-1860 West Warner/4130-4140 North Ravenswood**  
**Zoning from M1-2 to RM-4.5**

APPLICANT SEEKS TO RE-ZONE FROM M1-2 TO RM-4.5 TO BUILD (5) NEW TOWNHOMES

BUILDING -1 = THREE TOWNHOMES FACING WARNER AVE

\*Note this building will need zoning variations to reduce the setback

BUILDING -2 = TWO TOWNHOMES FACING RAVENSWOOD AVE

\*Note this building will need zoning variations to reduce the setback

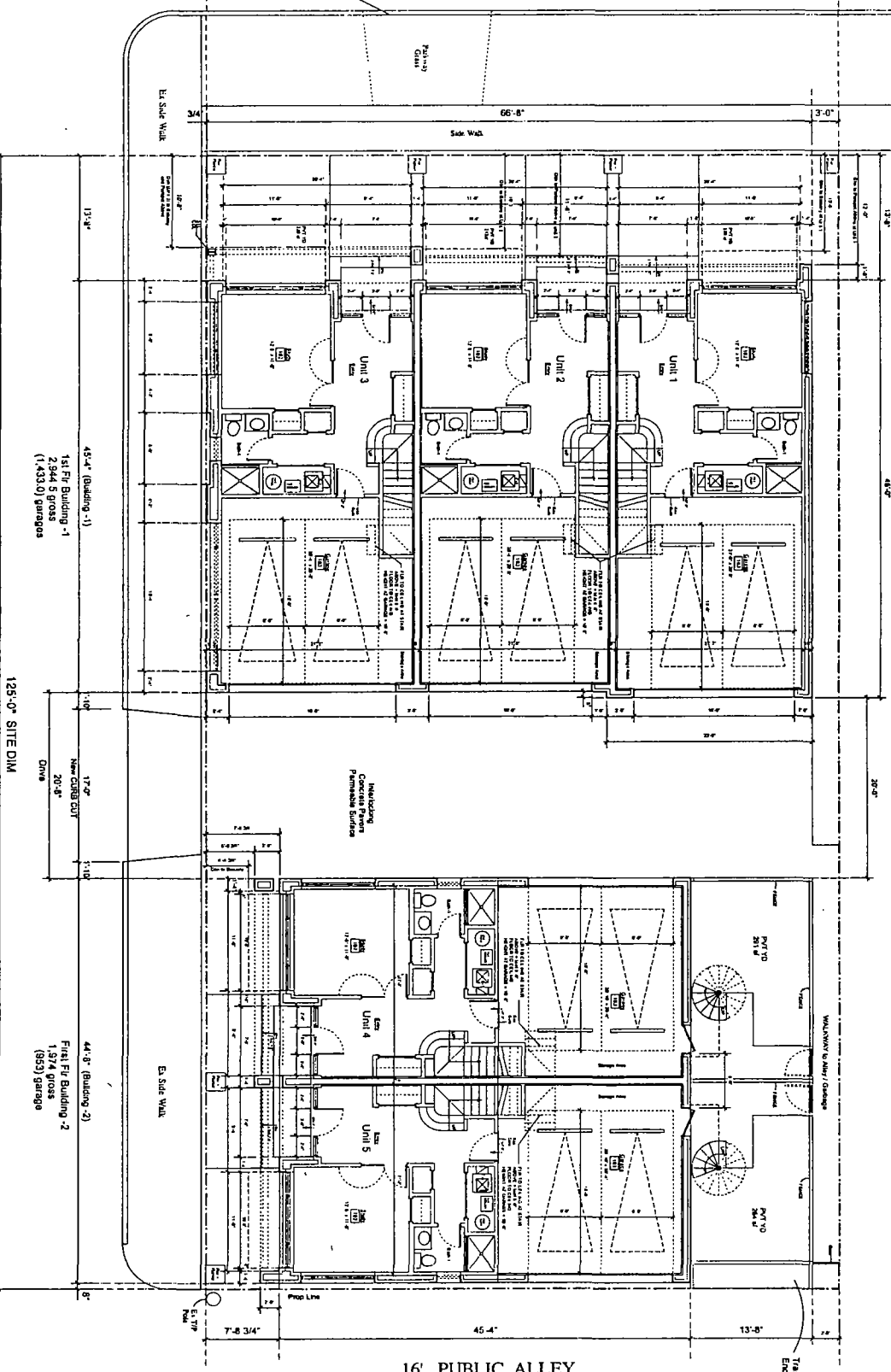
FAR	1.56
Lot Area	8,716
Building Area	13,531 square feet
Building Height	Building 1 (4 floors) : 42 feet 5 3/8 inches Building 2 (4 floors) : 41 feet 1 3/4 inches
Front Setback	Building 1 : (Warner Avenue South) : 10 feet Building 2 : (Ravenswood Avenue East) : 4 feet 4 3/4 inches
Rear Setback	Building 1 : (adjacent to 20 feet drive) Building 2 : 16 feet 8 inches to west side prop line
West side Setback	Building 1 : (side setback) 3 feet Building 2 : (rear setback) 16 feet-8 inches
East side Setback	Building 1 : (side setback) 3/4 inches Building 2 : (front setback) 4 feet 4 3/4 inches
Parking	10

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W. WARNER AVE

69'-8 3/4" SITE DIM

N. RAVENSWOOD AVE



1st Flr Building - 1  
2,944 S gross  
(1,433.0) garage

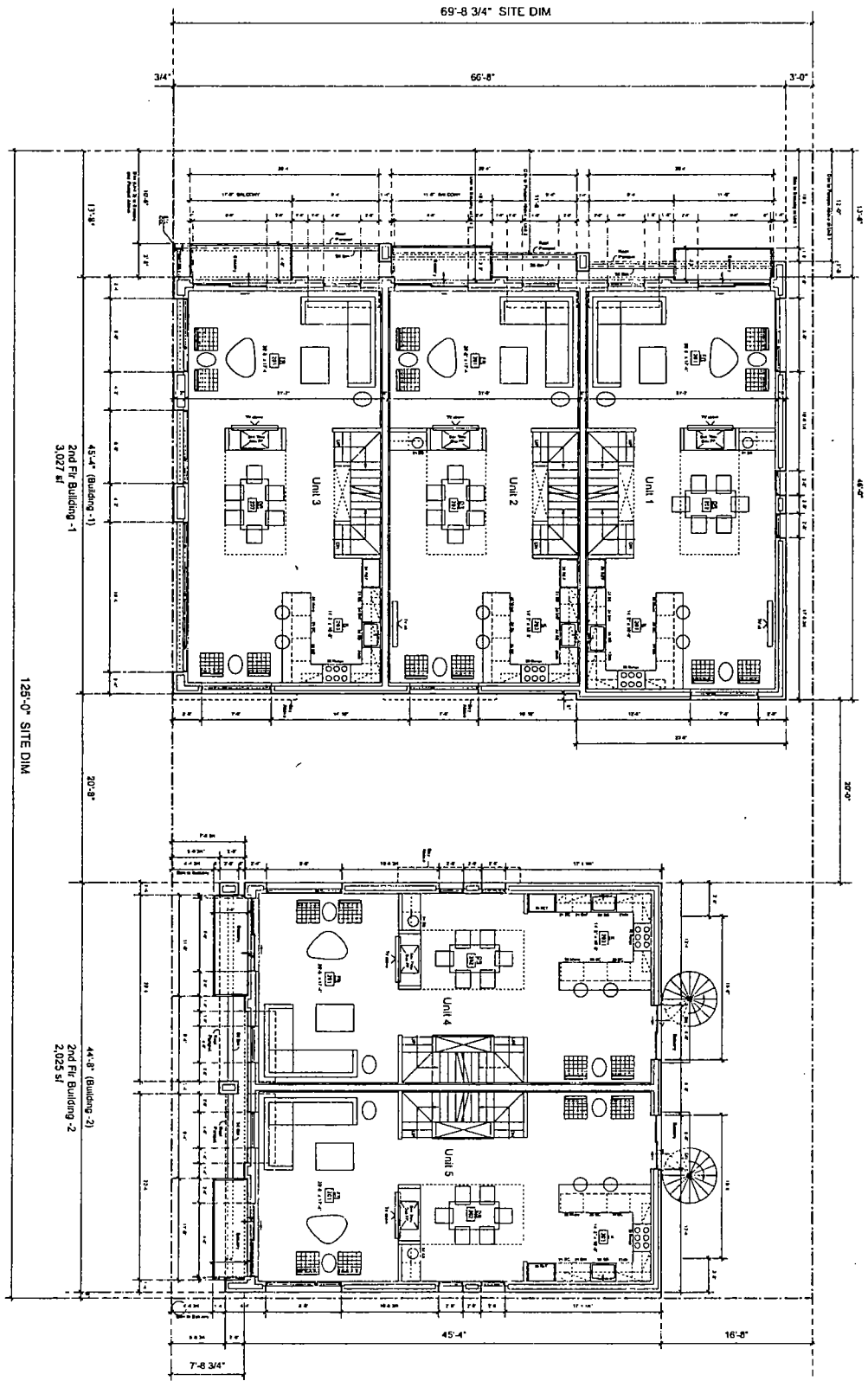
1st Flr Building - 2  
1,574 gross  
(853) garage

1  
SITE PLAN  
FIRST FLR PLAN  
SCALE 3/8" = 1'-0"

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<b>A1.1</b> SHEET NUMBER	SITE PLAN First Level Plan	SCALE 3/8" = 1'-0"	RECORD NO. DATE DESCRIPTION	STONEBERG + GROSS ARCHITECTS 3320 NORTH RAVENSWOOD AVE CHICAGO, ILLINOIS 60657 PH. 773-281-1878 stoneberg+gross@bcglobal.net	1800 WEST WARNER AVE CHICAGO, ILLINOIS P. O'Shea Development
		DRAWN BY JS PROJECT NUMBER 16-40	DATE 12/15/15 BY JS CHECKED PCP/PLM/ST		

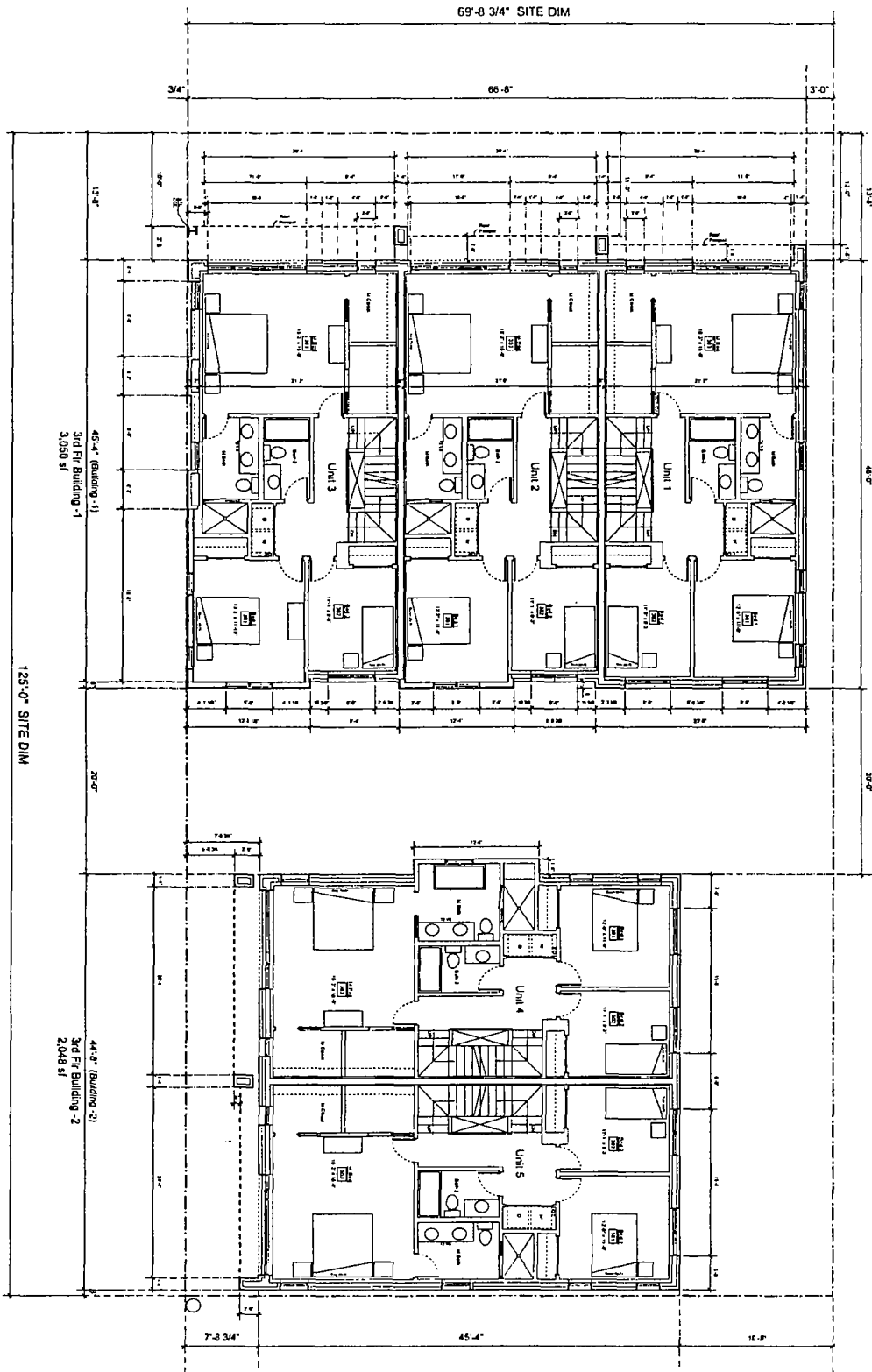
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1 SECOND FLR PLAN  
SCALE 3/8" = 1'-0"

<b>A1.2</b> SHEET NUMBER	Second Level Plan	SCALE 3/8" = 1'-0"	RECORD NO. DATE DESCRIPTION 16-40	<small>           I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT, AND THAT I AM A duly Licensed Professional Engineer in the State of Illinois. I have prepared this plan in accordance with the Illinois Engineering Code as of the date of this plan.            LIC # 149818 11/29/2018         </small>	<b>STONEBERG + GROSS ARCHITECTS</b> 3320 NORTH RAVENSWOOD AVE. CHICAGO, ILLINOIS 60657 ph. 773-261-1878 stoneberggross@szcglobal.net	1800 WEST WARNER AVE CHICAGO, ILLINOIS <i>P. O'Shea Development</i>
	© 2018 J. STONBERG					

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69'-8 3/4" SITE DIM

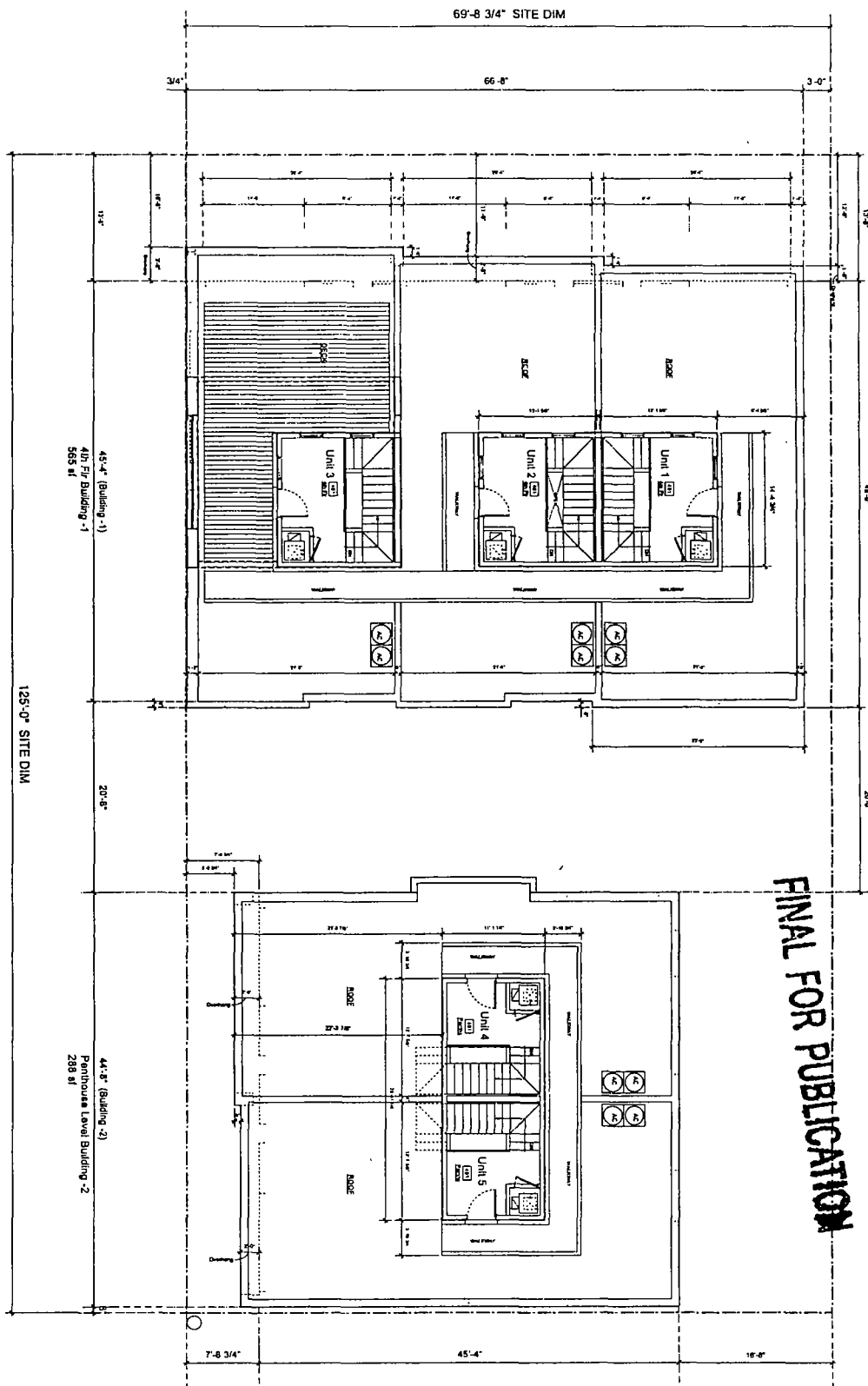
45'-4" (Building -1)  
3rd Flr Building -1  
3,050 sf

44'-8" (Building -2)  
3rd Flr Building -2  
2,048 sf

125'-0" SITE DIM

1 THIRD FLR PLAN  
SCALE 3/8" = 1'-0"

<b>A1.3</b>	SHEET NUMBER	Third Level Plan		SCALE 3/8" = 1'-0"		RECORD		<small>THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</small>	<b>STONEBERG + GROSS ARCHITECTS</b> 3370 NORTH RAVENSWOOD AVE CHICAGO, ILLINOIS 60657 ph 773-281-1878 stoneberggross@acglobal.net		1800 WEST WARNER AVE CHICAGO, ILLINOIS <i>P O'Shea Development</i>	
		DRAWN BY JS	DATE	NO	DESCRIPTION	NO	DESCRIPTION					
		PROJECT NUMBER	16-40	REV	DESCRIPTION	REV	DESCRIPTION					



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1 ROOF PLAN  
4th Level PLAN  
SCALE: 3/16" = 1'-0"

**A1.4**  
SHEET NUMBER

Roof Plan  
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NO.	DATE	DESCRIPTION	RECORD	
			NO.	DATE
16-40	10-04-18	NO PERMIT		
		REV PERMIT		

PROJECT NUMBER: 16-40

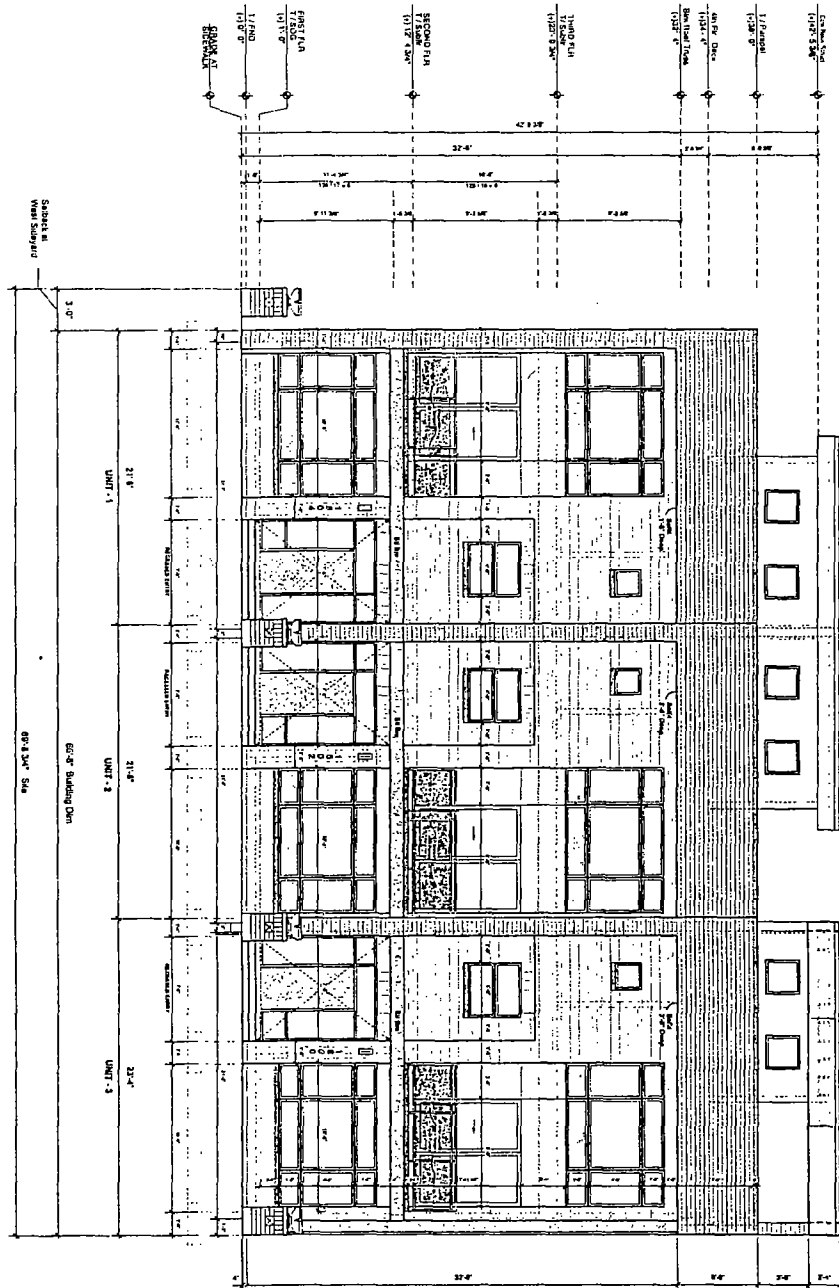
SCALE: 3/16" = 1'-0"

STONEBERG + GROSS ARCHITECTS  
5520 NORTH RAVENSWOOD AVE.  
CHICAGO, ILLINOIS 60657  
ph 773-261-1878 stonebergross@stbcglobal.net

1800 WEST WARNER AVE  
CHICAGO, ILLINOIS  
*P. O'Shea Development*

OWNER'S NOTE: THIS IS THE BEST COPY AVAILABLE. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND IS NOT RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.

LIC EXEMPT 11082218



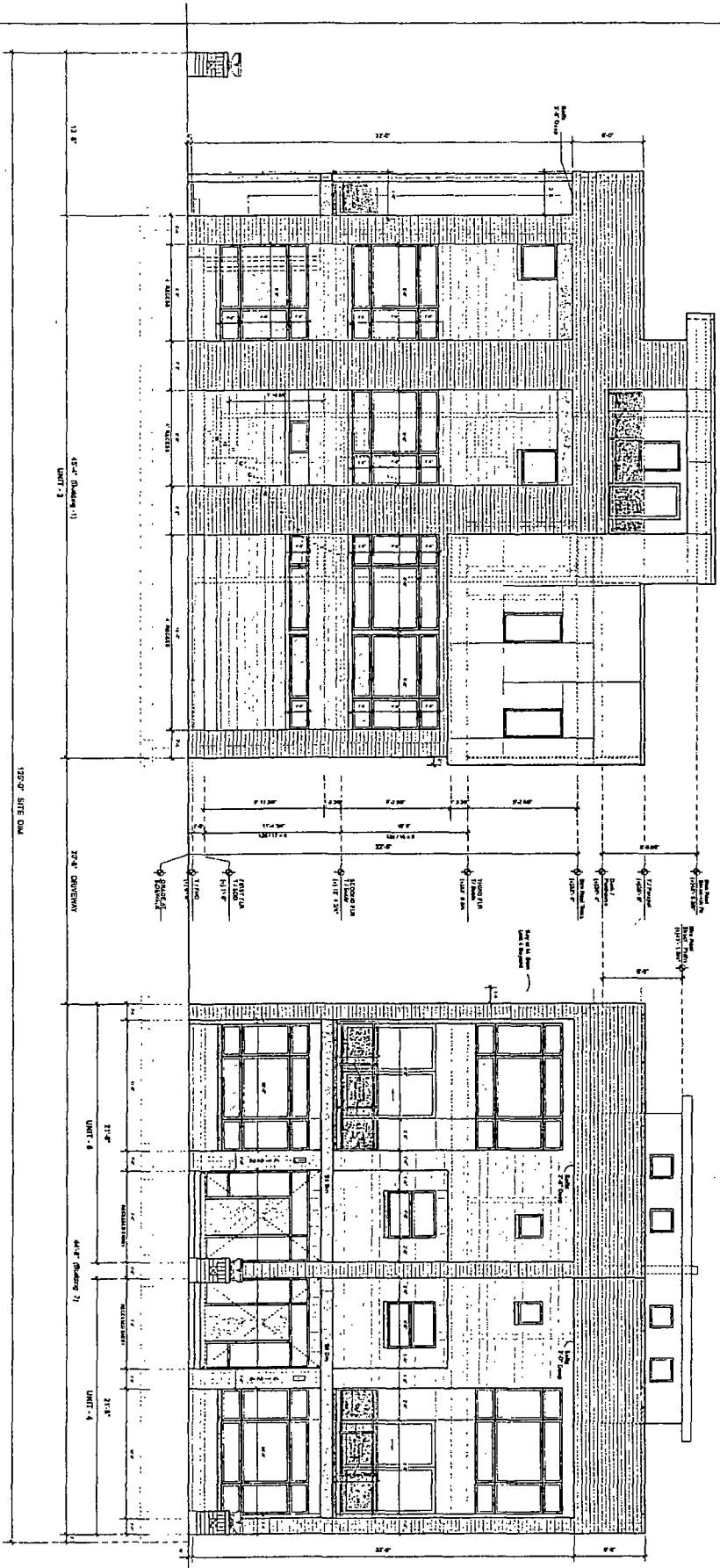
1 SOUTH ELEVATION (Bldg-1) on WARNER  
SCALE: 1/4" = 1'-0"

**FINAL FOR PUBLICATION**

<b>A2.1</b> SHEET NUMBER	South Elev. Bldg 1	SCALE: 1/4" = 1'-0"	RECORD:	APPROVED FOR THE ARCHITECT: DATE: _____ PROJECT NUMBER: REVIEW: _____ LIC. CPRES. 110002116	<b>STONEBERG + GROSS ARCHITECTS</b> 3320 NORTH RAVENSWOOD AVE. CHICAGO, ILLINOIS 60657 ph. 773-261-1878 stoneberggross@stcglobe.net	1800 WEST WARNER AVE CHICAGO, ILLINOIS <i>P. O'Shea Dodgemont</i>
	PROJECT NUMBER: 16-40	NO. DATE DESCRIPTION 18-04-18	REVIEW: _____ REVIEW: _____			



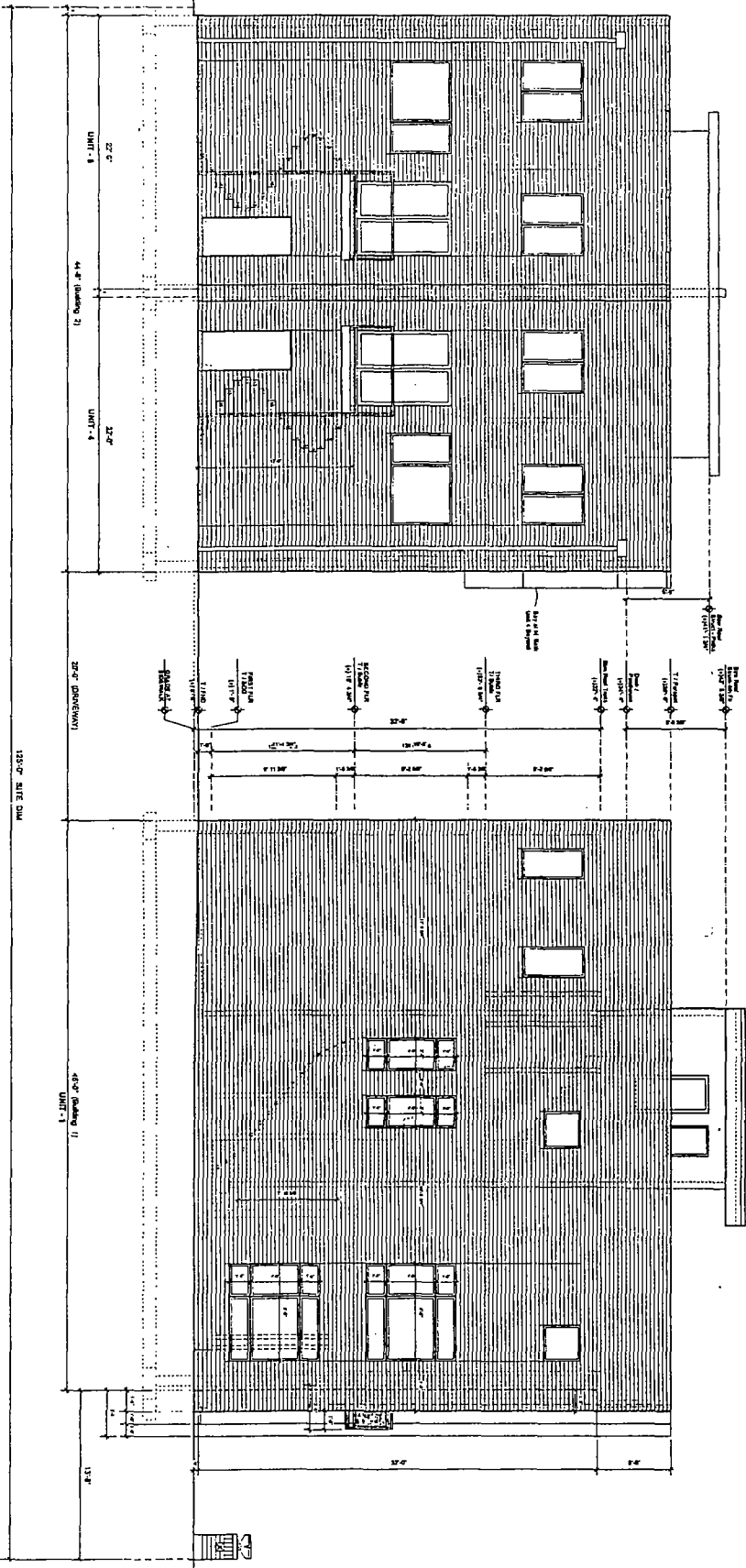
**FINAL FOR PUBLICATION**



1 EAST ELEVATION ON RAVENSWOOD AVE  
SCALE 1/4" = 1'-0"

<p><b>A2.2</b></p> <p>SHEET NUMBER</p>	<p>East Elevation</p>	<p>SCALE: 1/4" = 1'-0"</p>	<p>RECORD</p>	<p>THIS DRAWING IS THE PROPERTY OF STONEBERG + GROSS ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF STONEBERG + GROSS ARCHITECTS.</p>	<p><b>STONEBERG + GROSS ARCHITECTS</b></p> <p>3320 NORTH RAVENSWOOD AVE. CHICAGO, ILLINOIS 60657 ph. 773-261-1878 stoneberggross@stgglobal.net</p>	<p>1800 WEST WARNER AVE CHICAGO, ILLINOIS</p> <p><i>P. O'Shea Development</i></p>
		<p>DESIGNED BY: JS</p> <p>PROJECT NUMBER: 16-40</p>	<p>NO. 01/15</p> <p>DATE: 10-04-16</p> <p>NO. 02/15</p> <p>DATE: 10-04-16</p> <p>NO. 03/15</p> <p>DATE: 10-04-16</p>			

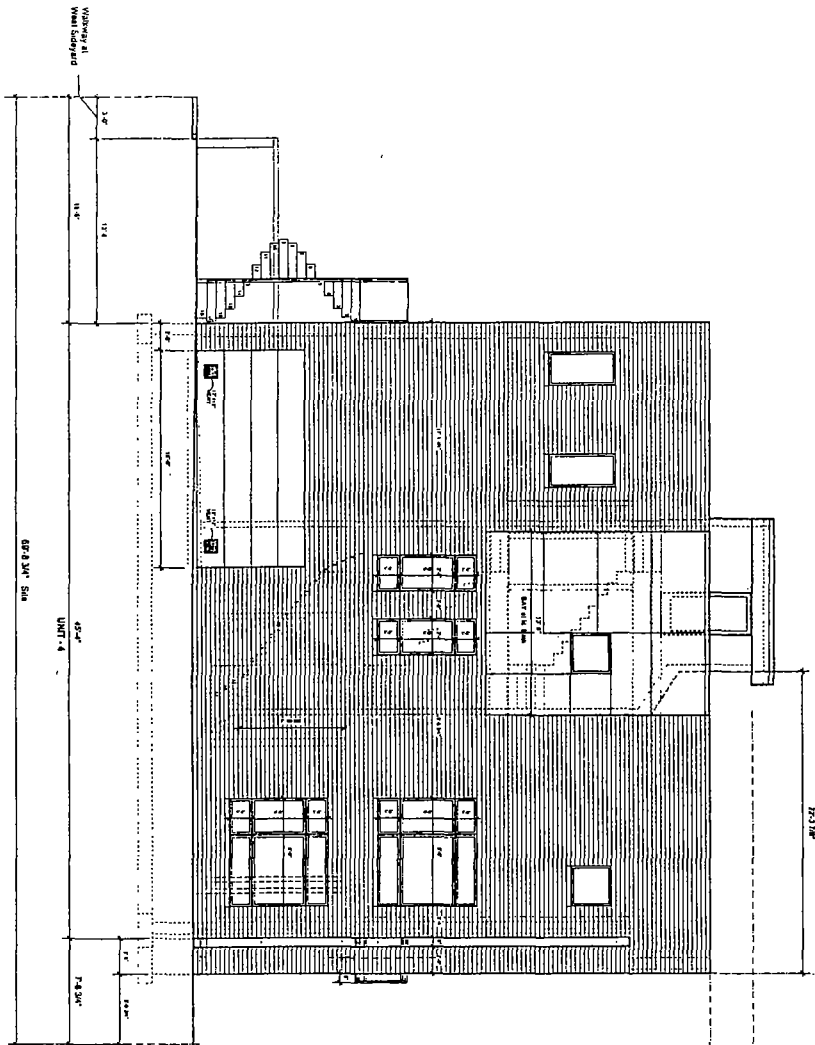
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**1 WEST ELEVATION**  
SCALE: 3/4" = 1'-0"

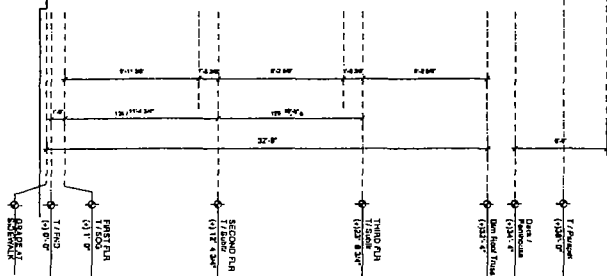
<b>A2.3</b> SHEET NUMBER	West Elevation	SCALE 3/4" = 1'-0"	RECORD NO. DATE DESCRIPTION 100-10 BC 10-40	I hereby certify that the work shown on this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Illinois. I am not providing this drawing for use in any other project without the written consent of Stoneberg + Gross Architects.	<b>STONEBERG + GROSS ARCHITECTS</b> 3320 NORTH RAVENSWOOD AVE. CHICAGO, ILLINOIS 60657 ph. 773-261-1878 stoneberggross@stbcglobal.net	1800 WEST WARNER AVE. CHICAGO, ILLINOIS <i>P. O'Shea Development</i>
	© 2011 STONEBERG + GROSS ARCHITECTS	PROJECT NUMBER 10-40	DRAWN BY: JH DATE: 10-4-11 CHECKED BY: JH DATE: 10-4-11	UC EXPR08 11020016		



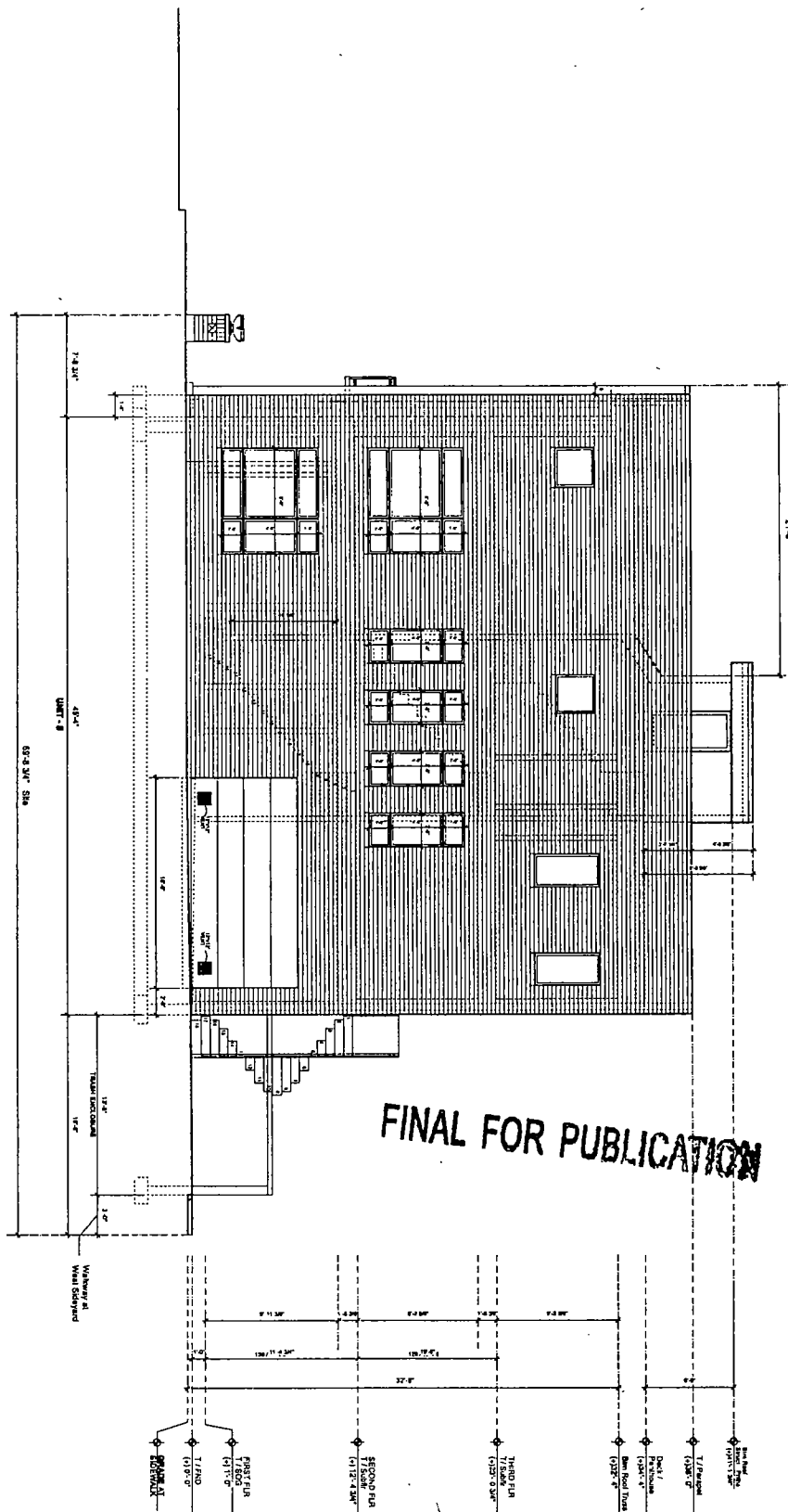


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1 SOUTH ELEVATION (Bldg 2) at Driveway  
Scale 1/8" = 1'-0"



<b>A2.5</b>	SHEET NUMBER	South Elev. Bldg 2		SCALE 1/8" = 1'-0"	RECORD	<small>CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.</small>	<b>STONEBERG + GROSS ARCHITECTS</b> 3320 NORTH RAVENSWOOD AVE. CHICAGO, ILLINOIS 60657 ph 773-281-1878 stoneberggross@stglobal.net	1800 WEST WARNER AVE CHICAGO, ILLINOIS <i>P. O'Shea Development</i>
		DESIGNED BY: JH	DATE: 12-04-18	PROJECT NUMBER: 16-10	NO. DATE DESCRIPTION 01 12-04-18 02 12-04-18 03 12-04-18 04 12-04-18 05 12-04-18 06 12-04-18 07 12-04-18 08 12-04-18 09 12-04-18 10 12-04-18 11 12-04-18 12 12-04-18 13 12-04-18 14 12-04-18 15 12-04-18 16 12-04-18 17 12-04-18 18 12-04-18 19 12-04-18 20 12-04-18 21 12-04-18 22 12-04-18 23 12-04-18 24 12-04-18 25 12-04-18 26 12-04-18 27 12-04-18 28 12-04-18 29 12-04-18 30 12-04-18 31 12-04-18 32 12-04-18 33 12-04-18 34 12-04-18 35 12-04-18 36 12-04-18 37 12-04-18 38 12-04-18 39 12-04-18 40 12-04-18 41 12-04-18 42 12-04-18 43 12-04-18 44 12-04-18 45 12-04-18 46 12-04-18 47 12-04-18 48 12-04-18 49 12-04-18 50 12-04-18 51 12-04-18 52 12-04-18 53 12-04-18 54 12-04-18 55 12-04-18 56 12-04-18 57 12-04-18 58 12-04-18 59 12-04-18 60 12-04-18 61 12-04-18 62 12-04-18 63 12-04-18 64 12-04-18 65 12-04-18 66 12-04-18 67 12-04-18 68 12-04-18 69 12-04-18 70 12-04-18 71 12-04-18 72 12-04-18 73 12-04-18 74 12-04-18 75 12-04-18 76 12-04-18 77 12-04-18 78 12-04-18 79 12-04-18 80 12-04-18 81 12-04-18 82 12-04-18 83 12-04-18 84 12-04-18 85 12-04-18 86 12-04-18 87 12-04-18 88 12-04-18 89 12-04-18 90 12-04-18 91 12-04-18 92 12-04-18 93 12-04-18 94 12-04-18 95 12-04-18 96 12-04-18 97 12-04-18 98 12-04-18 99 12-04-18 100 12-04-18			



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**1 NORTH ELEVATION (Bldg-2) at Alley**  
SCALE: 3/8" = 1'-0"

**A2.6**

North Elev. - Bldg 2  
SHEET NUMBER

SCALE: 3/8" = 1'-0"  
DRAWN BY: JS  
PROJECT NUMBER: 16-40

RECORD	
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1800 WEST WARNER AVE  
CHICAGO, ILLINOIS  
*P. O'Shea Development*

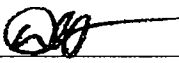


19015  
FINAL

DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

**MEMORANDUM**

To: Alderman Daniel S. Solis  
Chairman, City Council Committee on Zoning

From:   
David L. Reifman  
Chicago Plan Commission

Date: January 19, 2017

Re: Proposed Map Amendment within the Ravenswood Industrial Corridor for the property generally located at 1800 West Warner Avenue

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On January 19, 2017, the Chicago Plan Commission recommended approval of the proposed map amendment submitted by 1800 W. Warner, LLC. A copy of the proposed amendment is attached. I would very much appreciate your assistance in having this introduced at the next possible City Council Committee on Zoning.

Also enclosed is a copy of the staff report to the Plan Commission which includes the Department of Planning and Development, Bureau of Zoning and Land Use recommendation and a copy of the resolution. If you have any questions in this regard, please do not hesitate to contact me at 744-9476.

Cc: Steve Valenziano  
PD Master File (Original PD, copy of memo)